

Worcester Township Board of Supervisors Business Meeting March 19, 2025 – Meeting Minutes

Call to Order:

Chair Rick DeLello called the meeting to order at 7:00 PM, welcoming attendees.

Pledge of Allegiance:

The Pledge of Allegiance was recited.

Attendance:

Chair Rick DeLello, Vice Chair Lou Betz, Supervisor Steve Quigley (participating via telephone). Staff: Dan DeMeno, Township Manager; Christian Jones, Assistant Manager; Solicitor Wendy McKenna.

Meeting Recording Announcement:

Christian announced the meeting was being video recorded for broadcast.

Public Comment:

- **Jane Voss (Stony Creek Farms)** requested updates regarding 1616 White Hall Road, expressing concern about increasing vehicles parked at the location. Solicitor Wendy McKenna responded that an action was filed in Montgomery County Court of Common Pleas, with a hearing scheduled for April 28th, 2025. Additional complaints from residents were encouraged to be submitted in writing.
- **Tim Creelman** sought clarification about specific outcomes for compliance actions at 1616 White Hall Road, specifically mentioning bulldozers, metal containers, and concrete bins. Manager DeMeno explained that the township's goal is compliance with zoning ordinances and regulations, particularly addressing accessories, setbacks, and impervious coverage.
- **Lori Kish (Stony Creek Farms)** asked if the action filed was civil or criminal, receiving confirmation it was civil. She expressed concerns about nighttime equipment operation, highlighting possible safety concerns.
- **Peter Probst** proposed Worcester Township explore joining a regional planning initiative, referencing successful collaboration in nearby municipalities and offering to facilitate a discussion with Montgomery County officials. Chair DeLello and Manager DeMeno indicated openness to having county officials present at future township meetings to explore this initiative further.

Consent Agenda:

- Motion by Lou Betz to approve Consent Agenda items #2 (January 15 business meeting minutes), #4 (Treasurer's and monthly reports), and #5 (bill payments totaling \$513,550.06). Second by Chair DeLello. Passed unanimously.
- Motion by Chair DeLello to approve December 18 business meeting minutes. Seconded by Steve Quigley. Passed unanimously.
- Motion by Chair DeLello to approve February 19 business meeting minutes. Seconded by Lou Betz. Bob Andorn requested clarification on his statements regarding Skippack EMS funding. Minutes approved with noted clarifications.

Motions:

1. Act 172 Earned Income Tax Credit Certification

Motion by Lou Betz, seconded by Rick DeLello, to certify qualified volunteers for Act 172 Earned Income Tax Credit for 2024. Passed unanimously.

2. Variety Club RACP Grant Agreement

Discussion on financial security and indemnification agreement. Lou Betz raised questions about potential financial risks; Solicitor Wendy McKenna clarified protections including municipal lien rights. Public comments from Bob Andorn expressed concerns about financial risk and Deb Walker questioned property value and potential risk mitigation. Motion by Lou Betz, seconded by Rick DeLello, to approve the agreement. Passed unanimously.

3. Resolution to Fund Skippack EMS

Township Manager DeMeno summarized the proposed per-call funding structure (\$225 per call, quarterly invoicing). Extensive public comment included:

Supervisor DeLello asked about a millage for long term and per call payment starting. He stated that this might need to be adjusted.

Supervisor Betz clarified the amount that the Township would expect to pay. He also clarified that this would only be for Skippack EMS.

Supervisor Quigley stated that funding for Skippack EMS is important.

- **Bob Andorn** requested comprehensive analysis of EMS services across all providers, questioning financial exposure, funding sources, and call volume analysis.
- **Vicki Petri (resident and Skippack EMS volunteer)** detailed operational costs, service needs, and requested township support for maintaining essential services.

- **Ed Moore** expressed support, noting the critical services provided by EMS, comparable to township fire services.
- **Christine Steer** questioned implementation timing and potential financial cap to manage costs.
- **Bill McGrane** emphasized the need for equitable support for all EMS providers serving the township.

Motion by Rick DeLello, seconded by Steve Quigley, to approve funding. Vote: Passed 2-0 (Betz abstained).

Other Business:

- Supervisor Betz requested clarification regarding compliance status at Berwick Wastewater Treatment Plant. Manager DeMeno and Engineer John confirmed current compliance and clarified necessary actions related to potential development.

Public Comment (Final):

No additional comments.

Adjournment:

The meeting adjourned at 8:22 PM.

April 11, 2025
12:01 PM

TOWNSHIP OF WORCESTER
Check Register By Check Date

Page No: 1

Range of Checking Accts: First to Last Range of Check Dates: 03/15/25 to 04/11/25
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
CAPITAL RESERVE CAPITAL FUND					
764	03/20/25	ARROC005 ARRO CONSULTING, INC.	5,878.80	03/31/25	799
765	03/20/25	CARDM005 CARDMEMBER SERVICES	2,237.43	03/31/25	799
766	03/20/25	COATI005 COATING TECH	1,996.20	03/31/25	799
767	03/20/25	MCMAH010 MCMAHON A BOWMAN COMPANY	105.00	03/31/25	799
768	03/20/25	PEOPL005 PEOPLES SECURTY BANK & TRUST	49,066.58	03/31/25	799

Checking Account Totals	Paid	Void	Amount Paid	Amount Void
Checks:	5	0	59,284.01	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	5	0	59,284.01	0.00

GENERAL FUND GENERAL FUND					
36727	03/20/25	ALURA005 VALEO NETWORKS	2,886.68	03/31/25	797
36728	03/20/25	AMERI005 AMERICAN FUELS, LLC.	433.58	03/31/25	797
36729	03/20/25	APPLI005 APPLIED VIDEO TECHNOLOGY, INC.	425.00	03/31/25	797
36730	03/20/25	AQUAP005 AQUA PENNSYLVANIA, INC.	7.42	03/31/25	797
36731	03/20/25	ARMOU005 ARMOUR & SONS ELECTRIC INC	355.00	03/31/25	797
36732	03/20/25	ARROC005 ARRO CONSULTING, INC.	26,919.65	03/31/25	797
36733	03/20/25	BEEBE005 BEE BERGVALL & CO, PC	6,000.00	03/31/25	797
36734	03/20/25	BERGE005 BERGEY'S INC	14,635.05	03/31/25	797
36735	03/20/25	BRANT005 BRANT & ASSOCIATES, LLC	24,958.77	03/31/25	797
36736	03/20/25	CARDM005 CARDMEMBER SERVICES	905.48	03/31/25	797
36737	03/20/25	CDILA005 CDI LAWN & EQUIPMENT	278.70	03/31/25	797
36738	03/20/25	CINTA005 CINTAS	153.23		797
36739	03/20/25	COMCA005 COMCAST	191.39	03/31/25	797
36740	03/20/25	DELVA005 DELVAL INTERNATIONAL TRUCKS IN	106.00	03/31/25	797
36741	03/20/25	DHULS005 D'HULSTER, ROBERT	815.60	03/31/25	797
36742	03/20/25	DONER005 DONE RITE BUILDING SERV, INC.	1,249.00		797
36743	03/20/25	EXETE005 EXETER SUPPLY COMPANY, INC	93.08	03/31/25	797
36744	03/20/25	FERGU010 FERGUSON	364.39		797
36745	03/20/25	FRAN0010 FRANK JONES TROPHIES	33.10		797
36746	03/20/25	FRASE005 FRASER ADVANCED INFO SYSTEMS	609.21	03/31/25	797
36747	03/20/25	FUREY005 FUREY & BALDASSARI, P.C.	12,680.00	03/31/25	797
36748	03/20/25	GENER005 GENERAL CODE, LLC	1,195.00	03/31/25	797
36749	03/20/25	HARLE005 HARLEYSVILLE ACE HARDWARE CENT	17.75	03/31/25	797
36750	03/20/25	HKMAT005 H&K MATERIALS	132.00	03/31/25	797
36751	03/20/25	HOISI005 HOISINGTON, JUSTIN	375.00		797
36752	03/20/25	HOMED005 HOME DEPOT CREDIT SERVICES	506.82	03/31/25	797
36753	03/20/25	KEYST005 KEYSTONE MUNICIPAL SERVICES, I	3,672.00	03/31/25	797
36754	03/20/25	LITTL005 LITTLE, ROBERT E, INC	1,111.94	03/31/25	797
36755	03/20/25	MANJA005 MANJARDI, MARK	2,428.90	03/31/25	797
36756	03/20/25	MCMAH010 MCMAHON A BOWMAN COMPANY	8,092.50	03/31/25	797
36757	03/20/25	MILLE015 MILLER, JESSE	375.00	03/31/25	797
36758	03/20/25	MORAN005 MORAN, MARC	375.00	03/31/25	797
36759	03/20/25	MOSES005 MOSES, AARON	650.00		797
36760	03/20/25	MOYER005 MOYER PEST CONTROL	98.00	03/31/25	797
36761	03/20/25	MULCH005 MULCH BARN	920.00	03/31/25	797
36762	03/20/25	NEWMA005 NEWMAN, JADEN	650.00	03/31/25	797
36763	03/20/25	ORRJO005 ORR, JOHN	650.00		797

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TOWNSHIP OF WORCESTER
Check Register By Check Date

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Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
GENERAL FUND	GENERAL FUND	Continued			
36764	03/20/25	PECOE005 PECO ENERGY	400.18	03/31/25	797
36765	03/20/25	PETPI005 PET PICK-UPS	947.64	03/31/25	797
36766	03/20/25	PRIVA005 PRIVATE UTILITY ENTERPRISES,IN	490.00	03/31/25	797
36767	03/20/25	PSAB0005 PSAB-MRT	2,958.52	03/31/25	797
36768	03/20/25	SILVI005 SILVI CEMENT/SLAG/SALT	13,036.45	03/31/25	797
36769	03/20/25	SYKES005 SYKES, PETER	650.00	03/31/25	797
36770	03/20/25	SYNAT005 SYNATEK	1,476.00	03/31/25	797
36771	03/20/25	TRAIS005 TRAISR, LLC	1,600.00	03/31/25	797
36772	03/20/25	USMUN005 US MUNICIPAL SUPPLY, INC.	558.98	03/31/25	797
36773	03/20/25	VERI0010 VERIZON	4.51	03/31/25	797
36774	03/20/25	VERIZ005 VERIZON WIRELESS	135.20	03/31/25	797
36775	03/20/25	VERME005 VERMEER NORTH ATLANTIC	265.50	03/31/25	797
36776	03/20/25	WBMAS005 W. B. MASON CO., INC.	55.96	03/31/25	797
36777	03/20/25	WELDO005 NAPA AUTO PARTS	152.04	03/31/25	797
36778	04/03/25	ADVAN005 WM CORPORATE SERVICES INC.	465.85		801
36779	04/03/25	AMERI005 AMERICAN FUELS, LLC.	3,262.26		801
36780	04/03/25	COMCA005 COMCAST	520.26		801
36781	04/03/25	DELA005 DELAWARE VALLEY HEALTH INSURA	22,323.29		801
36782	04/03/25	DELA010 DELAWARE VALLEY WORKERS COMP	5,434.50		801
36783	04/03/25	DELA015 DELAWARE VALLEY INSURANCE TRST	19,345.75		801
36784	04/03/25	FRASE010 FRASER	179.42		801
36785	04/03/25	METRO005 METROPOLITAN LIFE INSURANCE CO	962.74		801
36786	04/03/25	NORTH005 NORTH PENN WATER AUTHORITY	148.30		801
36787	04/03/25	PAWC0005 PAWC	144.43		801
36788	04/03/25	PECOE005 PECO ENERGY	1,757.70		801
36789	04/03/25	PENNV005 PENN VALLEY GAS, INC.	956.08		801
36790	04/03/25	PROTE005 EVERON	466.30		801
36791	04/03/25	PSAB0005 PSAB-MRT	1,478.98		801
36792	04/03/25	PURCH005 PURCHASE POWER	247.99		801
36793	04/03/25	STAT0010 STATE WORKERS INSURANCE FUND	5,341.00		801
36794	04/03/25	VERI0010 VERIZON	88.71		801
36795	04/09/25	TOWNS005 TOWNSHIP OF WORCESTER-PAYROLL	100,000.00		803

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	69	0	301,204.78	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	69	0	301,204.78	0.00

WASTE WATER FUN	WASTE WATER FUND			
4978	03/20/25	AMER0015 AMERICAN WATER	15.00	798
4979	03/20/25	AQUAP005 AQUA PENNSYLVANIA, INC.	21.52	03/31/25 798
4980	03/20/25	ARROC005 ARRO CONSULTING, INC.	4,443.20	03/31/25 798
4981	03/20/25	BELLW005 BELLWOAR KELLY, LLP	25.50	03/31/25 798
4982	03/20/25	BMART005 B MARTIN WASTEWATER LLC	3,140.00	03/31/25 798
4983	03/20/25	DELA020 DELAWARE RIVER BASIN COMMISSIO	1,560.00	798
4984	03/20/25	FLOWA005 FLOW ASSESSMENT SERVICES LLC	965.00	03/31/25 798
4985	03/20/25	MEADO005 MEADOWOOD SENIOR LIVING	238.61	03/31/25 798
4986	03/20/25	MJREI005 MJ REIDER ASSOCIATES, INC.	1,396.00	03/31/25 798
4987	03/20/25	PRIVA005 PRIVATE UTILITY ENTERPRISES,IN	10,668.50	03/31/25 798
4988	03/20/25	U-000001 STATES, JENNIFER & THOMAS	161.84	03/31/25 798
4989	03/20/25	U-000002 ANDERSON, SCOTT & DR. JACLYN	254.45	03/31/25 798
4990	03/20/25	U-000003 DHAWAN, SAAHIL & NIKKI	5.88	798

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Check Register By Check Date

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Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
WASTE WATER FUN WASTE WATER FUND Continued					
4991	03/20/25	U-000004 NIEL SHAH & ABHILASHA JYALA	124.95	03/31/25	798
4992	03/20/25	U-000005 VIRENDRA KUMAR & SUNITA CHAN	100.25		798
4993	03/20/25	U-000006 TOLL MID-ATLANTIC	80.85	03/31/25	798
4994	03/20/25	UNIVA005 UNIVAR USA, INC.	1,674.81	03/31/25	798
4995	03/20/25	USABL005 USA BLUE BOOK	1,164.90		798
4996	03/20/25	VERI0010 VERIZON	225.45	03/31/25	798
4997	03/20/25	WINDR005 WIND RIVER ENVIRONMENT LLC	5,347.50	03/31/25	798
4998	03/21/25	POST0010 POSTMASTER	640.21		800
4999	04/03/25	GENER010 GENERATOR TECHNICAL SERVICES	397.50		802
5000	04/03/25	MEADO005 MEADOWOOD SENIOR LIVING	257.11		802
5001	04/03/25	PAWC0005 PAWC	46.89		802
5002	04/03/25	PECOE005 PECO ENERGY	4,811.16		802
5003	04/03/25	PROTE005 EVERON	1,350.89		802
5004	04/03/25	UNIVA005 UNIVAR USA, INC.	3,782.78		802
5005	04/03/25	VERI0010 VERIZON	134.58		802
5006	04/03/25	WINDR005 WIND RIVER ENVIRONMENT LLC	1,480.00		802

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	29	0	44,515.33	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	29	0	44,515.33	0.00

Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	103	0	405,004.12	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	103	0	405,004.12	0.00

Totals by Year-Fund
Fund Description

Fund	Expend Total	Revenue Total	G/L Total	Total
5-001	167,452.63	0.00	100,000.00	267,452.63
5-008	43,787.11	728.22	0.00	44,515.33
5-030	59,284.01	0.00	0.00	59,284.01
Total of All Funds:	270,523.75	728.22	100,000.00	371,251.97

Totals by Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
	001	167,452.63	0.00	100,000.00	267,452.63
	008	43,787.11	728.22	0.00	44,515.33
	030	59,284.01	0.00	0.00	59,284.01
Total of All Funds:		270,523.75	728.22	100,000.00	371,251.97

TOWNSHIP OF WORCESTER
Breakdown of Expenditure Account Current/Prior Received/Prior Open

Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
	5-001	167,452.63	0.00	0.00	0.00	167,452.63
	5-008	43,787.11	0.00	0.00	0.00	43,787.11
	5-030	59,284.01	0.00	0.00	0.00	59,284.01
Total of All Funds:		<u>270,523.75</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>270,523.75</u>

Project Description	Project No.	Project Total
3205 SKIPPACK- LGL/ENG	145-0260	2,069.50
RESERVE AT CENTER SQ-LGL/ENG	145-0299	874.80
2950 POTSHOP - LGL/ENG	145-0315	966.00
BET INVESTMENT/DUBNER-LGL/ENG	145-0345	2,618.75
HUGANIR-ARDEN RESERVE-LGL/ENG	145-0350	2,246.10
2044 BERKS RD-LGL/ENG	145-0362	993.30
BELLFLOWER-LGL/ENG	145-0364	3,744.10
WESTRUM-TROOPER RD-LGL/ENG	145-0368	9,493.00
METHACTON HIGH SCHOOL-LGL/ENG	145-0373	4,117.75
2991 MOHILL DRIVE-LGL/ENG	145-0377	2,639.75
PAWC TOWNSHIP LN PUMP-LGL/ENG	145-0381	399.75
1205 HOLLOW-WANGIA-LGL/ENG	145-0386	74.50
3120 FISHER-SMITH-LGL/ENG	145-0389	679.60
1038 WINDY HILL-ARDEN-LGL/ENG	145-0398	2,201.25
1501 N WALES-LGL/ENG	145-0399	634.00
Total of All Projects:		<u>33,752.15</u>

TOWNSHIP OF WORCESTER

Statement of Revenue and Expenditures - Standard

04/15/2025
02:21 PM

Revenue Account Range: First to Last

Expend Account Range: First to Last

Print Zero YTD Activity: No

Include Non-Anticipated: Yes

Include Non-Budget: No

Year To Date As Of: 03/31/25

Current Period: 03/01/25 to 03/31/25

Prior Year: Thru 12/31/24

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-301-100-000	Property Taxes- Current	51,318.11	49,290.00	5,241.99	10,315.15	38,974.85 -	21
001-301-500-000	Property Taxes- Liened	726.55	510.00	59.37	109.87	400.13 -	22
001-301-600-000	Property Taxes- Interim	265.71	200.00	0.40	39.71	160.29 -	20
301 Total		52,310.37	50,000.00	5,301.76	10,464.73	39,535.27 -	20
001-310-030-000	Per Capita Taxes- Delinquent	78.10	100.00	0.00	5.50	94.50 -	6
001-310-100-000	Real Estate Transfer Taxes	501,088.81	250,000.00	38,875.50	162,211.09	87,788.91 -	65
001-310-210-000	Earned Income Taxes	3,734,313.06	3,586,000.00	145,988.41	152,228.72	3,433,771.28 -	4
001-310-220-000	Earned Income Taxes- Prior Year	0.00	15.00	0.00	0.00	15.00 -	0
310 Total		4,235,479.97	3,836,115.00	184,863.91	314,445.31	3,521,669.69 -	8
001-321-800-000	Franchise Fees	203,805.99	196,000.00	0.00	0.00	196,000.00 -	0
001-322-820-000	Road Opening Permits	424.00	300.00	0.00	53.00	247.00 -	18
001-322-900-000	Sign Permits	28.00	100.00	28.00	28.00	72.00 -	28
001-322-920-000	Solicitation Permits	588.00	500.00	28.00	28.00	472.00 -	6
322 Total		1,040.00	900.00	56.00	109.00	791.00 -	12
001-331-120-000	Ordinance Violations	6,117.88	1,600.00	38.18	686.44	913.56 -	43
001-341-000-000	Interest Earnings	18,440.44	5,000.00	808.34	1,810.03	3,189.97 -	36
001-342-000-000	Rents & Royalties	20,894.21	21,794.87	3,547.90	7,094.22	14,700.65 -	33
001-342-120-000	Cell Tower Rental	119,240.45	159,900.00	15,246.41	45,739.23	114,160.77 -	29
342 Rents & Royalties		140,134.66	181,694.87	18,794.31	52,833.45	128,861.42 -	29
001-354-120-000	Emergency Relief- PEMA	6,116.47	0.00	0.00	0.00	0.00	0
001-355-010-000	Public Utility Realty Tax	3,453.57	3,453.57	0.00	0.00	3,453.57 -	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

04/15/2025
02:21 PM

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-355-040-000	Alcohol License Fees	600.00	600.00	200.00	200.00	400.00 -	33
001-355-050-000	General Municipal Pension State Aid	88,081.77	88,081.77	0.00	0.00	88,081.77 -	0
001-355-070-000	Volunteer Fire Relief Association	105,949.04	105,949.04	0.00	0.00	105,949.04 -	0
355 Total		198,084.38	198,084.38	200.00	200.00	197,884.38 -	0
001-361-300-000	Land Development Fees	6,000.00	4,000.00	2,000.00	25,083.50	21,083.50	627
001-361-330-000	Conditional Use Fees	0.00	1,500.00	0.00	0.00	1,500.00 -	0
001-361-340-000	Zoning Hearing Board Fees	24,075.00	16,625.00	1,500.00	1,500.00	15,125.00 -	9
001-361-500-000	Map And Publication Sales	66.25	5.00	0.00	0.00	5.00 -	0
361 Total		30,141.25	22,130.00	3,500.00	26,583.50	4,453.50 -	120
001-362-410-000	Building Permit Fees	138,816.21	80,000.00	4,380.14	32,909.49	47,090.51 -	41
001-362-420-000	Zoning Permit Fees	29,525.00	20,500.00	1,204.00	5,224.00	15,276.00 -	25
001-362-450-000	Commercial U&O Fees	600.00	200.00	0.00	100.00	100.00 -	50
001-362-460-000	Driveway Permit Fees	1,148.00	600.00	28.00	252.00	348.00 -	42
362 Total		170,089.21	101,300.00	5,612.14	38,485.49	62,814.51 -	37
001-367-408-000	Sports & Lesson Fees	1,715.00	1,800.00	0.00	0.00	1,800.00 -	0
001-367-420-000	Park Miscellaneous	17,785.00	14,200.00	7,005.00	7,195.00	7,005.00 -	51
367 Total		19,500.00	16,000.00	7,005.00	7,195.00	8,805.00 -	44
001-381-000-000	Miscellaneous Income	621.37	1,000.00	0.00	11,949.33	10,949.33	***
001-381-001-000	Service Charge Fees	268.44	225.00	6.31	56.19	168.81 -	25
381 Miscellaneous Income		889.81	1,225.00	6.31	12,005.52	10,780.52	980
001-383-200-000	Escrow Administration	1,210.00	880.00	0.00	0.00	880.00 -	0
001-392-300-000	Transfer From Capital Fund	350,000.00	0.00	0.00	0.00	0.00	0
001-395-000-000	Refund of Prior Year Expenditures	9,220.92	0.00	1,970.82	6,088.23	6,088.23	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

04/15/2025
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Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
	Fund 001 Revenue Totals	5,442,581.35	4,610,929.25	228,156.77	470,906.70	4,140,022.55 -	10
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-400-000-000	LEGISLATIVE BODY:	0.00	0.00	0.00	0.00	0.00	0
001-400-110-000	Legislative- Payroll	7,500.00	7,500.00	630.00	1,890.00	5,610.00	25
001-400-150-000	Legislative- Benefits	35,574.42	47,842.26	4,109.94	12,329.82	35,512.44	26
001-400-312-000	Legislative- Consultant Services	37,700.00	23,500.00	6,000.00	15,500.00	8,000.00	66
001-400-337-000	Legislative- Mileage Reimbursement	353.76	420.00	0.00	0.00	420.00	0
001-400-420-000	Legislative- Dues & Subscriptions	3,613.00	4,825.00	0.00	150.00	4,675.00	3
001-400-460-000	Legislative- Meetings & Seminars	4,530.57	5,300.00	0.00	1,597.00	3,703.00	30
	400 LEGISLATIVE BODY:	89,271.75	89,387.26	10,739.94	31,466.82	57,920.44	35
001-401-000-000	MANAGER:	0.00	0.00	0.00	0.00	0.00	0
001-401-120-000	Management- Payroll	283,133.54	278,750.00	21,442.30	56,778.83	221,971.17	20
001-401-150-000	Management- Benefits	54,919.44	79,035.35	6,822.83	24,951.45	54,083.90	32
001-401-312-000	Management- Consultant Services	5,904.60	9,950.00	0.00	0.00	9,950.00	0
001-401-321-000	Management- Mobile Phone	1,291.89	1,380.00	112.56	337.68	1,042.32	24
001-401-337-000	Management- Mileage Reimbursement	8,930.96	5,580.00	450.00	1,350.00	4,230.00	24
001-401-460-000	Management- Meetings & Seminars	4,582.10	5,610.00	0.00	2,905.66	2,704.34	52
	401 MANAGER:	358,762.53	380,305.35	28,827.69	86,323.62	293,981.73	23
001-402-000-000	FINANCIAL ADMINISTRATION:	0.00	0.00	0.00	0.00	0.00	0
001-402-120-000	Finance- Payroll	89,931.49	103,000.00	7,923.08	20,837.51	82,162.49	20
001-402-150-000	Finance- Benefits	56,484.01	54,640.36	3,013.21	11,825.31	42,815.05	22
001-402-321-000	Finance- Mobile Phone	300.00	300.00	25.00	75.00	225.00	25
001-402-337-000	Finance- Mileage Reimbursement	218.96	250.00	0.00	0.00	250.00	0
001-402-460-000	Finance- Meeting & Seminars	493.85	1,300.00	0.00	0.00	1,300.00	0
	402 FINANCIAL ADMINISTRATION:	147,428.31	159,490.36	10,961.29	32,737.82	126,752.54	21

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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-403-000-000	TAX COLLECTION:	0.00	0.00	0.00	0.00	0.00	0
001-403-110-000	Tax Collection- Payroll	2,644.53	2,500.00	0.00	52.18	2,447.82	2
001-403-150-000	Tax Collection- Benefits	202.31	136.79	0.00	4.00	132.79	3
001-403-210-000	Tax Collection- Office Supplies	4,661.31	6,200.00	0.00	2,729.07	3,470.93	44
001-403-310-000	Tax Collection- Professional Services	38,882.10	39,446.17	1,224.51	8,465.36	30,980.81	21
	403 TAX COLLECTION:	46,390.25	48,282.96	1,224.51	11,250.61	37,032.35	23
001-404-000-000	LEGAL SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-404-310-000	Legal- General Services	259,715.95	183,663.50	20,191.02	30,541.22	153,122.28	17
001-404-320-000	Legal- RTK Services	5,672.50	12,000.00	0.00	2,961.00	9,039.00	25
	404 LEGAL SERVICES:	265,388.45	195,663.50	20,191.02	33,502.22	162,161.28	17
001-405-000-000	CLERICAL:	0.00	0.00	0.00	0.00	0.00	0
001-405-140-000	Clerical- Payroll	97,699.70	184,000.00	9,499.20	25,148.44	158,851.56	14
001-405-150-000	Clerical- Benefits	18,211.96	52,882.96	2,171.52	6,278.78	46,604.18	12
001-405-210-000	Clerical- Office Supplies	4,149.94	6,500.00	120.10	1,117.14	5,382.86	17
001-405-310-000	Payroll Services	13,010.01	13,770.00	1,352.65	3,834.35	9,935.65	28
001-405-321-000	Clerical- Telephone	3,216.92	4,893.00	264.51	764.93	4,128.07	16
001-405-325-000	Clerical- Postage	4,104.00	5,911.00	0.00	332.98	5,578.02	6
001-405-337-000	Clerical- Mileage Reimbursement	0.00	240.00	0.00	0.00	240.00	0
001-405-340-000	Clerical- Advertisement	4,227.88	6,300.00	191.20	529.13	5,770.87	8
001-405-460-000	Clerical- Meetings & Seminars	579.94	2,540.00	118.42	1,000.37	1,539.63	39
001-405-465-000	Clerical- Computer Expense	83,846.01	78,082.00	5,114.82	36,071.37	42,010.63	46
001-405-470-000	Clerical- Other Expense	12,831.19	14,226.00	828.87	2,616.26	11,609.74	18
	405 CLERICAL:	241,877.55	369,344.96	19,661.29	77,693.75	291,651.21	21
001-408-000-000	ENGINEERING SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-408-310-000	Engineering Services	81,006.52	52,250.00	5,950.00	8,865.05	43,384.95	17

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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-409-000-000	GOVERNMENT BUILDINGS & PLANT:	0.00	0.00	0.00	0.00	0.00	0
001-409-136-000	Administration- Utilities	7,982.64	12,384.00	904.75	3,504.88	8,879.12	28
001-409-137-000	Administration- Maintenance & Repairs	17,309.27	20,076.00	1,542.85	3,609.15	16,466.85	18
001-409-142-000	Administration- Alarm Service	4,282.21	4,872.00	892.95	2,246.81	2,625.19	46
001-409-147-000	Administration- Other Expenses	1,429.44	2,520.00	183.15	315.06	2,204.94	12
001-409-236-000	Garage- Utilities	12,779.57	15,780.00	1,904.30	5,222.39	10,557.61	33
001-409-237-000	Garage- Maintenance & Repairs	10,262.29	13,488.00	673.30	2,402.40	11,085.60	18
001-409-242-000	Garage- Alarm Service	2,049.64	3,060.00	164.40	493.20	2,566.80	16
001-409-247-000	Garage- Other Expenses	1,554.29	1,740.00	287.97	504.69	1,235.31	29
001-409-436-000	Community Hall- Utilities	4,831.03	6,900.00	387.61	1,236.55	5,663.45	18
001-409-437-000	Community Hall- Maintenance & Repairs	6,014.34	7,140.00	347.80	945.40	6,194.60	13
001-409-447-000	Community Hall- Other Expenses	89.51	660.00	60.62	60.62	599.38	9
001-409-536-000	Historical Bldg- Utilities	1,316.82	5,433.00	47.47	1,117.12	6,550.12	21
001-409-537-000	Historical Bldg- Maintenance & Repairs	1,758.20	2,088.00	0.00	0.00	2,088.00	0
001-409-636-000	Hollow Rd Rental- Utilities	0.00	250.00	0.00	0.00	250.00	0
001-409-637-000	Hollow Rd Rental- Maintenance & Repairs	249.00	4,248.00	0.00	1,130.50	3,117.50	27
001-409-737-000	Springhouse- Maintenance & Repairs	0.00	1,000.00	0.00	0.00	1,000.00	0
001-409-836-000	Dutchy Church- Utilities	481.46	600.00	50.93	98.52	501.48	16
	409 GOVERNMENT BUILDINGS & PLANT:	72,389.71	102,239.00	7,448.10	20,653.05	81,585.95	20
001-411-000-000	FIRE:	0.00	0.00	0.00	0.00	0.00	0
001-411-380-000	Fire Protection- Hydrant Rentals	26,158.64	32,671.32	1,121.41	3,364.37	29,306.95	10
001-411-540-000	Fire Protection- WVFD Contributions	470,645.04	480,379.04	0.00	365,930.00	114,449.04	76
	411 FIRE:	496,803.68	513,050.36	1,121.41	369,294.37	143,755.99	72
001-413-000-000	UCC & CODE ENFORCEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-413-110-000	Fire Marshal- Payroll	4,215.00	16,380.00	0.00	400.00	15,980.00	2
001-413-110-150	Fire Marshal- Benefits	2,532.72	5,694.71	0.00	0.00	5,694.71	0

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<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-413-150-000	Code Enforcement- Benefits	0.00	252.75	0.00	0.00	252.75	0
001-413-210-000	Code Enforcement- Supplies	3,645.00	6,505.00	1,195.00	1,245.00	5,260.00	19
001-413-312-000	Code Enforcement- Consultant Services	51,730.00	82,990.80	3,672.00	8,260.00	74,730.80	10
001-413-321-000	Code Enforcement- Mobile Phone	332.89	360.00	30.08	90.24	269.76	25
001-413-337-000	Code Enforcement- Mileage Reimbursement	0.00	840.00	0.00	0.00	840.00	0
001-413-460-000	Code Enforcement- Meetings & Seminars	0.00	400.00	0.00	0.00	400.00	0
	413 UCC & CODE ENFORCEMENT:	62,455.61	113,423.26	4,897.08	9,995.24	103,428.02	9
001-414-000-000	PLANNING & ZONING:	0.00	0.00	0.00	0.00	0.00	0
001-414-140-000	Zoning- Payroll	2,150.00	4,400.00	0.00	350.00	4,050.00	8
001-414-150-000	Zoning- Benefits	164.66	337.04	0.00	26.81	310.23	8
001-414-310-000	Zoning- Professional Services	16,313.00	13,300.00	2,428.90	2,428.90	10,871.10	18
001-414-313-000	Zoning- Engineering	450.12	1,500.00	0.00	0.00	1,500.00	0
001-414-314-000	Zoning- Legal	42,520.00	36,100.00	12,680.00	22,440.00	13,660.00	62
001-414-315-000	Zoning- Conditional Use	1,634.00	9,500.00	0.00	0.00	9,500.00	0
001-414-341-000	Zoning- Advertisement	3,757.91	2,700.00	0.00	174.40	2,525.60	6
001-414-460-000	Zoning- Meetings & Seminars	0.00	200.00	0.00	0.00	200.00	0
	414 PLANNING & ZONING:	66,989.69	68,037.04	15,108.90	25,420.11	42,616.93	37
001-419-000-000	OTHER PUBLIC SAFETY:	0.00	0.00	0.00	0.00	0.00	0
001-419-242-000	PA One Call	1,163.95	2,580.00	0.00	0.00	2,580.00	0
001-430-000-000	PUBLIC WORKS - ADMIN:	0.00	0.00	0.00	0.00	0.00	0
001-430-140-000	Public Works- Payroll	539,961.45	618,878.24	46,164.97	128,175.07	490,703.17	21
001-430-150-000	Public Works- Benefits	315,951.57	326,003.65	24,635.88	86,794.11	239,209.54	27
001-430-238-000	Public Works- Uniforms	6,340.23	9,700.00	165.60	165.60	9,534.40	2
001-430-326-000	Public Works- Mobile phones	506.98	672.00	67.56	177.68	494.32	26
001-430-460-000	Public Works- Meetings & Seminars	410.00	1,200.00	239.24	389.24	810.76	32
001-430-470-000	Public Works- Other Expenses	2,112.24	1,715.00	700.00	1,115.52	599.48	65

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<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
	430 PUBLIC WORKS - ADMIN:	865,282.47	958,168.89	71,973.25	216,817.22	741,351.67	23
001-432-000-000	WINTER MAINTENANCE- SNOW REMOVAL:	0.00	0.00	0.00	0.00	0.00	0
001-432-200-000	Snow Removal- Materials	27,127.10	39,125.00	18,614.74	52,478.24	13,353.24 -	134
001-432-450-000	Snow Removal- Contractor	0.00	1,500.00	0.00	0.00	1,500.00	0
	432 WINTER MAINTENANCE- SNOW REMOVA	27,127.10	40,625.00	18,614.74	52,478.24	11,853.24 -	129
001-433-000-000	TRAFFIC CONTROL DEVICES:	0.00	0.00	0.00	0.00	0.00	0
001-433-313-000	Traffic Signal- Engineering	10,511.72	9,000.00	56.25	56.25	8,943.75	1
001-433-361-000	Traffic Signal- Electricity	4,271.43	4,740.00	400.18	807.87	3,932.13	17
001-433-374-000	Traffic Signal- Maintenance	13,607.95	11,400.00	355.00	3,155.00	8,245.00	28
	433 TRAFFIC CONTROL DEVICES:	28,391.10	25,140.00	811.43	4,019.12	21,120.88	16
001-437-000-000	REPAIRS OF TOOLS AND MACHINERY:	0.00	0.00	0.00	0.00	0.00	0
001-437-250-000	Machinery & Tools- Vehicle Maintenance	93,653.01	82,200.00	16,549.23	49,126.87	33,073.13	60
001-437-260-000	Machinery & Tools- Small Tools	8,622.74	16,000.00	217.51	1,757.43	14,242.57	11
	437 REPAIRS OF TOOLS AND MACHINERY:	102,275.75	98,200.00	16,766.74	50,884.30	47,315.70	52
001-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
001-438-231-000	Gasoline	6,974.41	6,000.00	1,327.57	2,467.07	3,532.93	41
001-438-232-000	Diesel Fuel	20,836.89	29,976.52	4,218.01	7,362.12	22,614.40	25
001-438-242-000	Road Signs	3,248.07	6,000.00	558.98	558.98	5,441.02	9
001-438-245-000	Road Supplies	24,830.78	56,500.00	443.11	1,238.81	55,261.19	2
001-438-313-000	Engineering	12,582.21	25,000.00	0.00	0.00	25,000.00	0
001-438-370-000	Road Program- Contractor	0.00	15,000.00	0.00	0.00	15,000.00	0
	438 ROADS & BRIDGES:	68,472.36	138,476.52	6,547.67	11,626.98	126,849.54	8
001-446-000-000	STORM WATER MANAGEMENT:	0.00	0.00	0.00	0.00	0.00	0

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<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
001-446-313-000	Stormwater Management- Engineering	18,398.45	37,000.00	511.50	511.50	36,488.50	1
001-452-000-000	PARTICIPANT RECREATION:	0.00	0.00	0.00	0.00	0.00	0
001-452-248-000	Camps & Sport Leagues	1,260.00	1,300.00	0.00	0.00	1,300.00	0
001-452-250-000	Community Day	8,855.72	13,000.00	0.00	0.00	13,000.00	0
001-452-520-000	Library	8,866.00	9,309.30	0.00	0.00	9,309.30	0
	452 PARTICIPANT RECREATION:	18,981.72	23,609.30	0.00	0.00	23,609.30	0
001-454-000-000	PARKS:	0.00	0.00	0.00	0.00	0.00	0
001-454-436-000	Heebner Park- Utilities	3,963.28	3,876.00	643.94	1,253.25	2,622.75	32
001-454-437-001	Heebner Park- Athletic Fields	6,678.48	15,800.00	1,006.00	1,006.00	14,794.00	6
001-454-437-002	Heebner Park- Expenses	7,514.29	8,000.00	1,027.23	1,030.02	6,969.98	13
001-454-438-001	Mount Kirk Park- Athletic Fields	709.50	3,700.00	235.00	235.00	3,465.00	6
001-454-438-002	Mount Kirk Park- Expenses	1,128.67	1,550.00	505.63	505.63	1,044.37	33
001-454-438-003	Mount Kirk Park- Utilities	3,006.03	2,195.00	415.68	836.29	1,358.71	38
001-454-439-001	Sunny Brook Park- Athletic Fields	1,924.46	4,700.00	235.00	235.00	4,465.00	5
001-454-439-002	Sunny Brook Park- Expenses	2,660.91	3,602.00	329.99	329.99	3,272.01	9
001-454-446-000	Sunny Brook Park- Utilities	1,360.50	2,100.00	0.00	903.48	1,196.52	43
001-454-470-000	Heyser Park- Horse Ring	575.00	500.00	0.00	0.00	500.00	0
001-454-471-000	Heyser Park- Expenses	0.00	350.00	150.00	150.00	200.00	43
001-454-480-000	Trail Expenses	913.68	2,850.00	236.91	236.91	2,613.09	8
001-454-490-000	Other Parks	2,758.04	7,160.00	257.66	758.66	6,401.34	11
	454 PARKS:	33,192.84	56,383.00	5,043.04	7,480.23	48,902.77	13
001-459-000-000	PUBLIC RELATIONS:	0.00	0.00	0.00	0.00	0.00	0
001-459-340-000	Public Relations- Community Newsletter	16,696.45	23,520.00	0.00	0.00	23,520.00	0
001-459-341-000	Public Relations- Other Communications	0.00	2,000.00	0.00	0.00	2,000.00	0
	459 PUBLIC RELATIONS:	16,696.45	25,520.00	0.00	0.00	25,520.00	0

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<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-481-000-000	EMPLOYER PAID BENEFITS AND WITHHOLDII	0.00	0.00	0.00	0.00	0.00	0
001-481-430-000	Inter Gov- Real Estate Taxes	0.00	0.00	0.00	1,113.80	1,113.80 -	0
001-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
001-486-350-000	Insurances	121,259.50	136,645.50	0.00	26,714.75	109,930.75	20
001-492-300-000	Transfer To Capital Fund	2,150,435.68	981,391.33	0.00	0.00	981,391.33	0
	Fund 001 Expenditure Totals	5,380,441.42	4,615,213.59	246,399.60	1,078,848.80	3,536,364.79	23

001 Fund	Prior	Current	YTD
Revenues:	5,442,581.35	228,156.77	470,906.70
Expenditures:	5,380,441.42	246,399.60	1,078,848.80
Net Income:	62,139.93	18,242.83 -	607,942.10 -

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Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
008-341-000-000	Interest Earnings	70,621.40	15,000.00	5,245.66	15,538.01	538.01	104
008-364-110-000	Tapping Fees	3,200.00	48,577.62	1,043.92	8,984.42	39,593.20 -	18
008-364-120-000	Sewer Fees- Residential	620,532.03	615,842.86	8,658.18	156,572.30	459,270.56 -	25
008-364-130-000	Sewer Fees- Commercial	162,911.05	150,000.00	13,361.26	42,352.34	107,647.66 -	28
008-364-140-000	Late Fees	10,022.16	8,000.00	808.34	2,847.99	5,152.01 -	36
008-364-150-000	Certification Fees	1,075.00	1,000.00	50.00	125.00	875.00 -	12
	364 Total	797,740.24	823,420.48	23,921.70	210,882.05	612,538.43 -	25
008-381-000-000	Miscellaneous Income	395,907.88	25.00	0.00	0.00	25.00 -	0
008-381-200-000	Insurance Proceeds	395,907.88 -	0.00	0.00	0.00	0.00	0
	381 Miscellaneous Income	0.00	25.00	0.00	0.00	25.00 -	0
008-392-300-000	Transfer from Capital Fund	946.66	0.00	0.00	0.00	0.00	0
	Fund 008 Revenue Totals	869,308.30	838,445.48	29,167.36	226,420.06	612,025.42 -	27
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
008-429-000-000	WASTEWATER COLLECTION AND TREATMENT	0.00	0.00	0.00	0.00	0.00	0
008-429-242-000	Alarm Services	601.55	1,232.00	0.00	0.00	1,232.00	0
008-429-300-000	Other Expenses	229,663.61	209,652.00	21,198.75	42,879.95	166,772.05	20
008-429-313-000	Engineering	10,263.14	10,000.00	1,043.00	1,043.00	8,957.00	10
008-429-314-000	Legal	4,361.58	5,000.00	25.50	204.00	4,796.00	4
008-429-316-000	Plant Operations	90,035.00	91,056.00	7,255.50	15,101.63	75,954.37	17
008-429-321-000	Telephone	1,072.67	1,080.00	89.28	268.22	811.78	25
008-429-361-000	Utilities	123,667.17	135,000.00	11,138.51	22,969.87	112,030.13	17
008-429-374-000	Equipment & Repairs	29,435.51	27,960.00	1,164.90	5,546.86	22,413.14	20
008-429-421-001	Center Point- Operations	5,910.00	6,444.00	507.00	1,014.00	5,430.00	16
008-429-421-002	Center Point- Utilities & Repairs	5,316.68	7,572.00	534.78	1,513.68	6,058.32	20
008-429-422-001	Meadowood- Operations	5,910.00	6,444.00	507.00	1,014.00	5,430.00	16

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
008-429-422-002	Meadowood- Utilities & Repairs	3,528.70	6,540.00	282.68	1,034.51	5,505.49	16
008-429-423-001	Heritage Village- Operations	5,417.50	6,444.00	0.00	0.00	6,444.00	0
008-429-423-002	Heritage Village- Utilities & Repairs	4,031.60	6,648.00	1,008.45	2,519.68	4,128.32	38
008-429-424-001	Fawn Creek- Operations	7,065.00	6,444.00	507.00	1,014.00	5,430.00	16
008-429-424-002	Fawn Creek- Utilities & Repairs	3,474.99	5,532.00	44.22	566.06	4,965.94	10
008-429-425-001	Chadwick Place- Operations	5,910.00	6,444.00	507.00	1,014.00	5,430.00	16
008-429-425-002	Chadwick Place- Utilities & Repairs	3,099.61	5,700.00	420.22	1,347.01	4,352.99	24
008-429-426-001	Adair Pump- Operations	6,787.50	6,444.00	507.00	1,014.00	5,430.00	16
008-429-426-002	Adair Pump- Utilities & Repairs	4,079.32	5,580.00	620.88	1,741.03	3,838.97	31
008-429-700-000	Capital Improvements	93,008.54	89,880.00	4,365.20	101,190.74	11,310.74 -	113
008-429-800-000	Depreciation	313,669.00	0.00	0.00	0.00	0.00	0
429 WASTEWATER COLLECTION AND TREATM		956,308.67	647,096.00	51,726.87	202,996.24	444,099.76	31
008-471-000-000	DEBT PRINCIPAL:	0.00	0.00	0.00	0.00	0.00	0
008-471-200-000	General Obligation Bond- Principal	0.00	130,000.00	0.00	0.00	130,000.00	0
008-472-000-000	DEBT INTEREST:	0.00	0.00	0.00	0.00	0.00	0
008-472-200-000	General Obligation Bond- Interest	36,556.26	41,431.26	0.00	0.00	41,431.26	0
008-475-000-000	Fiscal Agent Fees- 2016 Bond	1,050.00	1,100.00	0.00	0.00	1,100.00	0
008-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
008-486-350-000	Insurance Expense	6,689.50	6,971.50	0.00	6,971.50	0.00	100
Fund 008 Expenditure Totals		1,000,604.43	826,598.76	51,726.87	209,967.74	616,631.02	25

008 Fund	Prior	Current	YTD
Revenues:	869,308.30	29,167.36	226,420.06
Expenditures:	1,000,604.43	51,726.87	209,967.74
Net Income:	131,296.13 -	22,559.51 -	16,452.32

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

04/15/2025
02:21 PM

<i>Revenue Account</i>	<i>Description</i>	<i>Prior Yr Rev</i>	<i>Anticipated</i>	<i>Curr Rev</i>	<i>YTD Rev</i>	<i>Excess/Deficit</i>	<i>% Real</i>
030-341-000-000	Interest Earnings	876,161.07	720,000.00	68,546.78	200,603.68	519,396.32 -	28
030-354-351-000	Grants	193,560.00	173,442.00	0.00	0.00	173,442.00 -	0
030-363-100-000	Traffic Impact Fees	66,183.77	14,204.00	0.00	13,422.39	781.61 -	94
030-381-000-000	Miscellaneous Income	3,500.00	2,000.00	0.00	1,000.00	1,000.00 -	50
030-392-010-000	Transfer From General Fund	2,150,435.68	981,391.33	0.00	0.00	981,391.33 -	0
030-395-000-000	Refund of Prior Year Expenditures	8,100.00	0.00	0.00	0.00	0.00	0
	Fund 030 Revenue Totals	3,297,940.52	1,891,037.33	68,546.78	215,026.07	1,676,011.26 -	11
<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
030-405-000-000	SECRETARY/CLERK:	0.00	0.00	0.00	0.00	0.00	0
030-405-720-000	Office Equipment	7,440.73	44,500.00	2,237.43	4,986.89	39,513.11	11
030-409-000-000	GOVERNMENT BUILDINGS & PLANTS:	0.00	0.00	0.00	0.00	0.00	0
030-409-600-000	Building Improvements	3,696.24	51,500.00	0.00	7,064.00	44,436.00	14
030-430-600-000	Capital Roads	1,286,036.57	1,377,070.00	254.00	254.00	1,376,816.00	0
030-430-740-000	Equipment Purchases	134,738.97	425,173.42	0.00	0.00	425,173.42	0
	430 Total	1,420,775.54	1,802,243.42	254.00	254.00	1,801,989.42	0
030-433-600-000	Traffic Signs & Signals	12,228.00	33,000.00	0.00	0.00	33,000.00	0
030-454-600-000	Parks and Trails	210,489.29	411,800.00	7,726.00	8,261.88	403,538.12	2
030-454-710-000	Land Acquisition	10,386.41	31,000.00	0.00	0.00	31,000.00	0
	454 Total	220,875.70	442,800.00	7,726.00	8,261.88	434,538.12	2
030-471-201-000	Bond principal	35,000.00	0.00	0.00	0.00	0.00	0
030-472-200-000	Loan Interest	100,808.06	135,908.85	49,066.58	49,066.58	86,842.27	36
030-492-010-000	Transfer to General Fund	350,000.00	0.00	0.00	0.00	0.00	0
030-492-080-000	Transfer to Sewer Fund	946.66	0.00	0.00	0.00	0.00	0
	492 Total	350,946.66	0.00	0.00	0.00	0.00	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

04/15/2025
02:21 PM

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
	Fund 030 Expenditure Totals	2,151,770.93	2,509,952.27	59,284.01	69,633.35	2,440,318.92	3
030 Fund			Prior	Current	YTD		
Revenues:		3,297,940.52		68,546.78	215,026.07		
Expenditures:		2,151,770.93		59,284.01	69,633.35		
Net Income:		1,146,169.59		9,262.77	145,392.72		

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

04/15/2025
02:21 PM

<i>Revenue Account</i>	<i>Description</i>	<i>Prior Yr Rev</i>	<i>Anticipated</i>	<i>Curr Rev</i>	<i>YTD Rev</i>	<i>Excess/Deficit</i>	<i>% Real</i>
035-341-000-000	Interest Earnings	15,747.02	6,000.00	1,567.47	2,216.49	3,783.51 -	37
035-355-020-000	Liquid Fuel Funds	357,387.92	355,778.42	363,411.52	363,411.52	7,633.10	102
	Fund 035 Revenue Totals	373,134.94	361,778.42	364,978.99	365,628.01	3,849.59	101
<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
035-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
035-438-370-000	Road Maintenance Contractor	350,000.00	0.00	0.00	0.00	0.00	0
	Fund 035 Expenditure Totals	350,000.00	0.00	0.00	0.00	0.00	0

035 Fund	Prior	Current	YTD
Revenues:	373,134.94	364,978.99	365,628.01
Expenditures:	350,000.00	0.00	0.00
Net Income:	23,134.94	364,978.99	365,628.01

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
040-341-109-000	Interest 1622 Hollow Road	278.12	0.00	20.45	59.73	59.73	0
040-341-200-000	Interest Earnings Developers	1,328.64	0.00	88.60	261.20	261.20	0
	341 Total	1,606.76	0.00	109.05	320.93	320.93	0
	Fund 040 Revenue Totals	1,606.76	0.00	109.05	320.93	320.93	0

040 Fund	Prior	Current	YTD
Revenues:	1,606.76	109.05	320.93
Expenditures:	0.00	0.00	0.00
Net Income:	1,606.76	109.05	320.93

Grand Totals	Prior	Current	YTD
Revenues:	9,984,571.87	690,958.95	1,278,301.77
Expenditures:	8,882,816.78	357,410.48	1,358,449.89
Net Income:	1,101,755.09	333,548.47	80,148.12 -

Worcester Volunteer Fire Department

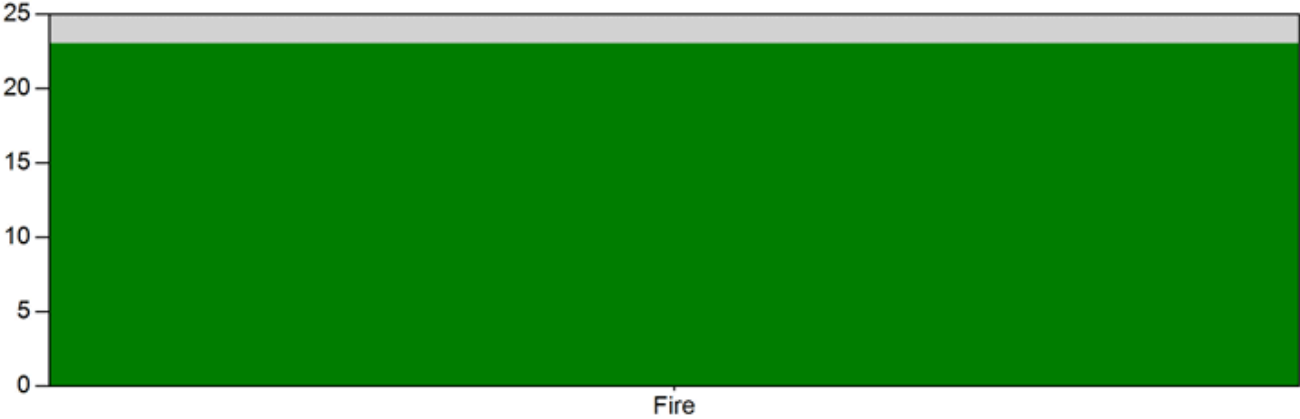
Worcester, PA

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Incidents by Shift for Date Range

Start Date: 03/01/2025 | End Date: 03/31/2025



SHIFT	# INCIDENTS
Fire	23
TOTAL: 23	

Fire Call Average Attendance:18.0
FP Call Average Attendance: N/A
Drill Average Attendance: 33.7
Daytime Calls Twp Employees Assisted On: 8

Call Man Hours: 386.25
Drill Man Hours: 311
Events: 0
Total Elapsed Time on Calls: 19:16:47

Worcester Volunteer Fire Department

Worcester, PA

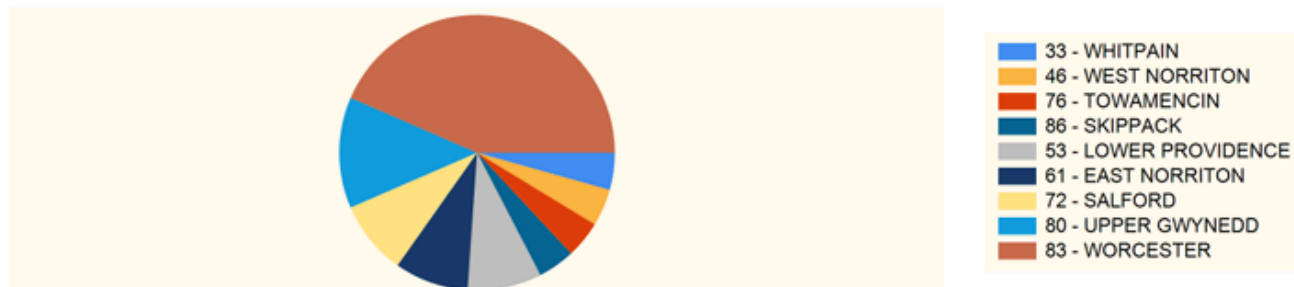
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Count of Incidents by Incident Type per Zone

Incident Status: Reviewed | Start Date: 03/01/2025 | End Date: 03/31/2025

% of Incidents per Zone



INCIDENT TYPE	# INCIDENTS	% of TOTAL
33 - WHITPAIN		
143 - Grass fire	1	4.35%
Zone: 33 - WHITPAIN Total Incident:	1	4.35%
46 - WEST NORRITON		
111 - Building fire	1	4.35%
Zone: 46 - WEST NORRITON Total Incident:	1	4.35%
53 - LOWER PROVIDENCE		
141 - Forest, woods or wildland fire	1	4.35%
142 - Brush or brush-and-grass mixture fire	1	4.35%
Zone: 53 - LOWER PROVIDENCE Total Incident:	2	8.70%
61 - EAST NORRITON		
111 - Building fire	2	8.70%
Zone: 61 - EAST NORRITON Total Incident:	2	8.70%
72 - SALFORD		
143 - Grass fire	1	4.35%
611 - Dispatched & cancelled en route	1	4.35%
Zone: 72 - SALFORD Total Incident:	2	8.70%
76 - TOWAMENCIN		
141 - Forest, woods or wildland fire	1	4.35%
Zone: 76 - TOWAMENCIN Total Incident:	1	4.35%
80 - UPPER GWYNEDD		
111 - Building fire	2	8.70%
531 - Smoke or odor removal	1	4.35%
Zone: 80 - UPPER GWYNEDD Total Incident:	3	13.04%
83 - WORCESTER		
142 - Brush or brush-and-grass mixture fire	4	17.39%

Report shows count of incidents for Status selected.

311 - Medical assist, assist EMS crew	1	4.35%
322 - Motor vehicle accident with injuries	1	4.35%
736 - CO detector activation due to malfunction	2	8.70%
745 - Alarm system activation, no fire - unintentional	2	8.70%
Zone: 83 - WORCESTER Total Incident:	10	43.48%
86 - SKIPPACK		
111 - Building fire	1	4.35%
Zone: 86 - SKIPPACK Total Incident:	1	4.35%
TOTAL INCIDENTS FOR ALL ZONES:	23	100%

Report shows count of incidents for Status selected.

Skippack Emergency Medical Services

4058 Mensch Rd
P.O. Box 59
Skippack, PA 19474

Business 610.454.9665
Fax 610.454.9666



Skippack EMS March 2025 calls Worcester Township

Calls dispatched	54
Transported	31
Refusals	2
No services *	5
Fire	0
Covered by other squads	13
Lift assist	1
Recall (by PSP & County Dispatch)	2

* includes: accidental/false alarm for medical alert alarm, no patient found, deceased, or police matters

**NORTH PENN WATER AUTHORITY
MINUTES OF THE BOARD OF DIRECTORS' MEETING
FEBRUARY 25, 2025**

George E. Witmayer, Chair, called the meeting to order at 7:00 p.m. The following Board members attended the meeting: Kenneth V. Farrall, Richard C. Mast, Amy Cummings-Leight, Arthur C. Bustard, Franco D'Angelo, and Robert C. McCarney. William K. Dingman, Michael R. Filiatrault and Jeffrey H. Simcox were absent. Also present were Keith L. Hass, P.E., Deputy Executive Director, Ami Tarburton, Director of Finance and Human Resources, Daniel P. Pearce, Director of Information Technology, Daniel C. Preston, P.E., Director of Asset Management and Strategic Initiatives, Jonathan C. Hartzell, Director of Operations and Field Services, and Paul G. Mullin, Esquire, Hamburg, Rubin, Mullin, Maxwell & Lupin, Solicitor.

The following items, by agenda number, were discussed:

1. **MINUTES** - Upon the motion of Mr. Farrall, seconded by Mr. Bustard, the Board unanimously approved the Minutes of the January 28, 2025, Board of Directors meeting as presented.
2. **BIDS:**
 - 2.1. Contract 802 – Operations Center Sealcoating. Upon the motion of Mr. Farrall, seconded by Mr. McCarney, and after discussion, the Board authorized unanimously the execution of the Notice to Proceed.
 - 2.2 Award Bid – Contract 801 – 2025 Infrastructure Improvement Projects – The project includes the replacement of 1.5 miles of aged, undersized water main with new 8-inch water line at various locations within the service area. Upon the motion of Mr. Bustard, seconded by Ms. Cummings-Leight, and after discussion, the Board authorized unanimously the award of the Bid to Joao & Bradley Construction, Inc., for the Bid Amount of \$3,487,638.00, as the lowest responsible Bidder meeting specifications and further, authorized execution of the Contract.
3. **PUBLIC COMMENTS** - There were no members of the public in attendance at the meeting.
4. **FINANCIALS:**
 - 4.1. The **Statement of Income and Expense** for the period ending January 31, 2025, was highlighted by Ms. Tarburton and discussed. Ms. Tarburton noted that with just one month of data reporting, everything is in line with January expenditures at this early stage of the year. Metered Sales are up 9.5%, more than \$160,000, over 2024. Total Revenues were 37% more than January of 2024 due to increased tapping fees related to developer activity. Operating expenses were 10% of budget with 8% of time elapsed. Debt Service Coverage is at 1.01, which is below the 1.10 required by the Trust Indenture. The debt ratio is historically low in January due to timing of expenditures and will return to expected level. Total Debt Service Coverage is at 3.12 due to the

timing of non-operating revenue and this will level out as the year progresses. Capital expenditures are at 5% of budget and metered sales are at or exceeding the 3-year average. There is no balance sheet this month since we are in the middle of our auditing process. The Human Resources and Payroll report was also reviewed and discussed. Following discussion, upon the motion of Mr. Farrall, seconded by Ms. Cummings-Leight, the Board voted unanimously to accept the financial reports and file for future audit. Ms. Tarburton noted that it is expected that the 2024 final audits will be completed sometime in March in time for an April Finance Committee meeting.

- 4.2. Check Registers for the period January 22, 2025, to February 18, 2025, were distributed and discussed. Upon the motion of Mr. Farrall, seconded by McCarney, the Board ratified unanimously the payments listed.
5. **OPERATIONS, METER/CUSTOMER SERVICE, AND STATISTICS REPORT** - The Report for the month of January 2025 was presented, highlighted by Mr. Hartzell, and discussed. Mr. Hartzell noted the high incidence of main breaks in the month due to the weather conditions.
6. **ENGINEERING AND WATER QUALITY REPORT** - The Report for the month of January 2025 was presented, highlighted by Mr. Preston, and discussed.
7. **INFORMATION TECHNOLOGY REPORT** - The Report for the month of January 2025 was presented, highlighted by Mr. Pearce, and discussed.
8. **ADMINISTRATION AND PUBLIC RELATIONS REPORT** - The Report for the month of January 2025 was presented, highlighted by Mr. Hass, and discussed. Mr. Hass highlighted the 1,000 visits to the West Rockhill Transmission Main Project Update page on our website.
9. **FOREST PARK WATER** – Mr. Hass, on behalf of Mr. Dingman, Chair of the Forest Park Water Operating Committee, reported that the committee met last week on February 18th. The minutes of the meeting are included in the Board Packet. The plant operations and financials are performing well. Mr. Hass reported that the drought and PECO's need for additional water via the East Branch of the Perkiomen Creek for the Limerick Nuclear Generating Station impacted the Lake Galena level. In addition, there was discussion regarding the draft Forest Park Rate Study Report conducted by Raftelis. Raftelis presented findings of the report to the Committee and will also be giving a presentation on the rate study at the upcoming Joint Board meeting on March 6th. Mr. Hass noted the water rate model developed by Raftelis will be useful going forward as we manage future Forest Park rate increases. It is anticipated the draft report will be finalized and approved at the September Joint Board Meeting. In addition, work continues on the DRBC and DEP applications for the proposed plant expansion. Approval to move forward with engineering and design work will be requested at the March 6th Joint Board meeting.

10. **MAIN EXTENSIONS:**

- 10.1. M.E. 1476 – Bexley, Pelham Drive and Holly Lane, Hatfield Township
Upon the motion of Mr. McCarney, seconded by Mr. McCarney, the Board authorized unanimously the execution of Resolution No. 25-02-25A for the Deed of Dedication and the Deed of Dedication itself, respectively.
- 10.2. M.E. 1556 – West Rockhill Elementary School, Washington Ave, West Rockhill Township
Upon the motion of Mr. Farrall, seconded by McCarney, the Board authorized unanimously the execution of Resolution No. 25-02-25B for the Deed of Dedication and the Deed of Dedication itself, respectively. Further, the Board authorized the execution of the Deed of Easement and Easement Compensation Agreement in the amount of \$123,176.00.

11. **ITEMS FOR DISCUSSION:**

- 11.1. Water & Wastewater Summer Internship Program – Ms. Tarburton highlighted the memo included with the board packet. Since 2022, NPWA has been participating in the Water and Wastewater Summer Internship Program providing opportunities for young people over the age of 18 to gain exposure to the water and wastewater industries and stimulate interest in pursuing a career in our industry. The existing Agreement has been amended to include Northampton Bucks County Municipal Authority. No other changes were made to the existing agreement.

Upon the motion of Mr. Bustard, seconded by Mr. Farrall, the Board authorized unanimously the execution of the Inter-Municipal Agreement, as presented.

12. **COMMITTEE REPORTS:**

- 12.1. Engineering Committee - Mr. Farrall, Chair of the Engineering Committee, reported that the committee met earlier this evening prior to the Board meeting at 5:00 pm. The Committee reviewed and discussed several items as follows:
 - 12.1.1 Comprehensive Master Plan – Brown and Caldwell gave a presentation on the final Executive Summary Report that was prepared for our senior staff and the Board. The report outlines the long-range planning of the Authority as it relates to Capital Improvements to meet growth, infrastructure replacement and storage needs. The report identifies the needs of the Authority during the planning horizon out to 2050. All Board members received a copy of the plan. There will be some minor revisions made to the plan and a revised final plan submitted in the near future.
 - 12.1.2 Water Main Breaks – Mr. Hartzell provided information related to the January main breaks. The Authority encountered a record number of

issues in January 2025, with 16 leaks and 23 main breaks. Mr. Hartzell recounted the frigid conditions and provided photos of our employees performing emergency repair work. An analysis of the situation indicated that the issues were exclusively in older areas of the system with aged infrastructure. In fact, 100% of the issues were in areas representing only 15% of our water main. This was due to the frigid weather conditions affecting the ground and internal water temperature of the pipe. This situation reinforces the need to continue to invest in replacement of aging infrastructure at the recommended rate of 1.6 miles per year, as demonstrated in our Comprehensive Master Plan.

12.1.3 Grandview Hospital Water Service Update – Mr. Preston presented an overview of the plan to provide a new connection to the hospital while the hospital provides NPWA with a tank site. Certain aspects of the discussion needed were deferred to Executive Session.

12.1.4 Telford Borough Authority (TBA) Update – Mr. Preston provided an update on the Standby Capacity agreement under review by Telford. The agreement allows for purchase of water by Telford in the event there is a need related to PFAS treatment of the Telford wells. Also, the Agreement provides terms related to connection to the pending West Rockhill Transmission Main to serve future Telford customers within the existing Telford service area. We expect to finalize this agreement soon.

12.1.5 Easement Maintenance Program – Mr. Preston provided an update on the status of the program. The program had been on hiatus due to staffing issues but is now moving forward. We have now documented 534 easements within our system and are developing a systematic approach with a goal of ensuring all main is accessible regardless of location. We have identified about 150 high priority easements that will require inspection and regular clearing and maintaining. In 2025, we are going to clear the easement area for the Forest Park Transmission main. This was first cleared 10 years ago and is now in need of maintenance.

12.2. Executive Committee – Mr. Hass, on behalf of Mr. Simcox, Chair of the Executive Committee, reported that the committee had not met.

12.3. Finance Committee – Ms. Cummings-Leight, Chair of the Finance Committee, reported that the committee had not met but a meeting is planned for April 2025, prior to the Board meeting.

13. **CORRESPONDENCE** - Various items of correspondence and newspaper articles contained in the Authority meeting booklet were reviewed. There was nothing in particular

14. **COMING EVENTS:**

- 14.1. NPWA/NWWA Joint Board Meetings
Thursday, March 6, 2025
Thursday, September 4, 2025
North Penn Water Authority
300 Forty Foot Road, Lansdale, PA
7:00 pm
- 14.2. PMAA Board Member Training
Thursday, March 13, 2025
Allentown, PA
- 14.3. Roadmasters Meeting
April 10, 2025
Hennings Market
290 Main Street, Harleysville, PA
- 14.4. Public Voting
Tuesday, May 20, 2025: Primary Election
Tuesday, November 4, 2025: General Election
North Penn Water Authority
300 Forty Foot Road, Lansdale, PA
- 14.5. Annual Municipal Banquet
Thursday, May 22, 2025
Indian Valley Country Club
650 Bergey Road, Telford, PA
- 14.6. Forest Park Operating Committee Meeting
Tuesday, August 19, 2025
North Wales Water Authority
200 W. Walnut Street, North Wales, PA
6:00 pm
- 14.7. PMAA 83rd Annual Conference and Trade Show
September 7-10, 2025
Wind Creek Bethlehem
Bethlehem, PA
- 14.8. NPWA 60th Anniversary Open House
Thursday, September 18, 2025
North Penn Water Authority
300 Forty Foot Road, Lansdale, PA
3:00- 7:00 pm
- 14.9. Forest Park Customer Appreciation Day Golf Outing
Monday, September 29, 2025
The Bucks Club
2600 York Road, Jamison, PA

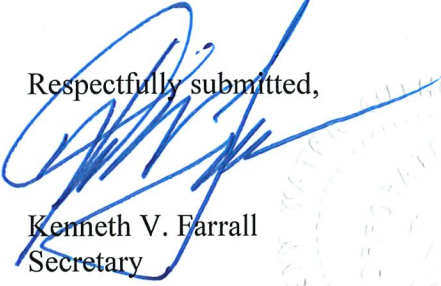
15. **OLD BUSINESS** – There was no Old Business.


16. **NEW BUSINESS** – There was no New Business.

17. **EXECUTIVE SESSION** – The Board adjourned to Executive Session at 7:30 pm to discuss a legal and real estate matter and reconvened at 8:03 pm.

There being no further business, upon the motion of Mr. Farrall, seconded by Mr. Mast, the Board voted unanimously to adjourn at 8:04 pm.

Respectfully submitted,


Kenneth V. Farrall
Secretary



Public Works Department Report

March 2025

1) Road Maintenance

- A. Cleared inlets and drains throughout the Township**
- B. Filled potholes throughout the Township**
- C. Adding stone to roadway edge erosion areas**
- D. ROW cleanup**
- E. Green Hill Road wooden bridge repairs**
- F. 2025 Road Program estimate completed**

2) Storm Maintenance

- A. 3.5.25 Rain/Wind event leading to after hour road closures**

3) Parks

- A. Twice weekly cleaning of restrooms, emptying trash receptacles, and stocking dog bags**
- B. Repairing washouts and general trail maintenance**
- C. Heebner and Mt Kirk gate project completed**
- D. Heebner Park grinder pump repair**
- E. Mulching of Heebner Park groves**
- F. Playground mulching**
- G. Park and Township building mulching**
- H. Pruning and removal of dead trees in all parks and trail systems**
- I. Sanitary cleanout repair at Sunnybrook Park**
- J. Aerating and seeding of all soccer fields**

4) Vehicle/Equipment Maintenance

- A. Performed weekly maintenance of all Township vehicles**
- B. Mowing equipment tune ups**
- C. 64-39 Wiper motor repair**

5) Miscellaneous

- A. Setting up and cleaning of Community Hall for rentals and Township events**
- B. Nike Compost facility open to residents twice weekly**

Private Utility Enterprises, Inc

March 27, 2025

Dan DeMeno
Township of Worcester
1721 Valley Forge Road
Worcester, PA 19490

RE: Berwick STP PA0050393 and Valley Green STP PA0050393
Monthly Operation and Maintenance Report for February 2025.

Mr DeMeno,

Attached, please find the summary of analytical results and operation and maintenance activities for the Berwick and Valley Green sewage treatment plants and collection system.

Please feel free to contact me with questions at the above number.

Thank you,

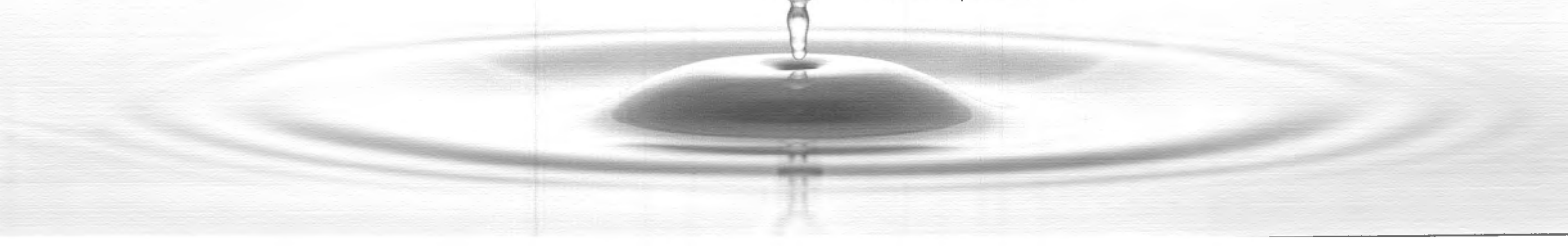


Teresa J Peachey
Office Manager

Cc: John Scully, President
John Evarts
Christian Jones

215-766-2626
pue@pueinc.com

1000 E Walnut Street
Suite 721
Perkasie, PA 18944



**Worcester Township WWTP
Operations and Maintenance Report**

February 2025

Non-Routine Maintenance / Events:

Berwick WWTP

2/03/2025 - Swapped IEPs in both Influent EQ tanks: pumps 2 are in AUTO and pumps 1 are OFF. Manually backwashed the tertiary filters. Drained the moisture from the compressor tank.

2/17/2025 - Upon arrival, after swapping the IEPs, found the level in influent EQ 1 was just under the high-level float. Ran pump 1 and verified its operation. Prior to leaving, the level in influent EQ 1 was 3' below the high-level float. Also, upon arrival, walked into the building to the starter for pump 1 in the influent pump station was engaging and disengaging rapidly. Found the overload relay for pump 2 was tripped. Reset the relay and pump 2 started and pumped down the level in the wet well. Checked the Amp draw of both pumps and compared the readings. Both pumps were drawing 10-11 Amps. The pumps ran normal ON/OFF cycles and alternated without any issues for about 60 minutes. Walked in from working outside to pump 1 starter rapidly switching again. Checked and found pump 2 overload relay was tripped again. Reset the relay and pump 2 started and ran without issue. Checked and again the pump was only drawing 10-11 Amps. Both pumps ran and alternated for 45-60 minutes prior to end of day. Will pull pump 2 at earliest time and check for rag mat that periodically clogs pump. Because of the rapid switching of the starter for pump 1, the influent Totalizer total was 1.4 million gallons from yesterday to today, which was inaccurate. To avoid issues overnight, switched the alternating relay to pump 1 LEAD and pump 2 LAG. The skimmer head in clarifier 7 was completely submerged by about an inch. Pulled the skimmer head up to adjust to correct height but there was not enough pipe left in the coupler for the skimmer to stay in place or not come apart. Removed the skimmer head and extended the pipe. Reinstalled the skimmer and set it to the correct height. Now there is more length in the coupler and skimmer is much sturdier.

Pump Stations

2/20/2025 – Fawn Creek PS – Call out for pump #1 failure.



Outlook

FW: Your eDMR Report Has Been Received For Permit No. PA0050393

From Teresa Peachey <tpeachey@pueinc.com>

Date Wed 3/26/2025 1:47 PM

To Debbie Dunfee <Ddunfee@pueinc.com>

From: depgreenporthelpdesk@pa.gov <depgreenporthelpdesk@pa.gov>

Sent: Wednesday, March 26, 2025 1:46:55 PM (UTC-05:00) Eastern Time (US & Canada)

To: jscullypue@gmail.com <jscullypue@gmail.com>; jscullypue@gmail.com <jscullypue@gmail.com>; tryan@worcestertwp.com <tryan@worcestertwp.com>

Subject: Your eDMR Report Has Been Received For Permit No. PA0050393

This email is to confirm that the following report was received by DEP through the eDMR system:

Facility Name: VALLEY GREEN STP

Permit Number: PA0050393

Report Frequency: Monthly

Report Type: DMR

Reporting Period: 02/01/2025-02/28/2025

Report Due Date: 03/28/2025

Submitted By: John Scully

Submission Id: 513998

Submission Status: Received

Submission Type: Original

To view the details of this report, access the eDMR system through DEP's [GreenPort](#) and select the link for View/Revise Submitted.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DISCHARGE MONITORING REPORT (DMR)

NAME: **WORCESTER TWP MONTGOMERY CNTY**

ADDRESS: **1721 VALLEY FORGE ROADP. O. BOX 767, WORCESTER, PA , 19490-0767**

FACILITY: **VALLEY GREEN STP**

LOCATION: **VALLEY FORGE ROAD & DEFFORD ROAD, WORCESTER, PA , 19490**

STAGE: **Final Effluent**

PA0050393
PERMIT NUMBER

001
OUTFALL NUMBER

MONITORING PERIOD							
YEAR	MO	DAY		YEAR	MO	DAY	
2025	02	01		2025	02	28	

FROM

TO

Reporting Frequency: **Monthly**

DMR Effective From: **02/01/2025**

DMR Effective To: **02/28/2025**

Permit Expires: **06/30/2026**

Permit Application Due: **01/01/2026**

No Discharge: ☐

PARAMETER		QUANTITY OR LOADING			QUANTITY OR CONCENTRATION				SAMPLING FREQUENCY	SAMPLING TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS		
Dissolved Oxygen (00300)	SAMPLE MEASUREMENT	***	***		9.53	***	***		1/day	Grab
	PERMIT REQUIREMENT	***	***		6.0 Inst Min	***	***	mg/L	1/day	Grab
pH (00400)	SAMPLE MEASUREMENT	***	***		6.29	***	9.0		1/day	Grab
	PERMIT REQUIREMENT	***	***		6.0 Inst Min	***	9.0 IMAX	S.U.	1/day	Grab
Total Suspended Solids (00530)	SAMPLE MEASUREMENT	11.4	16.2		***	8.5	12.0		1/week	24-Hr Composite
	PERMIT REQUIREMENT	29.0 Avg Mo	44.0 Wkly Avg	lbs/day	***	16.0 Avg Mo	24.0 Wkly Avg	mg/L	1/week	24-Hr Composite
Total Nitrogen (00600)	SAMPLE MEASUREMENT	***	***		***	44.1	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	***	***		***	Monitor & Report Avg Mo	***	mg/L	1/week	24-Hr Composite
Ammonia-Nitrogen (00610)	SAMPLE MEASUREMENT	.3	***		***	.25	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	3.7 Avg Mo	***	lbs/day	***	2.0 Avg Mo	***	mg/L	1/week	24-Hr Composite
Total Phosphorus (00665)	SAMPLE MEASUREMENT	.6	***		***	.42	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	1.1 Avg Mo	***	lbs/day	***	.61 Avg Mo	***	mg/L	1/week	24-Hr Composite
Ultraviolet light intensity (49607)	SAMPLE MEASUREMENT	***	***		.1	***	***		1/day	Metered
	PERMIT REQUIREMENT	***	***		Monitor & Report Daily Min	***	***	µw/cm²	1/day	Metered



**COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER**

DISCHARGE MONITORING REPORT (DMR)

PARAMETER		QUANTITY OR LOADING			QUANTITY OR CONCENTRATION				SAMPLING FREQUENCY	SAMPLING TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS		
Flow (50050)	SAMPLE MEASUREMENT	.1485	.2094	MGD	***	***	***		Continuous	Recorded
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	Monitor & Report Daily Max		***	***	***		Continuous	Recorded
Fecal Coliform (74055)	SAMPLE MEASUREMENT	***	***		***	<2	<2	No./100 ml	1/week	Grab
	PERMIT REQUIREMENT	***	***		***	200 Geo Mean	1000 IMAX		1/week	Grab
Carbonaceous Biochemical Oxygen Demand (CBOD5) (80082)	SAMPLE MEASUREMENT	<4.7	7.7	lbs/day	***	<3.6	6.0	mg/L	1/week	24-Hr Composite
	PERMIT REQUIREMENT	18.3 Avg Mo	27.5 Wkly Avg		***	10.0 Avg Mo	15.0 Wkly Avg		1/week	24-Hr Composite
Facility Comments										



3800-FM-BCW0435 3/2012

Month: 2 (select number) Year: 2025
 Permit No.: PA0050393 Outfall: 001
 Renewal application due 180 days prior to expiration.
 This permit will expire on: June 30, 2026

Statistics for DMR														
Daily Minimum (Conc.):	<	2	6.29	9.53	<	2	6	0.1	<	40.6	0.07	0.32	250	144
Daily Maximum (Conc.):	<	2	9.1	11.89		5.7	12	0.1	<	47	0.57	0.52	440	328
Max Avg Weekly (Conc.):				11		6	12	0.1	<	47	1	1	440	328
Avg Monthly (Conc.):				10.52	<	3.6	8.5	0.1	<	44.1	0.25	0.42	332	215
Geometric Mean (Conc.):	<	2												
Max Avg Weekly (Load):	0.16			15		7.7	16.2		<	63	0.8	0.7	595	382
Avg Monthly (Load):	0.1485			13	<	4.7	11.4		<	58	0.3	0.6	439	278
Total Monthly (Load):	4.1566			365	<	132.8	318.3		<	1627	9.5	15.6	12281	7773
Daily Minimum (Load):	0.0906			9	<	2.9	7.0		<	53	0.09	0.4	332	195
Daily Maximum (Load):	0.2094			19		7.7	16.2		<	63	0.8	0.7	595	382

I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).

License No.: **S14080**
Date: _____

**COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF ENVIRONMENTAL PROTECTION
 BUREAU OF CLEAN WATER**

DISCHARGE MONITORING REPORT (DMR)

NAME: WORCESTER TWP MONTGOMERY CNTY

ADDRESS: 1721 VALLEY FORGE ROADP. O. BOX 767, WORCESTER, PA, 19490-0767

FACILITY: VALLEY GREEN STP

LOCATION: VALLEY FORGE ROAD & DEFFORD ROAD, WORCESTER, PA, 19490

STAGE: Raw Sewage Influent

PA0050393

PERMIT NUMBER

001

OUTFALL NUMBER

Reporting Frequency: Monthly

DMR Effective From: 02/01/2025

DMR Effective To: 02/28/2025

Permit Expires: 06/30/2026

Permit Application Due: 01/01/2026

No Discharge: ☐

MONITORING PERIOD							
YEAR	MO	DAY		YEAR	MO	DAY	
2025	02	01	FROM	2025	02	28	TO

PARAMETER		QUANTITY OR LOADING			QUANTITY OR CONCENTRATION				SAMPLING FREQUENCY	SAMPLING TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS		
Biochemical Oxygen Demand (BOD5) (00310)	SAMPLE MEASUREMENT	439	***	lbs/day	***	332	***	mg/L	1/week	24-Hr Composite
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	***		***	Monitor & Report Avg Mo	***		1/week	24-Hr Composite
Total Suspended Solids (00530)	SAMPLE MEASUREMENT	278	***	lbs/day	***	215	***	mg/L	1/week	24-Hr Composite
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	***		***	Monitor & Report Avg Mo	***		1/week	24-Hr Composite
Facility Comments										

ATTACHMENT DETAILS

FILE NAME	ATTACHMENT TYPE	UPLOADED TIME	ATTACHMENT COMMENT
2505979 Inf Eff 2.20.25	Laboratory Analytical Report	3/21/2025 4:04:00 PM	
2506996 Inf Eff 2.27.25	Laboratory Analytical Report	3/21/2025 4:04:39 PM	
W Valley Green DMR Feb 2025	Daily Effluent Monitoring Form	3/21/2025 4:01:10 PM	
W Valley Green Sludge Form Feb 2025	Sewage Sludge / Biosolids Production and Disposal Form	3/21/2025 4:02:21 PM	
2504046 Inf Eff 2.6.25	Laboratory Analytical Report	3/21/2025 4:02:55 PM	
2505085 Inf Eff 2.13.25	Laboratory Analytical Report	3/21/2025 4:03:33 PM	
W Valley Green Inf Proc Cntl Feb 2025	Influent and Process Control Form	3/21/2025 4:01:46 PM	

COMMENT DETAILS

COMMENTS	OPERATOR NAME	OPERATOR CERTIFICATION NUMBER	OPERATOR CONTACT NUMBER
	John Scully	S14080	(215)-766-2626

SUPPLEMENTAL REPORT - INFLUENT & PROCESS CONTROL

3800-FM-BCW0436 3/2012

Facility Name: Valley Green STP
Municipality: Worcester Twp County: Montgomery
Watershed: 3-E

Month: February Year: 2025
NPDES Permit No.: PA0050393
Renewal application due 180 days prior to expiration.
This permit will expire on: June 30, 2026

Day	Influent					Process Control				
	Flow (MGD)	BOD ₅ (mg/l)	BOD ₅ (lbs)	TSS (mg/l)	TSS (lbs)	Aeration MLSS (mg/l)	Aeration DO (mg/l)	Sludge Wasted (gallons)		
1	0.2409									
2	0.2944									
3	0.2542									
4	0.2433									
5	0.1124									
6	0.1505	351.0	441	230.0	289					
7	0.1545									
8	0.106									
9	0.1596									
10	0.1276									
11	0.1356									
12	0.1137									
13	0.1439	285.0	342	328.0	394					
14	0.1466									
15	0.1157									
16	0.2185									
17	0.1814									
18	0.1394									
19	0.1172									
20	0.1783	250.0	372	158.0	235					
21	0.0756									
22	0.1971									
23	0.1298									
24	0.1062									
25	0.1372									
26	0.0989									
27	0.1498	440.0	550	144.0	180					
28	0.147									
29										
30										
31										
Avg	0.156	332	426	215	274					
Max	0.294	440	550	328	394					

I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See Pa. C.S. § 4904 (relating to unsworn falsification).

Prepared By: John Scully
Title: Operator

License No.: S14080
Date: _____

SUPPLEMENTAL REPORT
SEWAGE SLUDGE / BIOSOLIDS PRODUCTION AND DISPOSAL

Month: January Year: 2025
NPDES Permit No.: PA0050393
Renewal application due 180 days prior to expiration
This permit will expire on: June 30, 2026

☐ Check here if there were no off-site removal events during the month[illegible]

TOTAL:

(Identify all sites where biosolids or ash were disposed or land applied)

Site Name				
Municipality				
County				
DEP Permit No.				
Type of Material*				
Dry Tons Applied/Disposed				
Type of Disposal/Use*				
Hauler Name	Franc			

I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).

License No.: **S14080**
Date:

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2504046**Report:** 02/17/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Worcester Valley Green NPDES - wkly**Lab ID:** 2504046-01 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Composite)**Sampled:** 02/06/25 10:00 **Received:** 02/06/25 12:40
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.18	mg/L	0.02	EPA 350.1 Rev 2.0	02/07/25		SNF	2
Carbonaceous Biochemical Oxygen Demand	4.1	mg/L	2.0	SM 5210 B	02/07/25 10:08		LEH	10
Nitrate as N	46.4	mg/L	1.00	EPA 300.0 Rev 2.1	02/06/25 22:39		NJG	
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/06/25 22:39		NJG	
Nitrate+Nitrite as N	<46.50	mg/L	1.10	CALCULATED	02/06/25 22:39		NJG	
Nitrogen, Total	<47.00	mg/L	1.60	CALCULATED	02/09/25 22:39		JMW	
Nitrogen, Total Kjeldahl (TKN)	<0.50	mg/L	0.50	EPA 351.2 Rev 2.0	02/09/25		JMW	
Phosphorus as P, Total	0.44	mg/L	0.01	SM 4500-P F	02/07/25		SNF	0.61
Solids, Total Suspended	7	mg/L	1	SM 2540 D	02/07/25		ALD	16

Lab ID: 2504046-02 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Grab)**Sampled:** 02/06/25 10:00 **Received:** 02/06/25 12:40
Sample Type: Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/6/25 15:05	2/7/25 13:47		MAC	200

Lab ID: 2504046-03 **Collected By:** Client
Sample Desc: Worcester Valley Green Influent (Composite)**Sampled:** 02/06/25 10:00 **Received:** 02/06/25 12:40
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	351	mg/L	40.0	SM 5210 B	02/07/25 8:51		SXS	
Solids, Total Suspended	230	mg/L	1	SM 2540 D	02/07/25		ALD	



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Additional accreditations by MD (261)

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2505085**Report:** 02/21/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Worcester Valley Green NPDES - wkly**Lab ID:** 2505085-01 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Composite)**Sampled:** 02/13/25 10:10 **Received:** 02/13/25 14:05
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.18	mg/L	0.02	EPA 350.1 Rev 2.0	02/14/25		SNF	2
Carbonaceous Biochemical Oxygen Demand	2.5	mg/L	2.0	SM 5210 B	02/14/25 8:30		LEH	10
Nitrate as N	44.6	mg/L	1.00	EPA 300.0 Rev 2.1	02/13/25 22:25		NJG	
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/13/25 22:25		NJG	
Nitrate+Nitrite as N	<44.70	mg/L	1.10	CALCULATED	02/13/25 22:25		NJG	
Nitrogen, Total	<45.20	mg/L	1.60	CALCULATED	02/18/25 16:39		SNF	
Nitrogen, Total Kjeldahl (TKN)	<0.50	mg/L	0.50	EPA 351.2 Rev 2.0	02/18/25		SNF	
Phosphorus as P, Total	0.32	mg/L	0.01	SM 4500-P F	02/14/25		SNF	0.61
Solids, Total Suspended	6	mg/L	1	SM 2540 D	02/14/25		ALD	16

Lab ID: 2505085-02 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Grab)**Sampled:** 02/13/25 10:10 **Received:** 02/13/25 14:05
Sample Type: Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/13/25 15:14	2/14/25 13:30		JMW	200

Lab ID: 2505085-03 **Collected By:** Client
Sample Desc: Worcester Valley Green Influent (Composite)**Sampled:** 02/13/25 10:10 **Received:** 02/13/25 14:05
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	285	mg/L	40.0	SM 5210 B	02/14/25 8:21		LEH	
Solids, Total Suspended	328	mg/L	1	SM 2540 D	02/14/25		ALD	



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NELAC accreditations for various drinking water, wastewater and solid & chemical materials analytes.

Additional accreditations by MD (261)

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2505979**Report:** 02/27/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Worcester Valley Green NPDES - wkly**Lab ID:** 2505979-01 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Composite)**Sampled:** 02/20/25 10:00 **Received:** 02/20/25 13:45
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.57	mg/L	0.02	EPA 350.1 Rev 2.0	02/21/25		SNF	2
Carbonaceous Biochemical Oxygen Demand	<2.0	mg/L	2.0	SM 5210 B	02/21/25 8:52	BS1	LEH	10
Nitrate as N	40.0	mg/L	1.00	EPA 300.0 Rev 2.1	02/21/25 1:04		NJG	
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/21/25 1:04		NJG	
Nitrate+Nitrite as N	<40.10	mg/L	1.10	CALCULATED	02/21/25 1:04		NJG	
Nitrogen, Total	<40.60	mg/L	1.60	CALCULATED	02/26/25 15:32		SNF	
Nitrogen, Total Kjeldahl (TKN)	<0.50	mg/L	0.50	EPA 351.2 Rev 2.0	02/26/25		SNF	
Phosphorus as P, Total	0.39	mg/L	0.01	SM 4500-P F	02/21/25		SNF	0.61
Solids, Total Suspended	9	mg/L	1	SM 2540 D	02/21/25		ALD	16

Lab ID: 2505979-02 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Grab)**Sampled:** 02/20/25 10:00 **Received:** 02/20/25 13:45
Sample Type: Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/20/25 15:10	2/21/25 14:15		JMW	200

Lab ID: 2505979-03 **Collected By:** Client
Sample Desc: Worcester Valley Green Influent (Composite)**Sampled:** 02/20/25 10:00 **Received:** 02/20/25 13:45
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	250	mg/L	40.0	SM 5210 B	02/21/25 10:00	BS1	LEH	
Solids, Total Suspended	158	mg/L	1	SM 2540 D	02/21/25		ALD	



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NELAP accredited by PA. (PADEP #06-00003) Visit our website to view our current

NELAC accreditations for various drinking water, wastewater and solid & chemical materials analytes.

Additional accreditations by MD (261)

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2506996**Report:** 03/06/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Worcester Valley Green NPDES - wkly**Lab ID:** 2506996-01 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Composite)**Sampled:** 02/27/25 09:45 **Received:** 02/27/25 14:15
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.07	mg/L	0.02	EPA 350.1 Rev 2.0	02/27/25		SNF	2
Carbonaceous Biochemical Oxygen Demand	5.7	mg/L	2.0	SM 5210 B	02/28/25 11:28		KMD	10
Nitrate as N	42.9	mg/L	1.00	EPA 300.0 Rev 2.1	02/28/25 2:08		JAF	
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/28/25 2:08		JAF	
Nitrate+Nitrite as N	<43.00	mg/L	1.10	CALCULATED	02/28/25 2:08		JAF	
Nitrogen, Total	<43.50	mg/L	1.60	CALCULATED	02/28/25 17:52		SNF	
Nitrogen, Total Kjeldahl (TKN)	<0.50	mg/L	0.50	EPA 351.2 Rev 2.0	02/28/25		SNF	
Phosphorus as P, Total	0.52	mg/L	0.01	SM 4500-P F	02/27/25		SNF	0.61
Solids, Total Suspended	12	mg/L	1	SM 2540 D	03/03/25		ALD	16

Lab ID: 2506996-02 **Collected By:** Client
Sample Desc: Worcester Valley Green Effluent (Grab)**Sampled:** 02/27/25 09:45 **Received:** 02/27/25 14:15
Sample Type: Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/27/25 14:52	2/28/25 13:25		JMW	200

Lab ID: 2506996-03 **Collected By:** Client
Sample Desc: Worcester Valley Green Influent (Composite)**Sampled:** 02/27/25 09:45 **Received:** 02/27/25 14:15
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	440	mg/L	40.0	SM 5210 B	02/28/25 12:15	B-04	JTS	
Solids, Total Suspended	144	mg/L	1	SM 2540 D	03/03/25		ALD	



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NELAC accreditations for various drinking water, wastewater and solid & chemical materials analytes.

Additional accreditations by MD (261)

VALLEY GREEN WWTP DITCHES 1 & 2

Worcester

NPDES PERMIT # PA0050939

Month: February

Year:

2025

#1

DEC = Decanting

[illegible]

**Valley Green
Worcester**

NPDES PERMIT # PA0050393

Month: February

Year: 2025

#2

DAY	Op Int	Influent		Effluent			Influent PH	Effluent				
		Totalizer	GPD	Totalizer x 10	GPM	MGD		PH	DO	NH3	Phos	NO3
1	MB	30024328	0.240949	4041625	84	0.1346		6.73	9.96	0.2		
2	MB	30265277	0.294406	4042971	154	0.1642		7.04	9.81	0.2		
3	JO	30559683	0.254152	4044613	105	0.1650		6.86	10.31	0.1	0.1	
4	JO	30813835	0.243326	4046263	10	0.1102		7.16	10.42	0.1	0.1	
5	JO	31057161	0.112429	4047365	34	0.1448		7.50	10.33	0.1	0.1	
6	JO	31169590	0.150490	4048813	102	0.1602		8.10	10.04	0.1	0.1	
7	JO	31320080	0.154496	4050415	89	0.1602		7.61	10.15	0.1	0.1	
8	JO	31474576	0.105968	4052017	49	0.1128		7.28	10.04	0.1	0.1	
9	MB	31580544	0.159598	4053145	85	0.1735		7.02	10.80	0.2		
10	JO	31740142	0.127645	4054880	51	0.1659		6.62	10.16	0.1	0.1	
11	JO	31867787	0.135551	4056539	161	0.1231		6.78	10.24	0.1	0.1	
12	JO	32003338	0.113727	4057770	90	0.1590		7.38	10.83	0.1	0.1	
13	JO	32117065	0.143885	4059360	61	0.1396		7.05	10.59	0.1	0.1	
14	JO	32260950	0.146576	4060756	95	0.1502		6.92	10.62	0.1	0.1	
15	CW	32407526	0.115733	4062258	71	0.1238		8.38	11.39	0.1		
16	CW	32523259	0.218455	4063496	85	0.1811		7.70	10.71	0.1		
17	JO	32741714	0.181370	4065307	58	0.1883		7.78	10.62	0.1	0.1	
18	JO	32923084	0.139446	4067190	142	0.1584		6.91	10.84	0.1	0.1	
19	JO	33062530	0.117210	4068774	160	0.1200		6.68	10.22	0.1	0.1	
20	JO	33179740	0.178291	4069974	71	0.1719		6.29	11.89	0.1	0.1	
21	JO	33358031	0.075598	4071693	49	0.0906		7.35	11.84	0.1	0.1	
22	MB	33433629	0.197122	4072599	164	0.2094		7.41	10.91	0.2		
23	MB	33630751	0.129845	4074693	53	0.1362		9.10	11.03	0.6		
24	JO	33760596	0.106223	4076055	89	0.1499		8.71	10.86	0.2	0.1	
25	JO	33866819	0.137158	4077554	83	0.1350		8.48	10.52	0.2	0.1	
26	JO	34003977	0.098936	4078904	82	0.1106		7.01	10.29	0.1	0.1	
27	JO	34102913	0.149812	4080010	67	0.1622		6.80	9.53	0.1	0.1	
28	JO	34252725	0.146983	4081632	77	0.1559		6.97	9.68	0.1	0.1	
29												
30												
31												
		Average:	0.1563		Avg:	0.1485	Min:	6.29	9.53			
		Max:	0.294406		Total:	4.1566	Max:	9.10	11.89			

Worcester

Aeration Ditches 1 & 2

	Sode Ash Usage				Location: Inf Wet Well - Inf Pumps										Post	
	Side	Side	Side	Side	Pump		Pump		Main Blower		Main Blower		EQ Blower		Aeration	
DAY	1	2	3	4	1	D/H	2	D/H	1	PSI	2	PSI		PSI	Blower	PSI
1	50	50	50	50	8992.0	2.5	8317.4	2.5	52117.9		41761.7	8.2	75113.5	0.0	70137.3	0.0
2	50	50	50	50	8994.5	3.0	8319.9	3.2	52117.9		41784.7	8.2	75113.5	0.0	70137.3	0.0
3	25	25	25	25	8997.5	2.7	8323.1	2.3	52117.9		41808.3	8.2	75113.5	0.0	70137.3	0.0
4	25	25	25	25	9000.2	2.5	8325.4	2.2	52117.9		41828.8	8.2	75113.5	0.0	70137.3	0.0
5	25	25	25	25	9002.7	1.9	8327.6	1.9	52117.9		41851.1	8.2	75113.5	0.0	70137.3	0.0
6	25	25	25	25	9004.6	2.9	8329.5	2.7	52117.9		41873.8	8.2	75113.5	5.4	70137.3	0.0
7	25	25	25	25	9007.5	3.0	8332.2	2.8	52117.9		41899.6	8.2	75116.6	5.6	70137.3	0.0
8	25	25	25	25	9010.5	2.1	8335.0	2.0	52117.9		41929.0	8.2	75118.0	5.8	70137.3	0.0
9	25	25	25	25	9012.6	3.1	8337.0	3.1	52117.9		41948.8	8.2	75118.3	0.0	70137.3	0.0
10	25	25	25	25	9015.7	2.5	8340.1	2.5	52117.9		41974.6	8.0	75118.5	0.0	70137.3	0.0
11	25	25	25	25	9018.2	2.4	8342.6	2.7	52117.9		42000.5	8.0	75118.5	0.0	70137.3	0.0
12	25	25	25	25	9020.6	2.0	8345.3	2.3	52117.9		42020.9	8.2	75118.6	0.0	70137.3	0.0
13	25	25	25	25	9022.6	2.5	8347.6	2.6	52117.9		42043.0	8.2	75119.8	0.0	70137.3	0.0
14	25	25	25	25	9025.1	2.6	8350.2	2.7	52117.9		42068.5	8.2	75119.8	0.0	70137.3	0.0
15	25	25	25	25	9027.7	2.0	8352.9	2.8	52117.9		42094.1	8.0	75120.3	0.0	70137.3	0.0
16	25	25	25	25	9029.7	4.2	8355.7	3.4	52117.9		42114.4	8.0	75120.3	0.0	70137.3	0.0
17	25	25	25	25	9033.9	3.3	8359.1	3.3	52117.9		42140.1	8.0	75120.3	0.0	70137.3	0.0
18	25	25	25	25	9037.2	2.6	8362.4	2.5	52117.9		42167.9	8.2	75120.3	0.0	70137.3	0.0
19	25	25	25	25	9039.8	2.3	8364.9	2.3	52117.9		42191.3	8.2	75120.3	0.0	70137.3	0.0
20	25	25	25	25	9042.1	3.2	8367.2	3.4	52117.9		42210.3	8.2	75120.3	0.0	70137.3	0.0
21	25	25	25	25	9045.3	1.4	8370.6	1.3	52117.9		42238.4	8.2	75120.3	0.0	70137.3	0.0
22	25	25	25	25	9046.7	3.8	8371.9	3.7	52117.9		42253.6	8.2	75120.3	0.0	70137.3	0.0
23	25	25	25	25	9050.5	2.5	8375.6	2.3	52117.9		42288.1	8.2	75120.3	0.0	70137.3	0.0
24	25	25	25	25	9053.0	2.1	8377.9	2.0	52117.9		42310.3	8.0	75120.3	0.0	70137.3	0.0
25	25	25	25	25	9055.1	2.9	8379.9	2.4	52117.9		42334.7	8.0				

Worcester

2025

[illegible]



FW: Your eDMR Report Has Been Received For Permit No. PA0055671

From Teresa Peachey <tpeachey@pueinc.com>

Date Wed 3/26/2025 1:48 PM

To Debbie Dunfee <Ddunfee@pueinc.com>

From: depgreenporthelpdesk@pa.gov <depgreenporthelpdesk@pa.gov>

Sent: Wednesday, March 26, 2025 1:48:15 PM (UTC-05:00) Eastern Time (US & Canada)

To: jscullypue@gmail.com <jscullypue@gmail.com>; tryan@worcestertwp.com <tryan@worcestertwp.com>; jscullypue@gmail.com <jscullypue@gmail.com>

Subject: Your eDMR Report Has Been Received For Permit No. PA0055671

This email is to confirm that the following report was received by DEP through the eDMR system:

Facility Name: BERWICK PLACE STP**Permit Number:** PA0055671

Report Frequency: Monthly

Report Type: DMR

Reporting Period: 02/01/2025-02/28/2025

Report Due Date: 03/28/2025

Submitted By: John Scully

Submission Id: 514001

Submission Status: Received

Submission Type: Original

To view the details of this report, access the eDMR system through DEP's [GreenPort](#) and select the link for View/Revise Submitted.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DISCHARGE MONITORING REPORT (DMR)

NAME: **WORCESTER TWP MONTGOMERY CNTY**

ADDRESS: **PO BOX 7671721 VALLEY FORGE RD, WORCESTER, PA , 19490-0767**

FACILITY: **BERWICK PLACE STP**

LOCATION: **E. MT KIRK RD, WORCESTER, PA , 19490-0767**

STAGE: **Final Effluent**

PA0055671
PERMIT NUMBER

001
OUTFALL NUMBER

Reporting Frequency: **Monthly**

DMR Effective From: **02/01/2025**

DMR Effective To: **02/28/2025**

Permit Expires: **10/31/2026**

Permit Application Due: **05/04/2026**

No Discharge: ☐

MONITORING PERIOD						
YEAR	MO	DAY		YEAR	MO	DAY
2025	02	01	FROM	2025	02	28 TO

PARAMETER		QUANTITY OR LOADING			QUANTITY OR CONCENTRATION				SAMPLING FREQUENCY	SAMPLING TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS		
Dissolved Oxygen (00300)	SAMPLE MEASUREMENT	***	***		9.41	***	***		1/day	Grab
	PERMIT REQUIREMENT	***	***		5.0 Daily Min	***	***	mg/L	1/day	Grab
pH (00400)	SAMPLE MEASUREMENT	***	***		7.75	***	8.59		1/day	Grab
	PERMIT REQUIREMENT	***	***		6.0 Inst Min	***	9.0 IMAX	S.U.	1/day	Grab
Total Suspended Solids (00530)	SAMPLE MEASUREMENT	<.7	<.8		***	<1	<1		1/week	24-Hr Composite
	PERMIT REQUIREMENT	12.5 Avg Mo	18.8 Wkly Avg	lbs/day	***	10 Avg Mo	15 Wkly Avg	mg/L	1/week	24-Hr Composite
Total Nitrogen (00600)	SAMPLE MEASUREMENT	<3	***		***	3.91	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	***	lbs/day	***	Monitor & Report Avg Mo	***	mg/L	1/week	24-Hr Composite
Ammonia-Nitrogen (00610)	SAMPLE MEASUREMENT	.2	.3		***	.3	.5		1/week	24-Hr Composite
	PERMIT REQUIREMENT	3.8 Avg Mo	5.6 Wkly Avg	lbs/day	***	3.0 Avg Mo	4.5 Wkly Avg	mg/L	1/week	24-Hr Composite
Nitrate-Nitrite as N (00630)	SAMPLE MEASUREMENT	<1.9	<3.4		***	<3	<5		1/week	24-Hr Composite
	PERMIT REQUIREMENT	12.5 Avg Mo	18.8 Wkly Avg	lbs/day	***	10 Avg Mo	15 Wkly Avg	mg/L	1/week	24-Hr Composite
Total Phosphorus (00665)	SAMPLE MEASUREMENT	.3	***		***	.5	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	.7 Avg Mo	***	lbs/day	***	1.5 Avg Mo	***	mg/L	1/week	24-Hr Composite

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DISCHARGE MONITORING REPORT (DMR)

PARAMETER		QUANTITY OR LOADING			QUANTITY OR CONCENTRATION				SAMPLING FREQUENCY	SAMPLING TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS		
Ultraviolet light intensity (49607)	SAMPLE MEASUREMENT	***	***		.4	***	***	mW/cm²	1/day	Measured
	PERMIT REQUIREMENT	***	***		Monitor & Report Daily Min	***	***		1/day	Measured
Flow (50050)	SAMPLE MEASUREMENT	.0785	.1398	MGD	***	***	***		Continuous	Metered
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	Monitor & Report Daily Max		***	***	***		Continuous	Metered
Fecal Coliform (74055)	SAMPLE MEASUREMENT	***	***		***	<2	<2	No./100 ml	1/week	Grab
	PERMIT REQUIREMENT	***	***		***	200 Geo Mean	1000 IMAX		1/week	Grab
Carbonaceous Biochemical Oxygen Demand (CBOD5) (80082)	SAMPLE MEASUREMENT	<1.4	<1.6	lbs/day	***	<2	2	mg/L	1/week	24-Hr Composite
	PERMIT REQUIREMENT	12.5 Avg Mo	18.8 Wkly Avg		***	10 Avg Mo	15 Wkly Avg		1/week	24-Hr Composite
Facility Comments										



**COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER**

DISCHARGE MONITORING REPORT (DMR)

NAME: WORCESTER TWP MONTGOMERY CNTY

ADDRESS: PO BOX 7671721 VALLEY FORGE RD, WORCESTER, PA , 19490-0767

FACILITY: BERWICK PLACE STP

LOCATION: E MT KIRK RD, WORCESTER, PA , 19490-0767

STAGE: Raw Sewage Influent

PA0055671
PERMIT NUMBER

001
OUTFALL NUMBER

Reporting Frequency: Monthly

DMR Effective From: 02/01/2025

DMR Effective To: 02/28/2025

Permit Expires: 10/31/2026

Permit Application Due: 05/04/2026

No Discharge: ☐

MONITORING PERIOD							
YEAR	MO	DAY		YEAR	MO	DAY	
2025	02	01	FROM	2025	02	28	TO

PARAMETER		QUANTITY OR LOADING			QUANTITY OR CONCENTRATION				SAMPLING FREQUENCY	SAMPLING TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS		
Biochemical Oxygen Demand (BOD5) (00310)	SAMPLE MEASUREMENT	160	***		***	231	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	***	lbs/day	***	Monitor & Report Avg Mo	***	mg/L	1/week	24-Hr Composite
Total Suspended Solids (00530)	SAMPLE MEASUREMENT	64	***		***	93	***		1/week	24-Hr Composite
	PERMIT REQUIREMENT	Monitor & Report Avg Mo	***	lbs/day	***	Monitor & Report Avg Mo	***	mg/L	1/week	24-Hr Composite
Facility Comments										

ATTACHMENT DETAILS

FILE NAME	ATTACHMENT TYPE	UPLOADED TIME	ATTACHMENT COMMENT
2504045 Inf Eff 2.20.25	Laboratory Analytical Report	3/21/2025 2:42:25 PM	
2505084 Inf Eff 2.27.25	Laboratory Analytical Report	3/21/2025 2:43:17 PM	
2502017 Inf Eff 2.6.25	Laboratory Analytical Report	3/21/2025 2:41:19 PM	
2503107 Inf Eff 2.13.25	Laboratory Analytical Report	3/21/2025 2:41:49 PM	
Berwick DMR Feb 2025	Daily Effluent Monitoring Form	3/21/2025 2:39:15 PM	
Berwick Inf Proc Cntl Feb 2025	Influent and Process Control Form	3/21/2025 2:39:52 PM	
Berwick Sludge Form Feb 2025	Sewage Sludge / Biosolids Production and Disposal Form	3/21/2025 2:40:27 PM	

COMMENT DETAILS

COMMENTS	OPERATOR NAME	OPERATOR CERTIFICATION NUMBER	OPERATOR CONTACT NUMBER
	John Scully	S14080	(215)-766-2626



3800-FM-BCW0435 3/2012

Month: 2 (select number) Year: 2025
 Permit No.: PA0055671 Outfall: 001
 Renewal application due 180 days prior to expiration.
 This permit will expire on: January 31, 2026

Statistics for DMR

Daily Minimum (Conc.):		<	2		7.75		9.41	<	2	<	1		0.4	<	1.1	<	2.2		0.1		0.34		191		86
Daily Maximum (Conc.):		<	2		8.59		11.57	<	2.1	<	1		0.8	<	5.4	<	6.47		0.47		0.72		285		100
Max Avg Weekly (Conc.):							11.13		2	<	1		0.7	<	5	<	6.47		0.5		0.72		285		100
Avg Monthly (Conc.):							10.91	<	2	<	1		0.7	<	3	<	3.91		0.3		0.5		231		93
Geometric Mean (Conc.):		<	2																						
Max Avg Weekly (Load):	0.0863						8	<	1.6	<	0.8			<	3.4	<	4		0.3		0.5		200		70
Avg Monthly (Load):	0.0785						7	<	1.4	<	0.7			<	1.9	<	3		0.2		0.3		160		64
Total Monthly (Load):	2.1985						200	<	39.4	<	19.5			<	53.9	<	76		6.4		9.6		4467		1802
Daily Minimum (Load):	0.0327						3	<	1.3	<	0.6			<	0.7	<	1		0.07		0.2		127		57
Daily Maximum (Load):	0.1398						13	<	1.6	<	0.8			<	3.4	<	4		0.3		0.5		200		70

I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).

License No.: **S14080**
Date: _____

SUPPLEMENTAL REPORT - INFLUENT & PROCESS CONTROL

3800-FM-BCW0436 3/2012

Facility Name: Berwick Place STP
Municipality: Worcester Twp County: Montgomery
Watershed: 3-E

Month: February Year: 2025
NPDES Permit No.: PA0055671
Renewal application due 180 days prior to expiration.
This permit will expire on: January 31, 2026

Day	Influent					Process Control				
	Flow (MGD)	BOD ₅ (mg/l)	BOD ₅ (lbs)	TSS (mg/l)	TSS (lbs)	Aeration MLSS (mg/l)	Aeration DO (mg/l)	Sludge Wasted (gallons)		
1	0.0699									
2	0.0802									
3	0.0577									
4	0.0715									
5	0.075									
6	0.0733	285.0	174	100.0	61					
7	0.0631									
8	0.0617									
9	0.0887									
10	0.0655									
11	0.0645									
12	0.0631									
13	0.0918	191.0	146	86.0	66					
14	0.048									
15	0.0623									
16	1.4191									
17	0.063									
18	0.0789									
19	0.0829									
20	0.0741	247.0	153	96.0	59					
21	0.0178									
22	0.1378									
23	0.0543									
24	0.1081									
25	0.071									
26	0.0805									
27	0.0734	199.0	122	89.0	54					
28	0.065									
29										
30										
31										
Avg	0.12	231	149	93	60					
Max	1.419	285	174	100	66					

I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See Pa. C.S. § 4904 (relating to unsworn falsification).

Prepared By: John Scully
Title: Operator

License No.: S14080
Date: _____



pennsylvania
DEPARTMENT OF ENVIRONMENTAL PROTECTION

SUPPLEMENTAL REPORT
SEWAGE SLUDGE / BIOSOLIDS PRODUCTION AND DISPOSAL

Facility Name: Berwick Place STP
Municipality: Worcester TWP County: Montgomery
Watershed: 3-E

Month: **February** Year: **2024**
NPDES Permit No.: **PA0055671**
Renewal application due **180 days** prior to expiration
This permit will expire on: **January 31, 2026**

SEWAGE SLUDGE / BIOSOLIDS PRODUCTION INFORMATION (Identify each off-site removal event and incineration event)

☐ Check here if there were no off-site removal events during the month[illegible]

TOTAL:	3.336
---------------	--------------

TOTAL:

TOTAL:

SEWAGE SLUDGE / BIOSOLIDS AND INCINERATOR ASH DISPOSAL AND BENEFICIAL USE INFORMATION

(Identify all sites where biosolids or ash were disposed or land applied)

Site Name				
Municipality				
County				
DEP Permit No.				
Type of Material*				
Dry Tons Applied/Disposed				
Type of Disposal/Use*				
Hauler Name	Franc Environmental			

* See Instructions for explanation.

I certify under penalty of law that this document was prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. See 18 Pa. C.S. § 4904 (relating to unsworn falsification).

Prepared By: **John Scully**
Title: **Operator**

License No.: S14080
Date: _____

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2502017**Report:** 02/17/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Berwick Place STP NPDES - 1x/wk**Lab ID:** 2502017-01 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Composite)**Sampled:** 02/06/25 09:45 **Received:** 02/06/25 12:40
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.10	mg/L	0.02	EPA 350.1 Rev 2.0	02/07/25		SNF	1.5
Carbonaceous Biochemical Oxygen Demand	<2.0	mg/L	2.0	SM 5210 B	02/07/25 10:08		LEH	10
Nitrate as N	1.40	mg/L	1.00	EPA 300.0 Rev 2.1	02/06/25 20:58		NJG	10
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/06/25 20:58		NJG	
Nitrate+Nitrite as N	<1.50	mg/L	1.10	CALCULATED	02/06/25 20:58		NJG	
Nitrogen, Total	<2.55	mg/L	1.60	CALCULATED	02/09/25 22:03		JMW	
Nitrogen, Total Kjeldahl (TKN)	1.05	mg/L	0.50	EPA 351.2 Rev 2.0	02/09/25		JMW	
Phosphorus as P, Total	0.72	mg/L	0.01	SM 4500-P F	02/07/25		SNF	1.5
Solids, Total Suspended	<1	mg/L	1	SM 2540 D	02/07/25		ALD	10

Lab ID: 2502017-02 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Grab)**Sampled:** 02/06/25 09:45 **Received:** 02/06/25 12:40
Sample Type: Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/6/25 14:46	2/7/25 13:47		MAC	200

Lab ID: 2502017-03 **Collected By:** Client
Sample Desc: Berwick Place STP Influent (Composite)**Sampled:** 02/06/25 09:50 **Received:** 02/06/25 12:40
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	285	mg/L	40.0	SM 5210 B	02/07/25 8:51		SXS	
Solids, Total Suspended	100	mg/L	1	SM 2540 D	02/07/25		ALD	



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Additional accreditations by MD (261)

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2503107**Report:** 02/25/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Berwick Place STP NPDES - 1x/wk**Lab ID:** 2503107-01 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Composite)**Sampled:** 02/13/25 09:40 **Received:** 02/13/25 14:05**Sample Type:** Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.38	mg/L	0.02	EPA 350.1 Rev 2.0	02/14/25		SNF	1.5
Carbonaceous Biochemical Oxygen Demand	<2.0	mg/L	2.0	SM 5210 B	02/14/25 8:30		LEH	10
Nitrate as N	3.02	mg/L	1.00	EPA 300.0 Rev 2.1	02/13/25 21:18		NJG	10
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/13/25 21:18		NJG	
Nitrate+Nitrite as N	<3.12	mg/L	1.10	CALCULATED	02/13/25 21:18		NJG	
Nitrogen, Total	<4.43	mg/L	1.60	CALCULATED	02/18/25 15:36		SNF	
Nitrogen, Total Kjeldahl (TKN)	1.31	mg/L	0.50	EPA 351.2 Rev 2.0	02/18/25		SNF	
Phosphorus as P, Total	0.43	mg/L	0.01	SM 4500-P F	02/14/25		SNF	1.5
Solids, Total Suspended	<1	mg/L	1	SM 2540 D	02/14/25		ALD	10

Lab ID: 2503107-02 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Grab)**Sampled:** 02/13/25 09:40 **Received:** 02/13/25 14:05**Sample Type:** Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/13/25 14:56	2/14/25 13:30		JMW	200

Lab ID: 2503107-03 **Collected By:** Client
Sample Desc: Berwick Place STP Influent (Composite)**Sampled:** 02/13/25 09:50 **Received:** 02/13/25 14:05**Sample Type:** Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	191	mg/L	13.3	SM 5210 B	02/19/25 15:23	B-05	INW	
Solids, Total Suspended	86	mg/L	1	SM 2540 D	02/14/25		ALD	

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Additional accreditations by MD (261)

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2504045**Report:** 02/27/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Berwick Place STP NPDES - 1x/wk**Lab ID:** 2504045-01 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Composite)**Sampled:** 02/20/25 09:45 **Received:** 02/20/25 13:45**Sample Type:** Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.37	mg/L	0.02	EPA 350.1 Rev 2.0	02/21/25		SNF	1.5
Carbonaceous Biochemical Oxygen Demand	2.1	mg/L	2.0	SM 5210 B	02/21/25 8:52	BS1	LEH	10
Nitrate as N	5.30	mg/L	1.00	EPA 300.0 Rev 2.1	02/21/25 1:37		NJG	10
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/21/25 1:37		NJG	
Nitrate+Nitrite as N	<5.40	mg/L	1.10	CALCULATED	02/21/25 1:37		NJG	
Nitrogen, Total	<6.47	mg/L	1.60	CALCULATED	02/26/25 14:48		SNF	
Nitrogen, Total Kjeldahl (TKN)	1.07	mg/L	0.50	EPA 351.2 Rev 2.0	02/26/25		SNF	
Phosphorus as P, Total	0.34	mg/L	0.01	SM 4500-P F	02/21/25		SNF	1.5
Solids, Total Suspended	<1	mg/L	1	SM 2540 D	02/21/25		ALD	10

Lab ID: 2504045-02 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Grab)**Sampled:** 02/20/25 09:45 **Received:** 02/20/25 13:45**Sample Type:** Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/20/25 15:10	2/21/25 14:15		JMW	200

Lab ID: 2504045-03 **Collected By:** Client
Sample Desc: Berwick Place STP Influent (Composite)**Sampled:** 02/20/25 09:50 **Received:** 02/20/25 13:45**Sample Type:** Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	247	mg/L	13.3	SM 5210 B	02/21/25 10:00	BS1	LEH	
Solids, Total Suspended	96	mg/L	1	SM 2540 D	02/21/25		ALD	



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Additional accreditations by MD (261)

**M.J. Reider Associates, Inc.**ENVIRONMENTAL TESTING LABORATORY
U.S. EPA/PA DEP #06-00003**Certificate of Analysis****Laboratory No.:** 2505084**Report:** 03/06/25**Lab Contact:** Rafael A Quijada**Attention:** Teresa Peachy
Reported To: Private Utility Enterprises, Inc.
1000 E. Walnut St. Suite 721
Perkasie, PA 18944**Project Info:** Berwick Place STP NPDES - 1x/wk**Lab ID:** 2505084-01 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Composite)**Sampled:** 02/27/25 09:50 **Received:** 02/27/25 14:15
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Ammonia as N	0.47	mg/L	0.02	EPA 350.1 Rev 2.0	03/03/25		KMS	1.5
Carbonaceous Biochemical Oxygen Demand	<2.0	mg/L	2.0	SM 5210 B	02/28/25 11:28		KMD	10
Nitrate as N	<1.00	mg/L	1.00	EPA 300.0 Rev 2.1	02/28/25 2:59		JAF	10
Nitrite as N	<0.10	mg/L	0.10	EPA 300.0 Rev 2.1	02/28/25 2:59		JAF	
Nitrate+Nitrite as N	<1.10	mg/L	1.10	CALCULATED	02/28/25 2:59		JAF	
Nitrogen, Total	<2.20	mg/L	1.60	CALCULATED	02/28/25 16:54		SNF	
Nitrogen, Total Kjeldahl (TKN)	1.10	mg/L	0.50	EPA 351.2 Rev 2.0	02/28/25		SNF	
Phosphorus as P, Total	0.48	mg/L	0.01	SM 4500-P F	03/03/25		KMS	1.5
Solids, Total Suspended	<1	mg/L	1	SM 2540 D	02/28/25		ALD	10

Lab ID: 2505084-02 **Collected By:** Client
Sample Desc: Berwick Place STP Effluent (Grab)**Sampled:** 02/27/25 09:50 **Received:** 02/27/25 14:15
Sample Type: Grab

	Result	Unit	Rep. Limit	Analysis Method	Incubated	Analyzed	Notes	Analyst	Action Level
Microbiology									
Fecal Coliform	<2	CFU/100mL	2	SM 9222 D	2/27/25 14:52	2/28/25 13:25		JMW	200

Lab ID: 2505084-03 **Collected By:** Client
Sample Desc: Berwick Place STP Influent (Composite)**Sampled:** 02/27/25 09:55 **Received:** 02/27/25 14:15
Sample Type: Composite

	Result	Unit	Rep. Limit	Analysis Method	Analyzed	Notes	Analyst	Action Level
General Chemistry								
Biochemical Oxygen Demand	199	mg/L	13.3	SM 5210 B	02/28/25 9:06		LEH	
Solids, Total Suspended	89	mg/L	1	SM 2540 D	02/28/25		ALD	



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Additional accreditations by MD (261)

Worcester

Year: 2025

[illegible]

02/05/2025 - WG Malden checked & calibrated inf. & eff. Totalizers

BERWICK WWTP

Worcester

NPDES PERMIT # PA0055671

Month: February

Year: 2025

#4

DAY	EQ for Trains 3 & 4				Pump Setting				ND = New Drum					Sludge Removal - Gals		
	Pump		Pump		Alum	Alum	Alum	Alum	Meth	Meth	Meth	Meth	Meth	Alum	Trains	Trains
	1	D/H	2	D/H	1	2	3	4	1	2	3	4	Inches	Inches	1 & 2	3 & 4
1	40002.2	16.3	48888.7	0.0	3.5	2.0	2.0	2.0	3.5	3.0	3.0	4.0	OK	OK		
2	40018.5	18.3	48888.7	3.2	3.5	2.0	2.0	2.0	3.5	3.0	3.0	4.0	OK	OK		
3	40036.8	0.0	48891.9	13.7	3.5	2.0	2.0	2.0	3.5	3.0	3.0	4.0	ND	OK		
4	40036.8	0.0	48905.6	18.9	3.5	2.0	2.0	2.0	3.5	3.0	3.0	4.0	OK	ND		
5	40036.8	0.0	48924.5	16.0	2.5	2.0	2.0	3.0	3.5	3.0	3.0	4.0	OK	OK		
6	40036.8	0.0	48940.5	19.7	2.0	2.0	2.0	2.5	3.5	3.0	3.0	4.0	OK	OK	DECANT	DECANT
7	40036.8	0.0	48960.2	15.1	2.0	2.0	2.0	2.0	3.5	3.0	3.0	4.0	ND	OK	5000	5000
8	40036.8	0.0	48975.3	15.2	2.0	2.0	2.0	2.0	3.5	3.0	3.0	4.0	OK	OK		
9	40036.8	3.6	48990.5	18.8	2.0	2.0	2.0	2.0	3.5	3.0	3.0	4.0	OK	OK		
10	40040.4	14.5	49009.3	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
11	40054.9	14.9	49009.3	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	ND	OK		
12	40069.8	14.0	49009.3	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
13	40083.8	22.2	49009.3	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	ND	DECANT	DECANT
14	40106.0	11.9	49009.3	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	ND	OK	5000	5000
15	40117.9	14.1	49009.3	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
16	40132.0	28.9	49009.3	3.2	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
17	40160.9	0.0	49012.5	20.2	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
18	40160.9	0.0	49032.7	21.6	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
19	40160.9	0.0	49054.3	18.1	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	ND	OK		
20	40160.9	0.0	49072.4	20.3	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK	DECANT	DECANT
21	40160.9	0.0	49092.7	5.9	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	ND	ND	5000	5000
22	40160.9	0.0	49098.6	29.1	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
23	40160.9	0.0	49127.7	15.7	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
24	40160.9	27.2	49143.4	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	ND	OK		
25	40188.1	16.8	49143.4	0.0	2.0	2.0	2.0	2.0	3.0	3.0	3.0	3.5	OK	OK		
26	40204.9	16.5	49143.4	0.0	2.5	2.5	2.0	4.0	3.0	3.0	3.0	3.5	OK	OK		
27	40221.4	18.9	49143.4	0.0	2.0	2.0	2.0	3.0	2.5	2.5	2.5	3.0	OK	OK	DECANT	DECANT
28	40240.3	14.1	49143.4	0.0	2.0	2.0	2.0	3.0	2.5	2.5	2.5	3.0	ND	ND	5000	5000
29																
30																
31																

02/07/2025 - Kline's Services(Wind River Env.) hauled 10,000 gallons of sludge to Pottstown

02/14/2025 - Kline's Services(Wind River Env.) hauled 10,000 gallons of sludge to Pottstown

02/21/2025 - Kline's Services(Wind River Env.) hauled 10,000 gallons of sludge to Pottstown

02/28/2025 - Kline's Services(Wind River Env.) hauled 10,000 gallons of sludge to Pottstown

Worcester

2025

DAY	Sand Filter for Trains 1 & 2										EQ for Trains 1 & 2			
	Backwash 1.0	D/H	Backwash 2	D/H	Mudwell 3	D/H	Mudwell 4	D/H	Purge 5	D/H	Pump 1	D/H	Pump 2	D/H
1	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32309.0	15.3	8995.7	0.0
2	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32324.3	17.0	8995.7	3.2
3	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	0.0	8998.9	14.0
4	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	0.0	9012.9	18.8
5	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	0.0	9031.7	16.7
6	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	0.0	9048.4	19.7
7	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	0.0	9068.1	13.9
8	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	0.0	9082.0	21.8
9	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32341.3	3.6	9103.8	19.7
10	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32344.9	18.1	9123.5	0.0
11	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32363.0	16.8	9123.5	0.0
12	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32379.8	12.5	9123.5	0.0
13	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32392.3	27.8	9123.5	0.0
14	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32420.1	18.7	9123.5	0.0
15	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32438.8	21.6	9123.5	0.0
16	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32460.4	29.9	9123.5	3.2
17	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9126.7	20.6
18	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9147.3	26.7
19	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9174.0	19.9
20	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9193.9	24.5
21	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9218.4	9.4
22	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9227.8	31.0
23	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	0.0	9258.8	17.6
24	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32490.3	27.6	9276.4	0.0
25	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32517.9	12.4	9276.4	0.0
26	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32530.3	17.9	9276.4	0.0
27	2554.3	0.0	2893.9	0.0	4921.3	0.0	4935.2	0.0	573.8	0.0	32548.2	19.0	9276.4	0.0
28	2554.3													

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

**RESOLUTION 2025-09____
A RESOLUTION TO GRANT PRELIMINARY APPROVAL OF MEADOWOOD
HEALTHCARE NORTHEAST EXPANSION PLAN**

WHEREAS, The Meadowood Corporation ("Applicant") has submitted a Land Development Plan to Worcester Township and has made application for Preliminary Plan Approval of the plan known as Meadowood Healthcare Northeast Expansion. The Applicant is the owner of an approximate 137.4921 acre tract located at 3205 Skippack Pike, Worcester Township, being Tax Parcel No. 67-00-03185-006 as more fully described in Deed(s) recorded in the Montgomery County Recorder of Deeds Office; and,

WHEREAS, the Applicant proposes the demolition of the existing stair tower of the Holly House building to accommodate a new 10,890 square foot, three-story addition with site improvements, including reconfiguration of adjacent off-street parking to provide 17 spaces in the work area, new service walks, screen walls, and retaining walls on the site of an existing residential life-care facility (the "Development"); and

WHEREAS, said plan received a recommendation for Preliminary Plan Approval by the Worcester Township Planning Commission at their meeting on March 27, 2025; and

WHEREAS, the Preliminary Plan of Land Development was prepared by Woodrow & Associates, Inc., consisting of 17 sheets dated January 31, 2025, with no revisions, the "Plan(s)" or "Preliminary Plan"); and

WHEREAS, the Preliminary Plan is now in a form suitable for Preliminary Plan Approval (by the Worcester Township Board of Supervisors, subject to certain conditions.

NOW, THEREFORE, IN CONSIDERATION OF THE FOREGOING,

IT IS HEREBY RESOLVED by the Board of Supervisors of Worcester Township, as follows:

1. **Approval of Plan.** The Preliminary Plan proposed by Woodrow & Associates, Inc. as described above, is hereby granted Preliminary Approval, subject to the conditions set forth below.
2. **Conditions of Approval.** The approval of the Preliminary Plan is subject to strict compliance with the following conditions:
 - A. Compliance with all comments and conditions set forth in the CKS Engineers, Inc. letter of March 20, 2025, relative to the Plan.
 - B. Compliance with all comments and conditions set forth in the Bowman letter of March 4, 2025.
 - C. Compliance with all comments and conditions set forth in the Montgomery County Planning Commission review letter of March 19, 2025.
 - D. Compliance with all conditions set forth in the Decision and Order of the Worcester Township Zoning Hearing Board entered on January 21, 2025.
 - E. Payment to the Township of a Traffic Impact Fee at the time of submission of a building permit application, in an amount to be determined by the Township's Traffic Engineer prior to Final Plan approval.
 - F. An updated traffic study for the site shall be conducted upon any further expansion to the Meadowood campus beyond the addition of the building proposed that is the subject of this Land Development Application; the study shall be complete with signal warrant evaluation alternatives for access location(s), as well as Skippack Pike (S.R. 0073) access/roadway frontage improvements in addition investigating possible additional access to/from the property.
 - G. Approval by the Worcester Township Fire Marshal.
 - H. Prior to recording of the Final Plan, the Applicant shall purchase such number of requisite EDUs as determined by the Township Engineer.
 - I. The approval and/or receipt of permits required from any and all outside agencies, including but not limited to, Montgomery County Conservation District, Pennsylvania

Department of Environmental Protection, Pennsylvania Department of Transportation, the receipt of will-serve letters from all applicable utilities, and all other authorities, agencies, municipalities, and duly constituted public authorities having jurisdiction in any way over the development.

- J. Prior to recording the Final Plan, Applicant shall enter into a Land Development and Financial Security Agreement ("Agreement") with the Township. The Agreement shall be in a form satisfactory to the Township Solicitor, and the Applicant shall obligate itself to complete all of the improvements shown on the Plans in accordance with applicable Township criteria and specifications, as well as to secure the completion of the public improvements by posting financial security as required by the Pennsylvania Municipalities Planning Code.
- K. Applicant agrees to provide Township with estimated costs for financial security and establish financial security for all public improvements, to the satisfaction of the Township engineer, prior to Final Plan recording and issuance of any building, grading or other permits. Applicant shall provide financial security, as required by the Township for all work that falls under their responsibility per the approved Plan.
- L. The Applicant shall obtain a demolition permit prior to the demolition of the existing stair tower of the Holly House building.
- M. Following approval of the Final Plan, the Applicant shall provide to the Township for signature that number of Final Plans required for recording and filing with the various Departments of Montgomery County, plus an additional three (3) Plans to be retained by the Township, and the Applicant shall have all Plans recorded, and the Applicant return the three (3) Plans to the Township within seven (7) days of Plan recording.
- N. The Applicant shall provide a copy of the recorded Final Plan in an electronic format acceptable to the Township Engineer, within seven (7) days of Plan recording.
- O. The Applicant shall make payment of all outstanding review fees and other charges due to the Township prior to Final Plan recording.

- P. The Development shall be constructed in strict accordance with the content of the Final Plan, notes on the Plan and the terms and conditions of this Resolution and the Resolution of Final Plan Approval.
- Q. The cost of accomplishing, satisfying and meeting all of the terms and conditions and requirements of the Plans, notes to the Plans, this Resolution, the Final Approval Resolution, and any required agreements shall be borne entirely by the Applicant, and shall be at no cost to the Township.
- R. Applicant shall provide the Township Manager and the Township Engineer with at least seventy-two (72) hour notice prior to the initiation of any grading or ground clearing, whether for the construction of public improvements or in connection with any portion of the Development.
- S. Applicant understands that it will not be granted Township building or grading permits until the Final Plan, financial security, and all appropriate development and financial security agreements, easements, and other required legal documents are approved by the Township and recorded with the Montgomery County Recorder of Deeds and all appropriate approvals and/or permits from Township or other agencies for the above-mentioned project are received. Any work performed on this project without the proper permits, approvals, and agreements in place will be stopped.
- T. Applicant shall execute a Stormwater Management BMP Operations and Maintenance Agreement and Declaration of Stormwater Easement in favor of the Township, satisfactory to the Township Solicitor, which shall be recorded simultaneously with the Plan.
3. **Waivers.** Unless stated otherwise in this Resolution, this Preliminary Plan Approval shall not constitute the granting of any additional waivers or deferrals except as set forth herein. All additional requested waivers and deferrals will be considered at the time of Final Plan Approval. If the Final Plan is not compliant with the Zoning or Subdivision and Land Development Ordinance of the Township, then this approval does not grant permission for said noncompliance because at the time of Final Plan Approval, the Township will either permit the noncompliance by additional waivers or will deny the additional waiver request and, possibly, deny the Final Plan.

The Worcester Township Board of Supervisors hereby grants the following waivers requested with respect to this Plan:

- A. § 130-28.E(1) of the Worcester Township Subdivision and Land Development Ordinance - waiver to permit existing tree survey only for impacted project area;
 - B. § 130-28.G.(4) of the Worcester Township Subdivision and Land Development Ordinance - waiver to permit existing trees along frontage to satisfy this requirement for the existing Skippack Pike and Valley Forge Road frontages;
 - C. § 130-28.G.(6) of the Worcester Township Subdivision and Land Development Ordinance - waiver to permit 15 parking spaces in a continuous row without an intervening raised planting island of at least 10 feet in width;
 - D. § 130-33.C of the Worcester Township Subdivision and Land Development Ordinance - to permit the use of aerial photography to fulfill the requirement of showing all existing features within 500 feet of the project boundary be shown on the plans.
4. **Acceptance.** The Conditions of Approval set forth in paragraph 2 above shall be accepted by the Applicant, in writing, within ten (10) days from the date of receipt of this Resolution.
5. **Effective Date.** This Resolution shall become effective on the date upon which the Conditions are accepted by the Applicant in writing.

BE IT FURTHER RESOLVED that the Plan shall be considered to have received Preliminary Plan Approval once staff appointed by the Worcester Township Board of Supervisors determines that any and all conditions attached to said approval have been resolved to the satisfaction of Township staff. This approval **DOES NOT** represent nor constitute Final Plan Approval. Any changes to the approved site Plan will require the submission of an amended site Plan for land development review by all Township review parties.

RESOLVED and **ENACTED** this _____ day of _____, 2025 by the
Worcester Township Board of Supervisors.

FOR WORCESTER TOWNSHIP

By: _____
Rick DeLello, Chairman
Board of Supervisors

Attest: _____
Daniel Demeno, Secretary

ACCEPTANCE

The undersigned states that he/she is authorized to execute this Acceptance on behalf of the Applicant and equitable owner of the property which is the subject matter of this Resolution, that he/she has reviewed the Conditions imposed by the Board of Supervisors in the foregoing Resolution and that he/she accepts the Conditions on behalf of the Applicant and agrees to be bound thereto. This Acceptance is made subject to the penalties of 18 Pa. C.S.A. Section 4904 relating to unsworn falsifications to authorities.

THE MEADOWOOD CORPORATION

Date: _____

By: _____
Paul Nordeman, President / CEO
(PRINT NAME AND TITLE)

GENERAL PLAN NOTES

BASE EXISTING FEATURES AND SURVEY NOTES:

- The boundary information illustrated on this plan was taken from a plan entitled ALTA/NSPS - Land Title Survey for Meadowood as prepared for The Meadowood Corp. as prepared by Woodrow & Assoc., Inc., Lower Gwynedd, PA, dated October 12, 2018, last revised October 17, 2018. Bearings shown reflect a -05 Deg. 33 Min. 05 Sec. clockwise rotation from the above referenced plan to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
- Boundary information updated per Subdivision - Land Development Plan prepared by Woodrow & Assoc., Inc. dated December 16, 2019 (as amended) to include Parcel B, C & D.
- The base existing features and project topography illustrated on this plan was compiled from Aerial Survey data prepared by FROMAPS, Inc., Bensalem, PA (Feb 2005). Additional field survey has been performed in target on-site project locations to verify and reflect accurate information.
- The site benchmark is on existing sanitary sewer manhole located in the existing Loop Road directly in front of the Sanitary Sewer Pump Station having a rim elevation of 248.19 and floor elevation of 235.58.
- This plan was prepared utilizing the following references:
 - a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - b. Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - c. Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum.
 - d. Aerial imagery provided by Neopmap, Inc. for the subject project limits. Aerial imagery from Flight dated FEB. 17, 2020, updated February 24, 2024.
 - e. ALTA/ACSM Survey Plan prepared for Meadowood Life Care Community, by Urwiler & Walter, Inc., dated 02/03/2005, last revised 02/08/2005, Project No. 04155.
 - f. Wetlands & Waters illustrated on this plan were field mapped by Penna Trail Environmental, Hatfield, PA during the month of March 2018, updated by Cherry Ridge Consulting, LLC, Sciota, PA during the month of March 2023.
 - g. There are no identifiable Flood Plain areas within the project site as illustrated on Community Panel Number 421818-0253.6 (March 2, 2016) of the Flood Insurance Rate Map, prepared by the Federal Emergency Management Administration for the Township of Worcester, Pennsylvania.
 - h. All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
 - i. Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. Information pertaining to: size, location, depth, etc. of subsurface utilities is approximate in nature and has been obtained as an aid for the project design. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied guarantee that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
 - j. All of the stormwater management facilities, including the conveyance system and stormwater basins are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
 - k. All of the sanitary sewer facilities (gravity only), including the main conveyance system and building laterals are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
 - l. A "Blanket Utility Easement" in favor of North Penn Water Authority, over the existing water main that runs the perimeter of the Meadowood Drive loop driveway and is recorded in Deed Book 6109, Page 1481.

PRIOR APPROVALS

The Meadowood Property has been subject to several previously implemented Land Development applications and approvals as noted below:

1. Conditional Use Order for the Development of the West Hill Cottages and the Laurel House Healthcare Expansion. Conditional Use approved on April 30, 2001.
2. Resolution #02-05 for the Development of the West Hill Cottages (Phase 1) and the Laurel House Healthcare Expansion (Phase 2). Approval for Phase 1 dated March 20, 2002.
3. Resolution #08-04 for the Development of the West Hill Cottages (Phase 1) and the Laurel House Healthcare Expansion (Phase 2). Approval for Phase 2 dated January 16, 2008.
4. Resolution #2015-31 for the Development of the Schultz Community Center & Courtyard Expansion. Approval dated November 18, 2015.
5. Resolution #2017-11 for the Development of the Schultz Community Center - Office Suite Additions at Meadowood (aka Marketing Suite Additions).
6. ZHB Application #2017-12 for Variance from 150-15, to allow the (4) Buildings at the Grove to be 3-Stories, with Bldg 3 to be 38'-6" in height, and Bldg 4 to be 37'-10" in height.
7. Resolution #2018-02 for Final Land Development Approval of The Grove at Meadowood. Approval dated June 20, 2018.
8. Re-Zoning of 3103 Skippack Pike (Parcel C) from R-100 Residential District to LPD Land Preservation District. Nov. 20, 2019.
9. Resolution #2020-12 for the Consolidation of Parcel(s) A, B, C, & D and the installation of two Emergency Generators.
10. Conditional Use Order for the crossing of the Riparian Corridor with a new Access Drive to Victory Garden site. Conditional Use approved March 20, 2019 (CUA #2019-01).
11. Variance from 20 150-13.B(2) to encroach 20' into the required Side Yard setback & from 20 150-146.8 to encroach not more than 40' into required Riparian Corridor. Granted by the Zoning Hearing Board at their 03/09/20 meeting (#2020-04).
12. Special Exception to allow a roadway & pedestrian crossing in the Flood Plain Conservation Overlay District under 20 150-138.A(4)(b). Granted by the Zoning Hearing Board July 14, 2020 per Order No. 2020-07.
13. Conditional Use Order for installation of a Pedestrian Bridge crossing the Riparian Corridor and modification of the Access Drive to the proposed Parking Lot. Conditional Use approved Sept. 16, 2020 (CUA #2020-01).
14. Resolution #2021-21 for the Final Land Development Approval of new Memory Care Facility. Approval dated May 19, 2021.

SITE ZONING DATA SCHEDULE

EXISTING/PROPOSED SITE USE: RESIDENTIAL LIFE CARE FACILITY (USE APPROVED PER CONDITIONAL USE - Z.O. Section 150-11.E(7))			
ZONING DISTRICT: LPD - LAND PRESERVATION DISTRICT (SECTION 150-110.10) (AGR REQUIREMENTS USED PER Z.O. SECTION 150-110.11)			
ORDINANCE ITEM	SECTION No.:	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	150-11.E(7)	75 Acres	137,492 Acres
MINIMUM LOT WIDTH	150-12.B(1)	250 Ft.	>250 Ft.
MINIMUM FRONT YARD:	150-13.B(2)	250 Ft.	>250 Ft.
MINIMUM SIDE YARD:	150-13.B(2)	125 Ft.	>125 Ft.
MINIMUM REAR YARD:	150-13.B(2)	125 Ft.	>125 Ft.
MINIMUM PARKING SETBACK:	150-16.B(2)	100 Ft.	>100 Ft.
MAXIMUM BUILDING HEIGHT:	150-15	35 Ft.	42.0 Ft. [2]
MAXIMUM IMPERVIOUS:			
BUILDING	150-11.E(7)	15 %	11.37 %
TOTAL LOT	150-11.E(7)	40 %	28.01 %
PARKING SPACE QTY. (EXCLUDES WEST HILL CARRIAGE HOMES)			
150-153.B(3)	1/Every 3 Beds + 1/Employee on 2 Largest Shifts		
Ex. Apartments	260 Apts @ 2 Beds Ea.=	173 Required	173+ Spaces
Ex. Health Care Beds	113 Beds=	37 Required	37+ Spaces
Ex. Grove Units	52 Apts @ 2 Beds Ea.=	35 Required	35+ Spaces
Ex. Employees	1/Employee on 2 largest shifts=	100 Required	100+ Spaces
PR. HEALTH CARE ADDITION	31 Beds=	10 Required	10+ Spaces
TOTAL		355 Spaces	701 Spaces [1]

[1] Provided Parking Space Count:
EXISTING: 463 Lot + 137 Corport + 36 Handicapped + 52 Garage = 718 Spaces
PROPOSED: 476 Lot + 137 Corport + 36 Handicapped + 52 Garage = 701 Spaces
NET PARKING CHANGE = -17 Spaces

[2] VARIANCE GRANTED for proposed building height of 42.0 Ft. at the January 21, 2025 Zoning Hearing Board meeting.

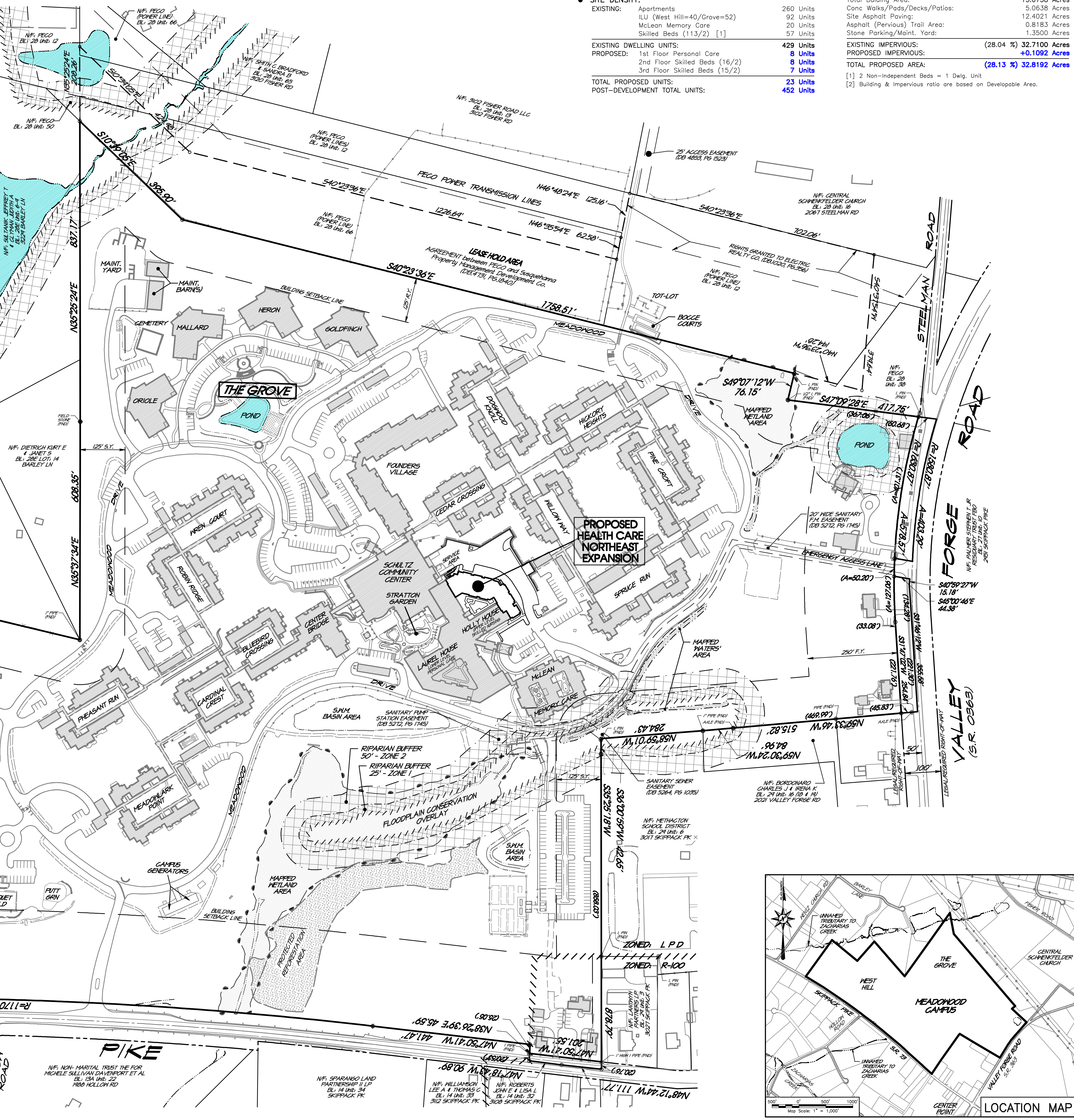
WAIVER LIST (Requested):

The following list of the Waivers from the Worcester Township Subdivision & Land Development Ordinance (SUDO), GRANTED per Resolution #2025-___ Granting Preliminary Approval of Health Care Northeast Expansion - Meadowood Senior Living dated _____, 2025:

- A.
- B.
- C.
- D.
- E. 130-28.E(1): Existing Tree Survey: To allow existing tree survey only for impacted project area.
- F. 130-28.G(4): Street Trees: To allow existing trees along frontage to satisfy this requirement for both the existing Skippack Pike and Valley Forge Road frontages. Not more than 15 parking spaces shall be placed in a continuous row w/o an intervening raised planting island of at least 10' in width.
- G. 130-28.G(6)(b):
- H. 130-33.C: To allow use of Aerial Photograph to fulfill requirements of showing existing features within 400'-ft. of the project tract.

PLAN LEGEND

- Tract Boundary Line
- Legal Right-of-Way Line
- Existing Roadway Centerline
- Zoning District Boundary
- Riparian Buffer Limit
- Mapped "Waters" Limits
- Mapped "Waters" Limits

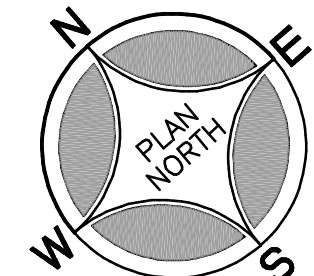


CAMPUS AREA SCHEDULE

PROJECT TRACT AREA SCHEDULE:			
Block 28 Unit 28 - 3205 Skippack Pk	124.6160 Acres		
Block 28 Unit 66 - PECO Lease Hold Area	12.8761 Acres		
GROSS PROJECT AREA: [1]	137.4921 Acres		
Legal/Ultimate Right-of-Way	-0.9507 Acres		
Right-of-Way of Overhead Utility	-12.8761 Acres		
Existing Easements (San., Water)	-1.0199 Acres		
Floodplains, Wetlands, Lands Covered by Water	-5.9696 Acres		
DEVELOPABLE AREA:	116.6758 Acres		
BUILDING COVERAGE: [2]			
Total Building Area:	7.8746 Acres		
Existing LIFE CARE Buildings	2.4729 Acres		
Existing WEST HILL Homes	1.2338 Acres		
Existing GROVE Buildings	1.4945 Acres		
Existing Accessory Buildings			
EXISTING BUILDING:	(11.21 %)	13.0758 Acres	
PROPOSED BUILDING:		+0.1881 Acres	
TOTAL PROPOSED AREA:	(11.37 %)	13.2639 Acres	
IMPERVIOUS COVERAGE: [2]			
Total Building Area:	13.0758 Acres		
Conc. Walks/Pads/Decks/Patios:	5.0638 Acres		
Site Asphalt Paving:	12.4021 Acres		
Asphalt (Pervious) Trail Area:	0.8183 Acres		
Stone Parking/Maint. Yard:	1.3500 Acres		
EXISTING IMPERVIOUS:	(28.04 %)	32.7100 Acres	
PROPOSED IMPERVIOUS:		+0.1092 Acres	
TOTAL PROPOSED AREA:	(28.13 %)	32.8192 Acres	

[1] 2 Non-Independent Beds = 1 Dwlg. Unit
[2] Building & Impervious ratio are based on Developable Area.

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

A Public Safety System for Pennsylvania

Parcel Information:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
Worcester, PA 19380

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
Worcester, PA 19380

Scale in Feet (1" = 150')

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Worcester, PA 19380

Phone: (215) 546-6666

Web: www.woodrowinc.com

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GENERAL PLAN NOTES

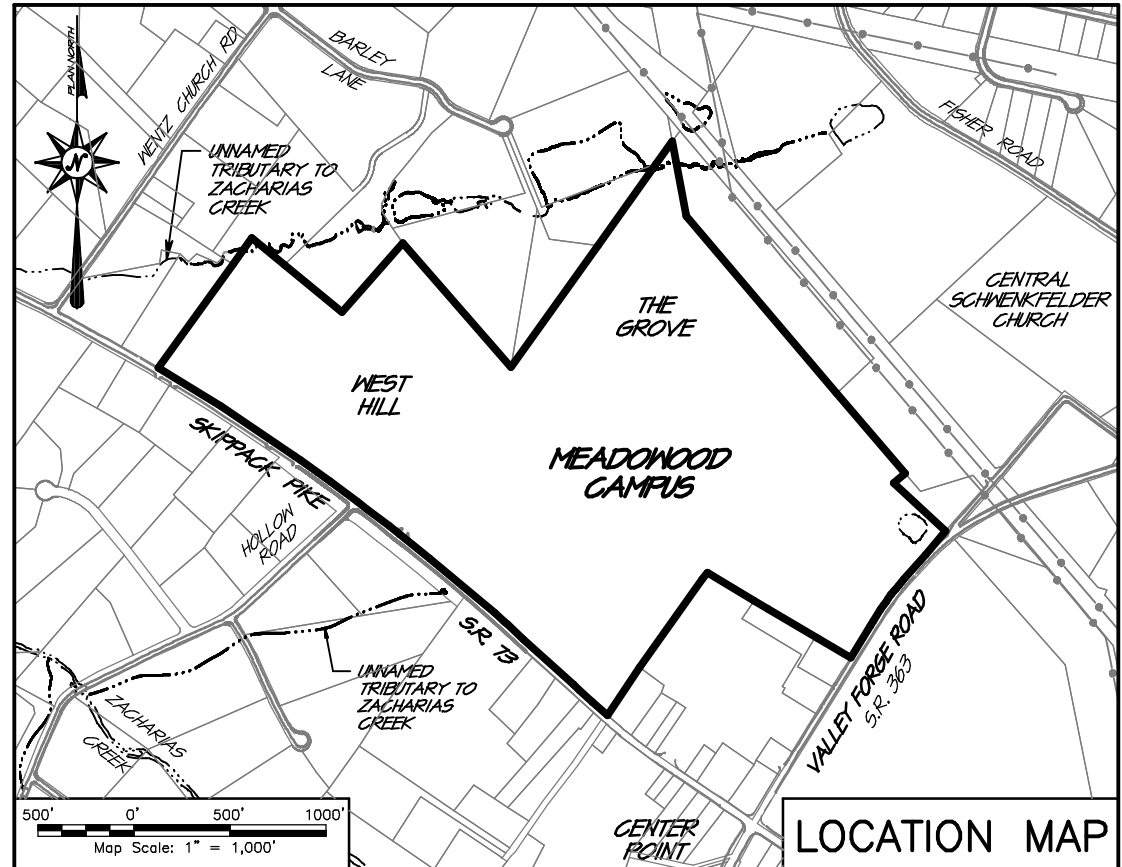
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- All of the sanitary sewer facilities (gravity only), including the main conveyance system and building laterals are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
- A "Blanket Utility Easement" in favor of North Penn Water Authority, over the existing water main that runs the perimeter of the Meadowood Drive loop driveway and is recorded in Deed Book 6109, Page 1481.

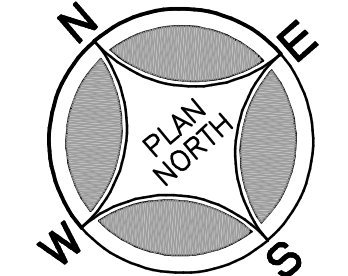
PROJECT SOILS DATA

Soils Type:	Slopes:	Depth to Restrictive Feature:	Depth to Water Table:	Hydrologic Soil Group:
AbB Abbottstown silt loam	3 to 8 percent	18"-22" to fragipan 40"-60" to lithic bedrock	6 to 18"	D
Ba Bowmansville-Knaurs silt loam	N/A	72"-99" to lithic bedrock	0 to 18"	C/D (Twp Alluvial)
PdD Penn-Klinesville channel silt loam	15 to 25 percent	20"-40" to lithic bedrock	> 80"	B
Rek Readington silt loam	0 to 3 percent	20"-36" to fragipan 40"-70" to lithic bedrock	18 to 36"	C
ReB Readington silt loam	3 to 8 percent	20"-36" to fragipan 40"-70" to lithic bedrock	18 to 36"	C
ReC Readington silt loam	8 to 15 percent	20"-36" to fragipan 40"-70" to lithic bedrock	18 to 36"	C
Rhc Reaville silt loam	8 to 15 percent	20"-40" to lithic bedrock	6 to 36"	D
Rt Rowland silt loam	terrace	60"-99" to lithic bedrock	12 to 36"	C (Twp Alluvial)
RwB Rowland silt loam	3 to 8 percent	60"-99" to lithic bedrock	18 to 36"	C (Twp Alluvial)
UryB Urban land-Readington complex	0 to 8 percent	10"-100" to lithic bedrock	18 to 36"	C
UusB Urban land-Urthenths shale and sandstone complex	0 to 8 percent	10"-99" to lithic bedrock	> 80"	A

PLAN LEGEND	
	Tract Boundary Line
	Legal Right-of-Way Line
	Existing Roadway Centerline
	Zoning District Boundary
	Floodplain Conservation District
	Riparian Buffer Limit
	Mapped Wetland Limit
	Mapped Waters Limit
	Existing Index Contour
	Existing Soil Series Limits
	Existing Drive / Paving Limit
	Existing Vegetation Limit
	Existing Storm Sewer Piping
	Existing Sanitary Sewer Piping
	Existing Gas Main
	Existing Water Main / Service
	Existing Underground Telephone
	Existing Overhead Utility Wires



REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPAK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

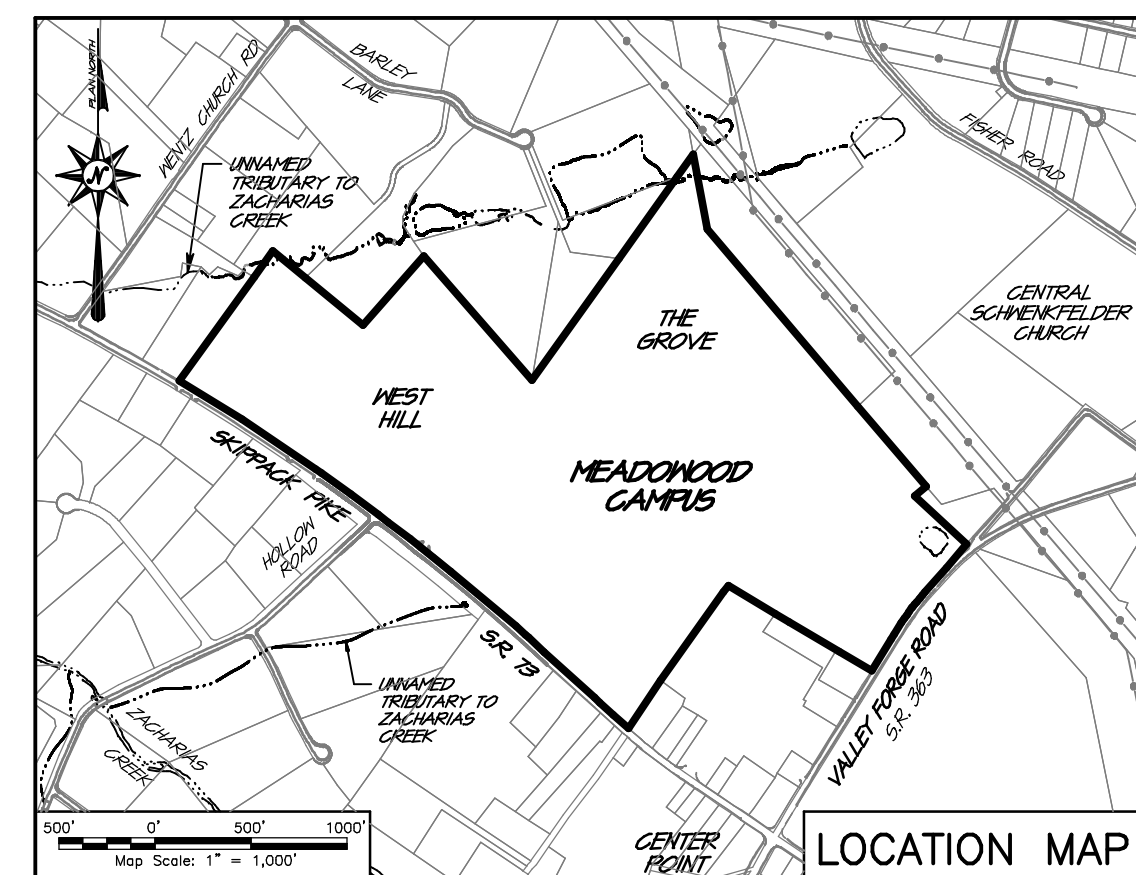
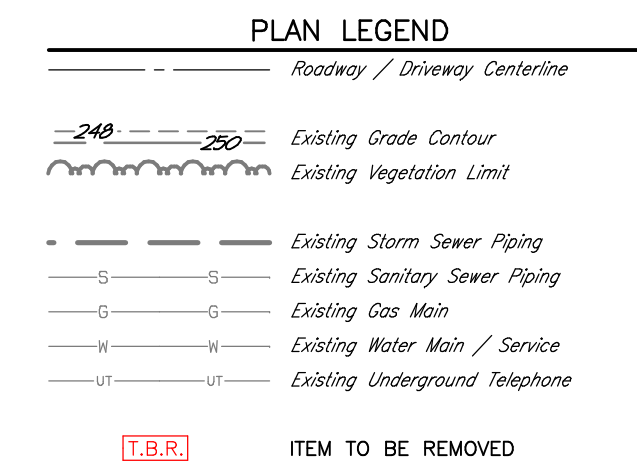
Scale in Feet (1" = 150')

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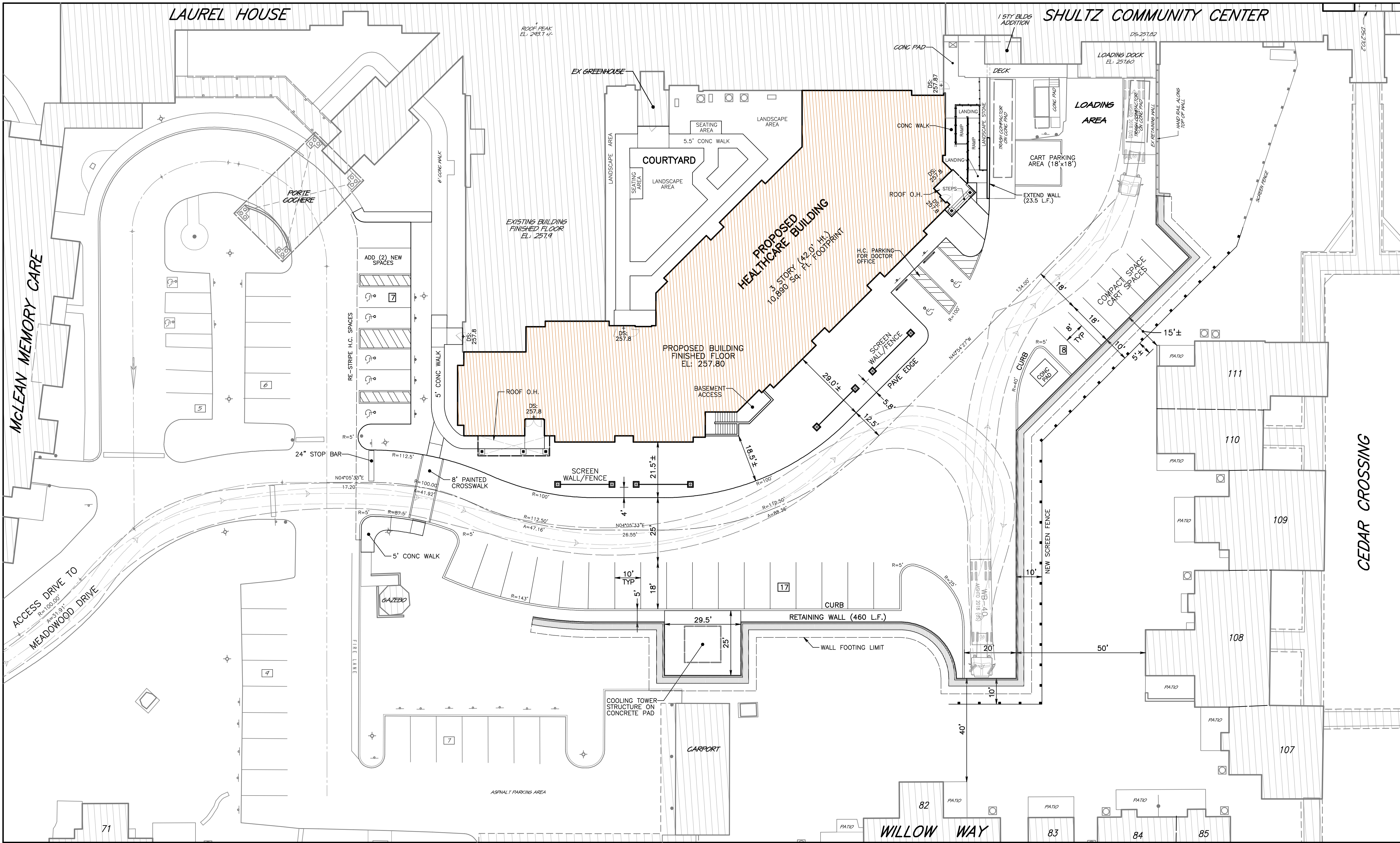
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Main Street, Suite 200
Worcester, PA 19380
Phone: (215) 546-6666
Web: www.woodrowinc.com

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
EXISTING FEATURES PLAN
OVERALL TRACT
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS

Layer List:
D21-03_ExFea
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:
3 of 17



4.17



GENERAL PLAN NOTES

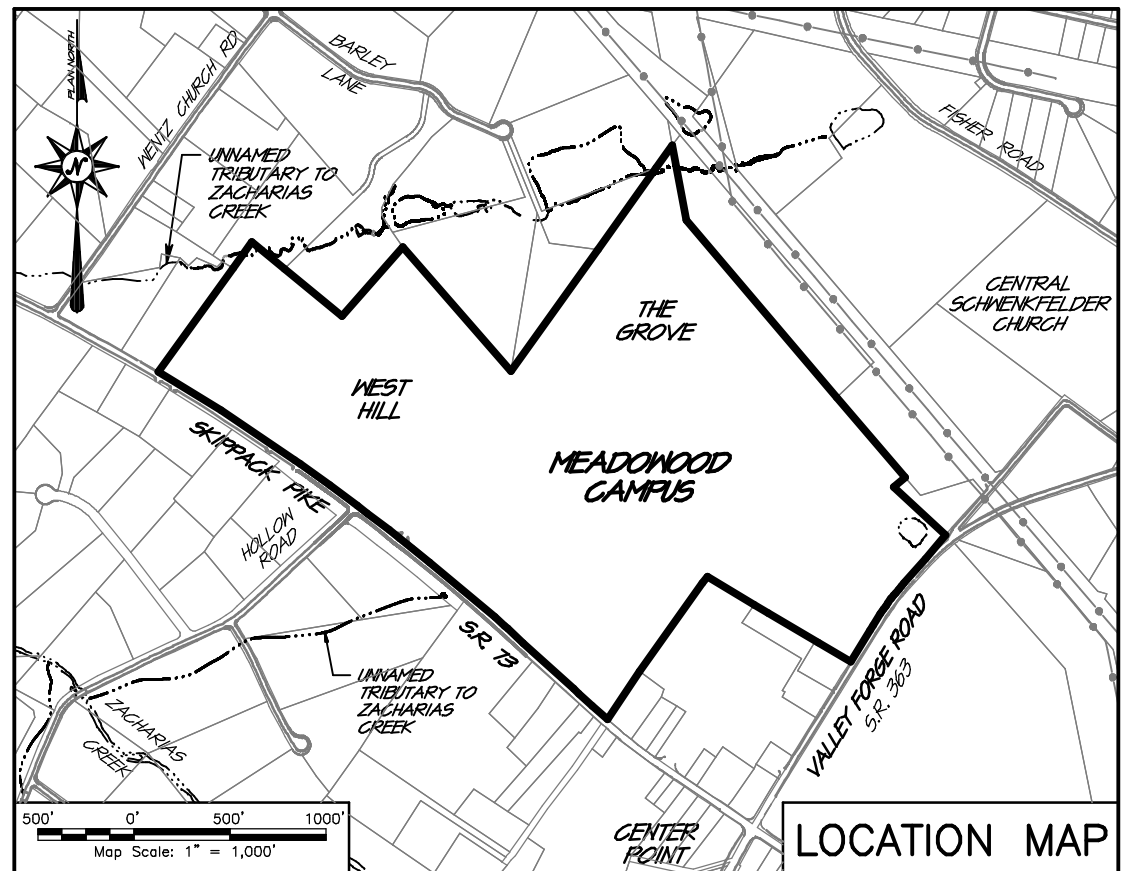
Refer to plan sheet 2 "RECORD PLAN - OVERALL TRACT" for all "BASE EXISTING FEATURES and SURVEY NOTES".

BASE DEVELOPMENT NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Demolition, general site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the Erosion and Sedimentation control measures are in place and functional as described on the (NPDES) Erosion & Sediment Control Plan.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et. seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- TRAFFIC CONTROL SIGNAGE:
Building driveway & access signage to be provided by Meadowood subject to submission and approval of Worcester Township prior to installation.
- Contractor to ensure compliance with ADA regulations.
- This project shall be served by public sanitary sewer by Worcester Township and water services by North Penn Water Company.

DEVELOPMENT IMPERVIOUS SCHEDULE

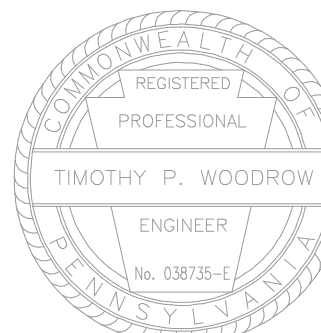
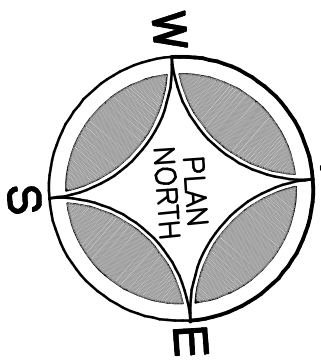
IMPERVIOUS ITEM:	EXISTING DEMO:	NEW CONSTRUCTION:	NET DEVELOPMENT:
BUILDING FOOTPRINT:	-3,177 Sq. Ft. +	11,370 Sq. Ft.	= +8,193 Sq. Ft.
CONC / PADS / WALKS:	-2,078 Sq. Ft. +	3,317 Sq. Ft.	= +1,239 Sq. Ft.
ASPHALT PAVING:	-27,314 Sq. Ft. +	22,637 Sq. Ft.	= -4,677 Sq. Ft.
TOTALS:	-32,569 Sq. Ft. +	37,324 Sq. Ft.	= +4,755 Sq. Ft.



PLAN LEGEND

--- Roadway / Driveway Centerline

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 011

A Priority Jurisdiction for Pennsylvania Corporation

Parcel Information:

THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

Scale In Feet (1" = 20')

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PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION

PROJECT AREA LAYOUT PLAN

MEADOWOOD SENIOR LIVING

WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.

MUNICIPAL / CIVIL CONSULTING ENGINEERS

1108 North Meridian Street, Suite 100, Worcester, PA 19380

Phone: (215) 542-6648 Web: www.woodrowinc.com

Layer List:

D21-05_Layout

Job No:

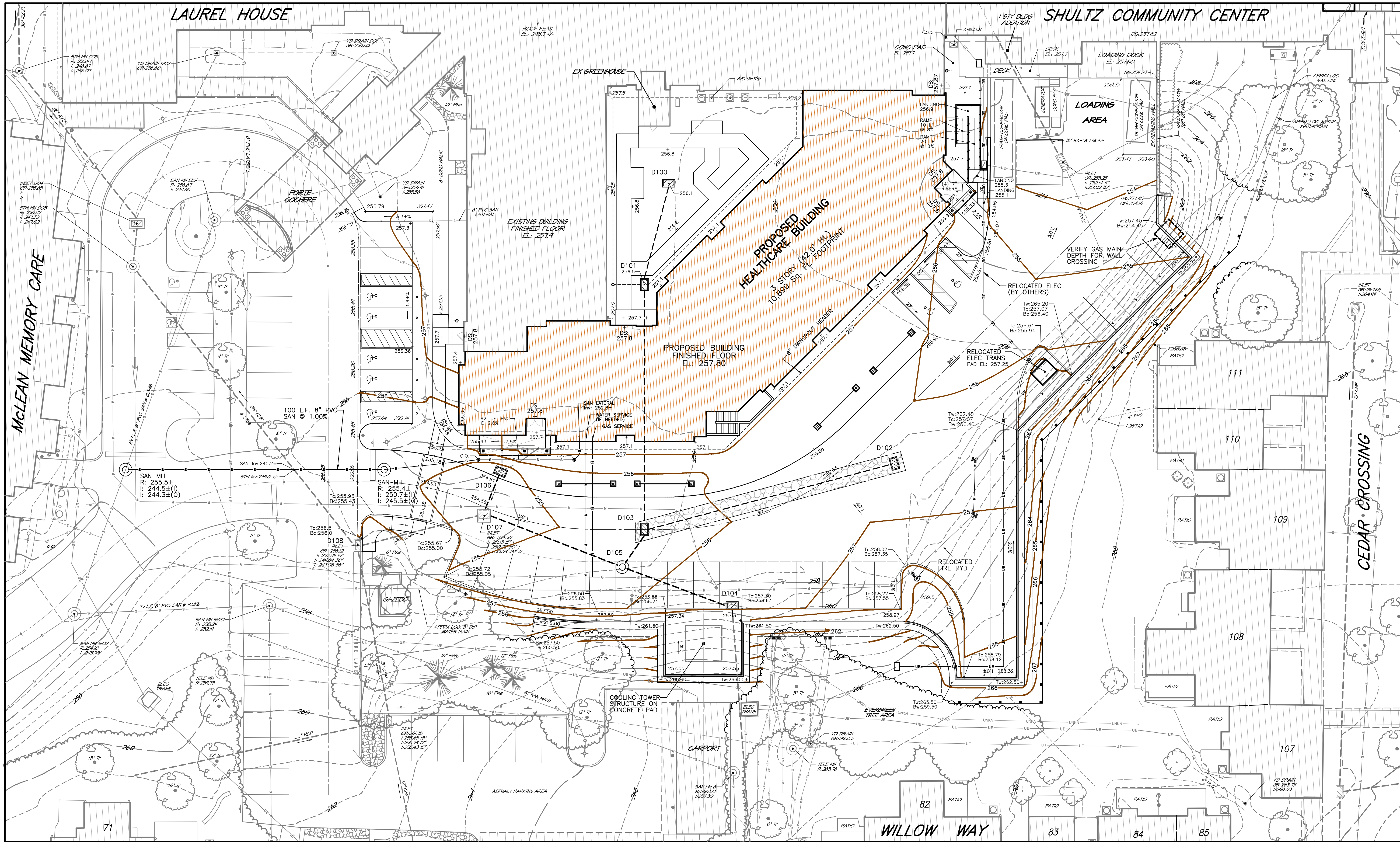
00-0606 D21

Plan Date:

JAN. 31, 2025

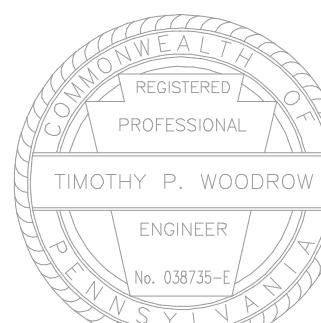
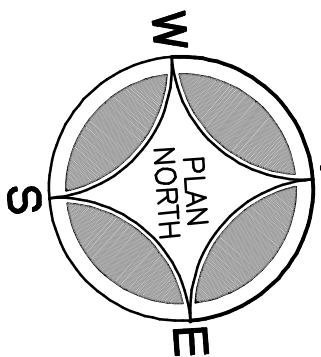
Sheet No:

5 of 17



PLAN LEGEND	
Roadway / Driveway Centerline	
	Ex Grade Contour
	Ex Vegetation Limit
	Ex Storm Sewer Piping
	Ex Sanitary Sewer Piping
	Ex Gas Main / Service
	Ex Water Main / Service
	Ex Underground Telephone
	Ex SPOT ELEVATION
	PR SPOT ELEVATION
	PR GRADE CONTOUR
	PR STORM PIPING

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 67-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
PO Box 670
Worcester, PA 15490

Scale In Feet (1" = 20')
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GENERAL PLAN NOTES

Refer to plan sheet 2 "RECORD PLAN - OVERALL TRACT" for all "BASE EXISTING FEATURES AND SURVEY NOTES".

Refer to plan sheet 3 "LAYOUT PLAN - MEMORY CARE FACILITY" for all "BASE DEVELOPMENT NOTES".

BASE CONSTRUCTION DESIGN NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
- Contractor to ensure compliance with ADA regulations.
- This project shall be served by public sanitary sewer by Worcester Township and water services by North Penn Water Authority.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township only or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- The proposed finished grading shown on this plan has been based on the proposed building(s) finished floor elevations and has been used to design the storm water management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Township and the Project design engineers.

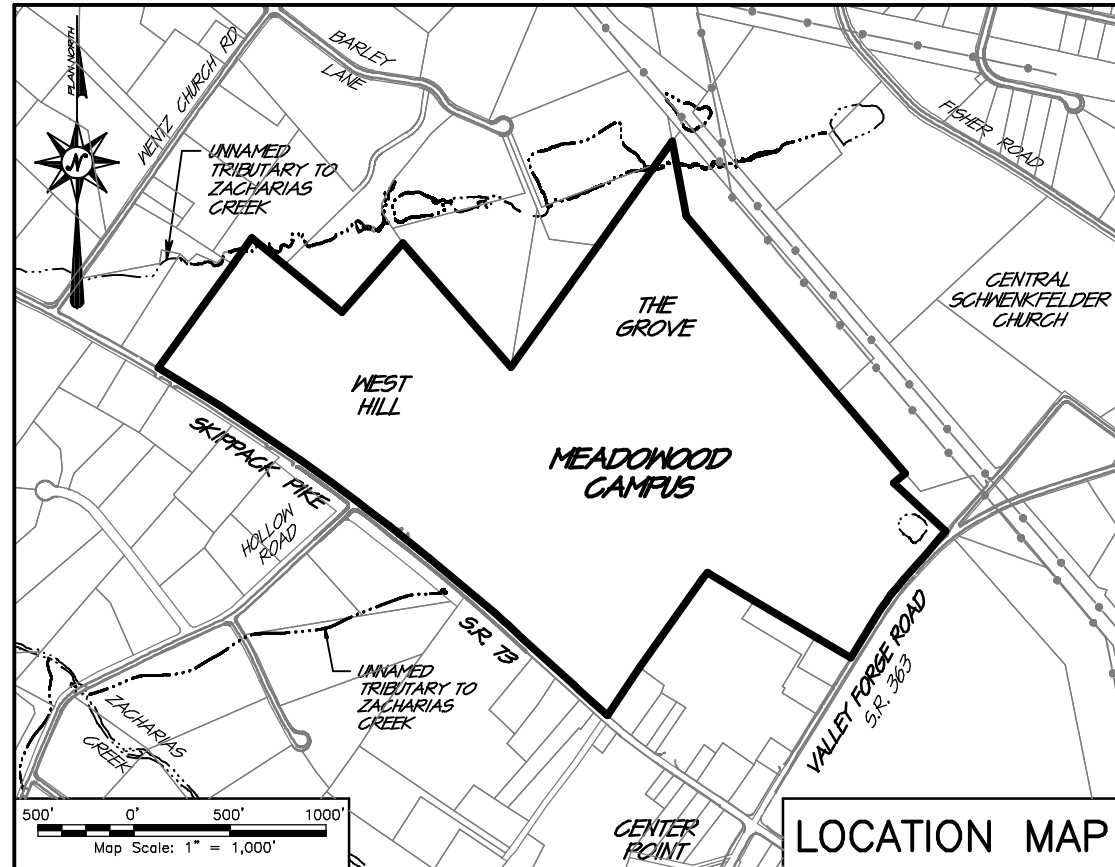
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557; moisture content at time of placement shall be no more than 2% above nor 3% below optimum; contractor shall submit a compaction report prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
- Erosion control matting shall be provided on all earth slopes at 3:1 or greater.

STORMWATER STRUCTURE SCHEDULE

Structure ID: D100 Type: YARD DRAIN Loc: COURTYARD Gr: 256.10 Inv: 253.10 (15" Ø)	Structure ID: D103 Type: STD M INLET Loc: PARKING AREA Gr: 255.49 Inv: 252.26 (15" Ø) Inv: 252.03 (36" Ø) Inv: 251.86 (18" Ø)	Structure ID: D105 Type: STM MH Loc: PARKING AREA Rim: 255.73 Inv: 251.78 (18" Ø) Inv: 250.67 (30" Ø) Inv: 250.50 (30" Ø)	Structure ID: D107 Type: EX INLET Loc: DRIVEWAY Gr: 254.50 I: 251.13 (New I) I: 250.22 (EX I) I: 250.09 (EX Ø)
Structure ID: D101 Type: YARD DRAIN Loc: COURTYARD Gr: 256.50 Inv: 254.33 (8" Ø) Inv: 252.90 (15" Ø) Inv: 252.73 (15" Ø)	Structure ID: D104 Type: STD C INLET Loc: LAWN AREA Gr: 256.56 Inv: 250.90 (30" Ø)	Structure ID: D106 Type: STD INLET Loc: PARKING AREA Gr: 254.90 Inv: 252.73 (8" Ø) Inv: 249.69 (30" Ø) Inv: 251.90 (18" Ø)	Structure ID: D108 Type: EX INLET Loc: DRIVEWAY Gr: 256.12 Inv: 252.39 (15" Ø) Inv: 249.08 (36" Ø)

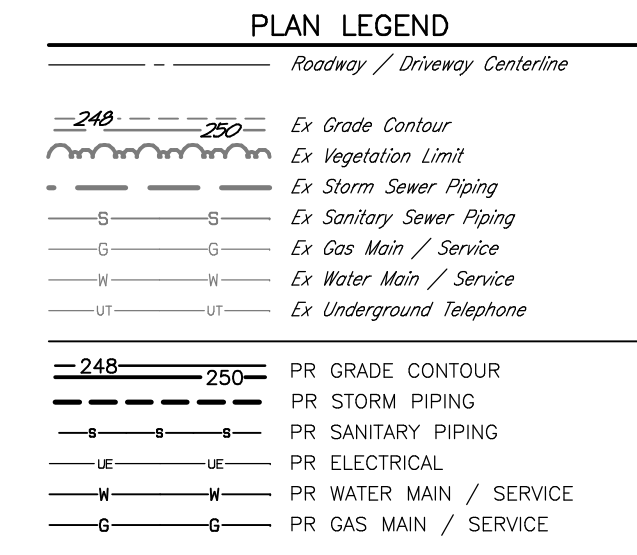
STORMWATER PIPE SCHEDULE

Structure (Fr)	Structure (To)	Length (L.F.)	Size (Dia.)	Material	Slope (%)
D100	D101	40	15"	H.D.P.E.	0.50
D101	D103	94	15"	H.D.P.E.	0.75
D102	D103	100	36"	H.D.P.E. (PERF)	0.00
D103	D105	16	18"	H.D.P.E.	0.50
D104	D105	45	18"	H.D.P.E.	0.50
D105	D106	57	30"	H.D.P.E.	0.50
D106	D107	18	18"	H.D.P.E.	4.28
D107	D108	50	30"	C.M.P.	0.80

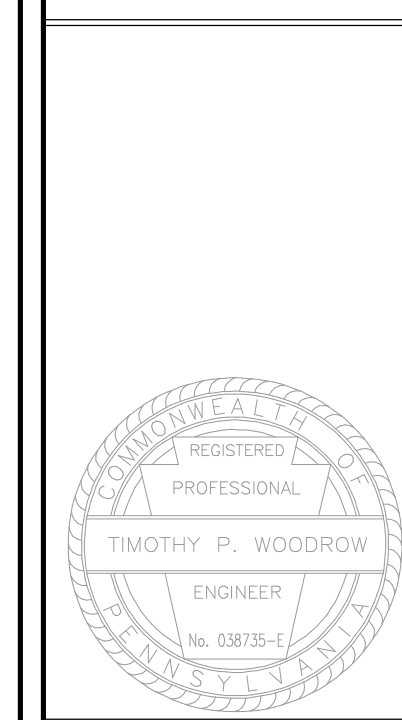
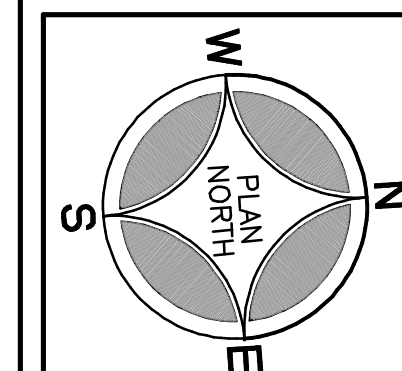


PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
PROJECT AREA IMPROVEMENTS PLAN
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1168 North Union Road, Suite 100
Pottsville, PA 17864
Phone: (610) 542-6666
Web: www.woodrowinc.com

Layer List:
D21-06_Grading
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025



REVISIONS



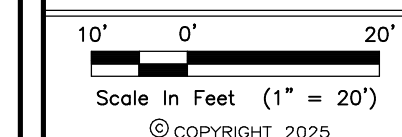
PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 811
A Privately funded not-for-profit Pennsylvania Corporation

Parcel Information:
**THE MEADOWOOD
 CORPORATION**
 TP: 67-00-03185-00-6
 Block 28 Unit 28
 DB: 6370 Page 2199-2208
 3205 SKIPPACK PIKE

Gross Tract:	137.4921 Acres
Developable Area:	116.6758 Acres

Applicant:
**THE MEADOWOOD
CORPORATION**
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19490



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Job No:

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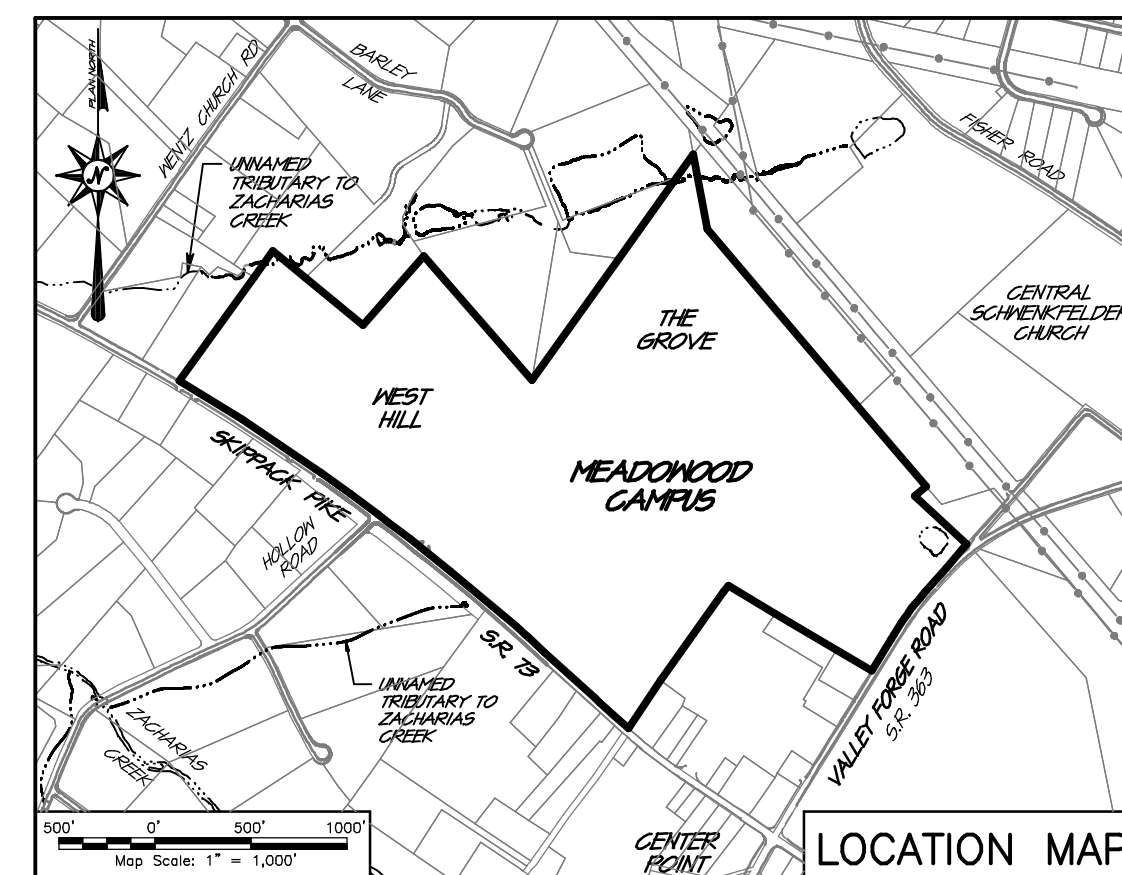
JAN. 31, 2025

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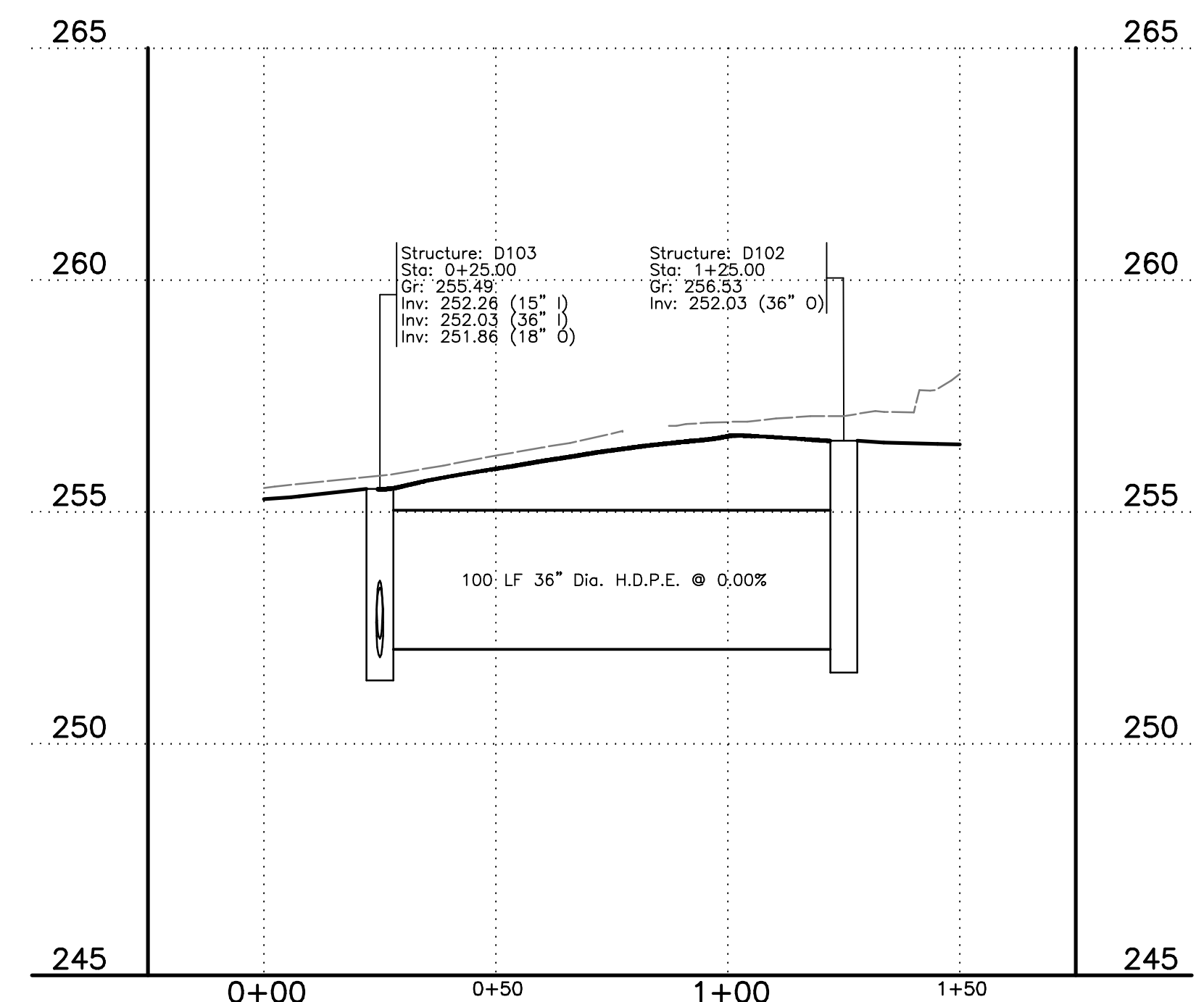
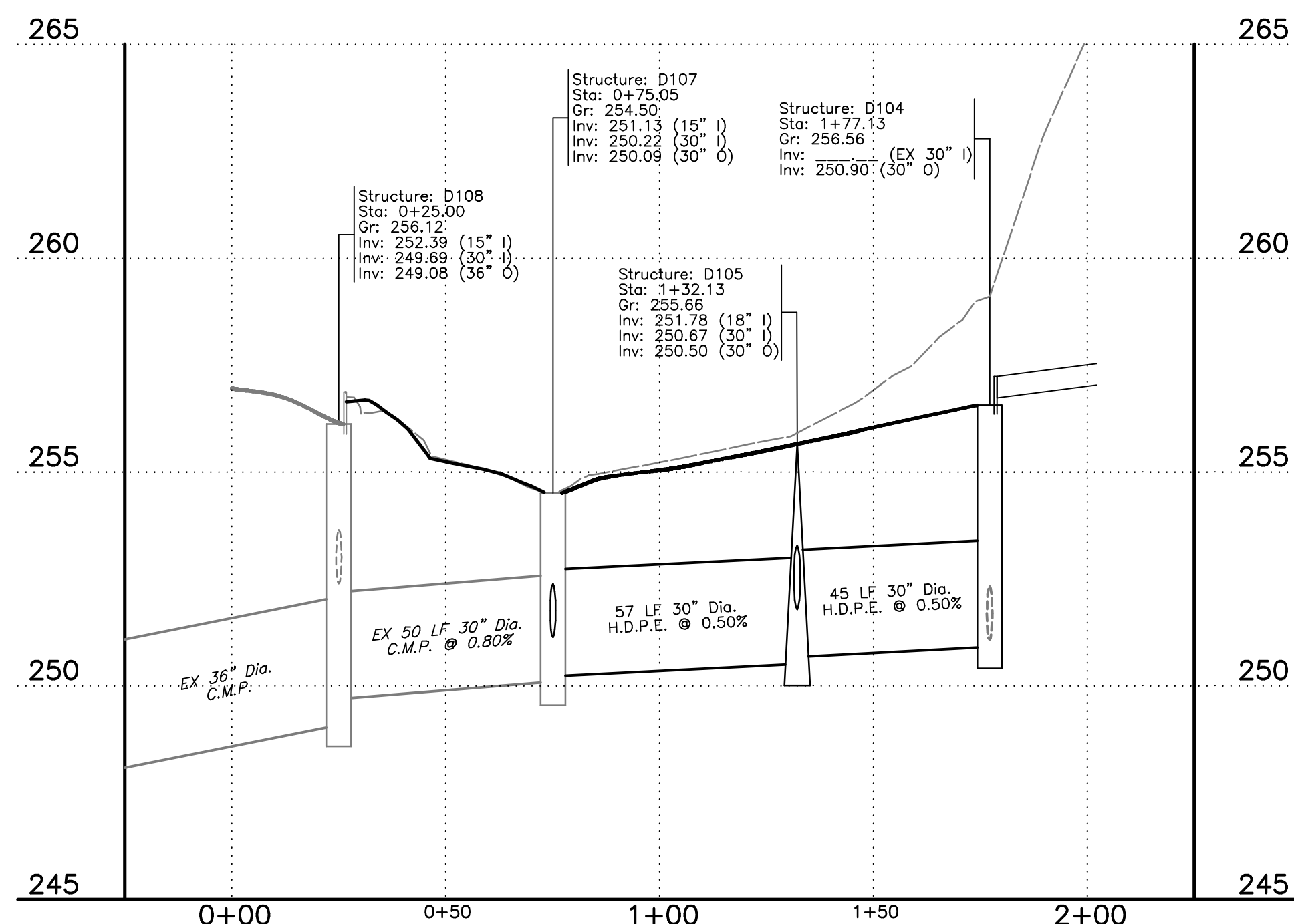
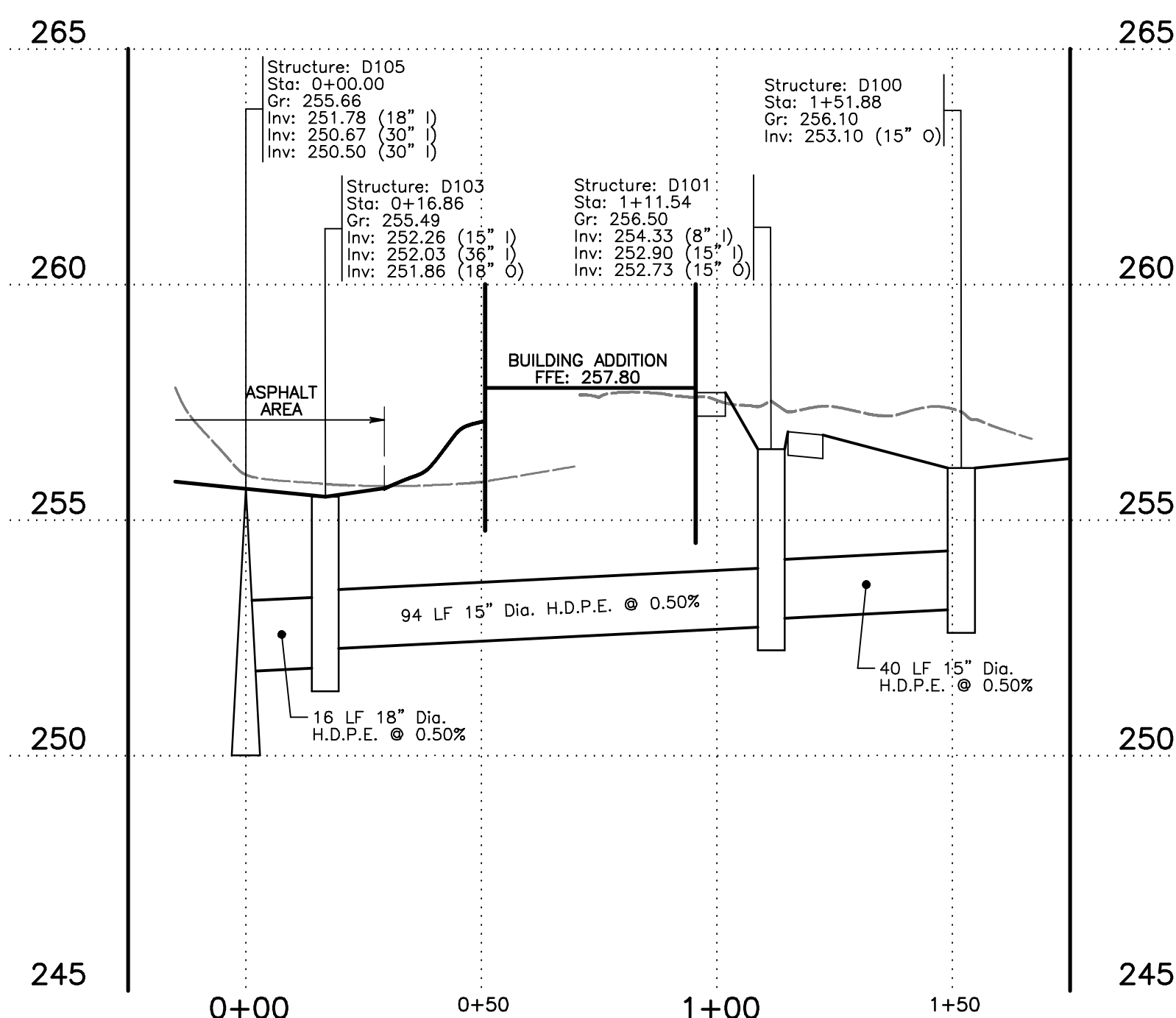
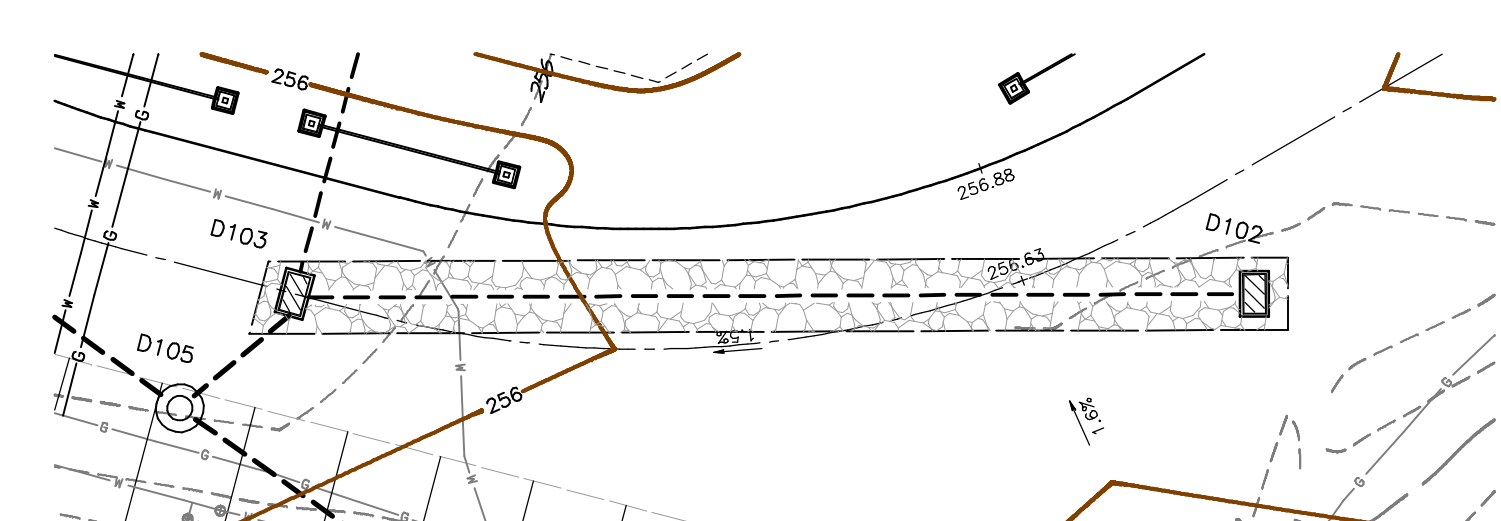
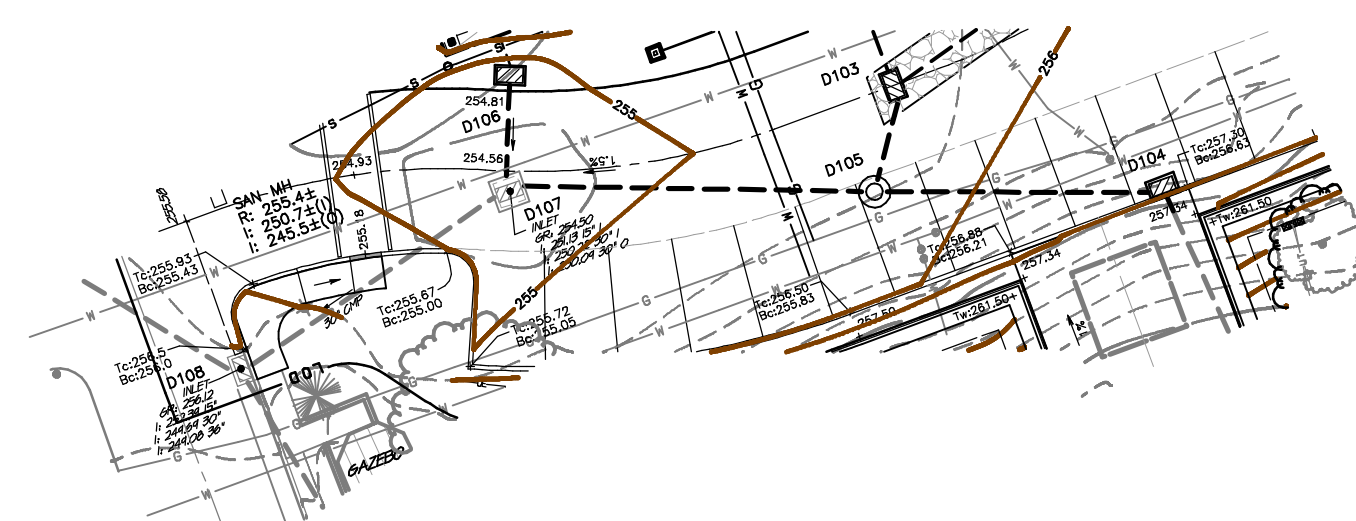
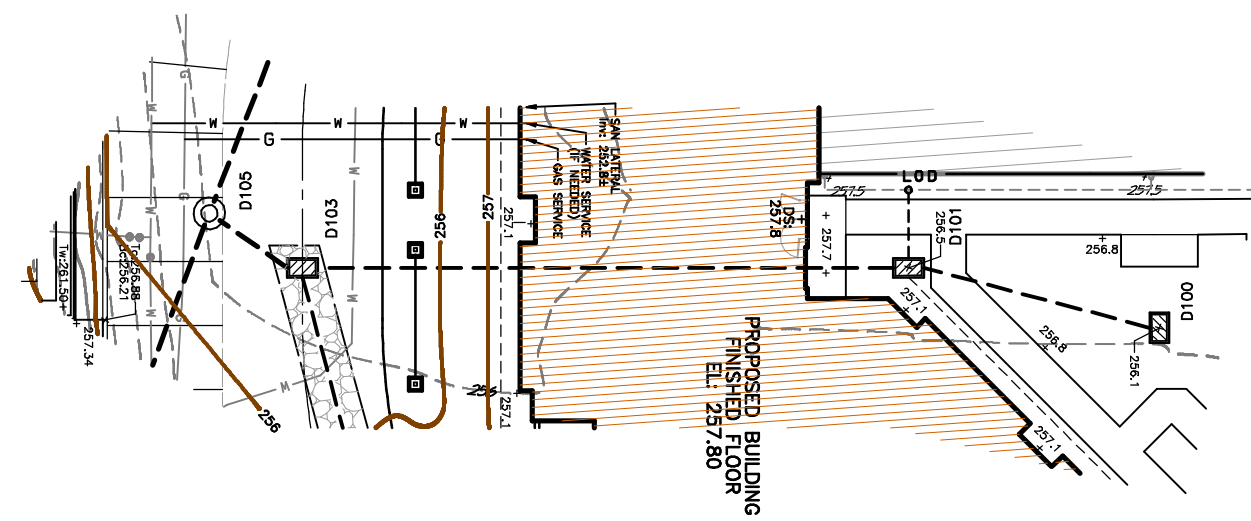
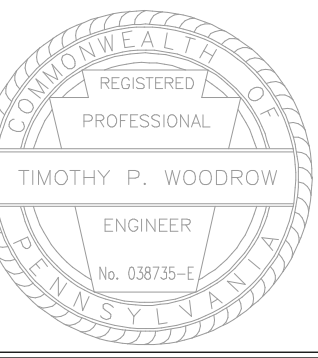
8 of 17

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[1] See Plan Sheet 4 for Removal locations. Trees to be removed with this Application:
12 Deciduous Trees (149 Cal In) + 15 Evergreen Trees (97 Cal In)

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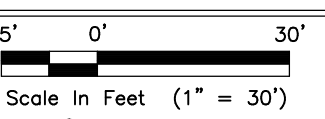
PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 811
A publicly funded not-for-profit Pennsylvania Corporation

THE MEADOWOOD
CORPORATION
TP: 67-00-03185-00-6
Block 28 Unit 28
NB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19490



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Pike
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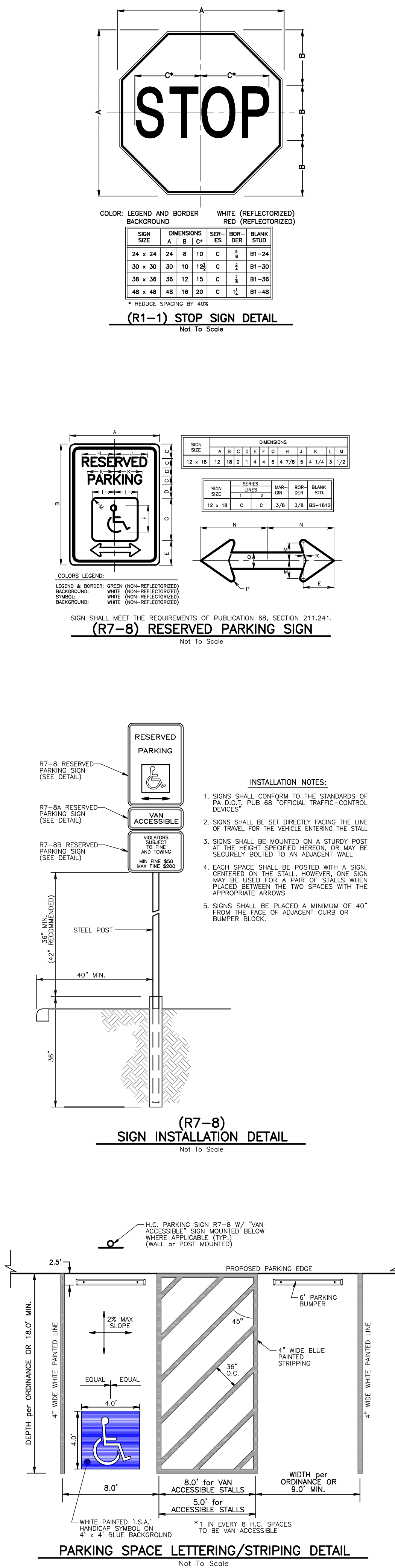
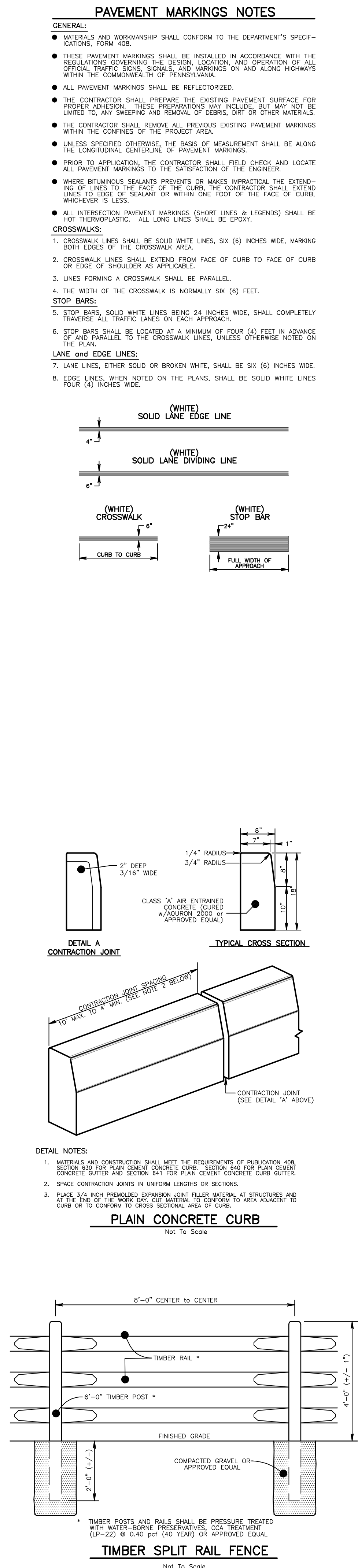
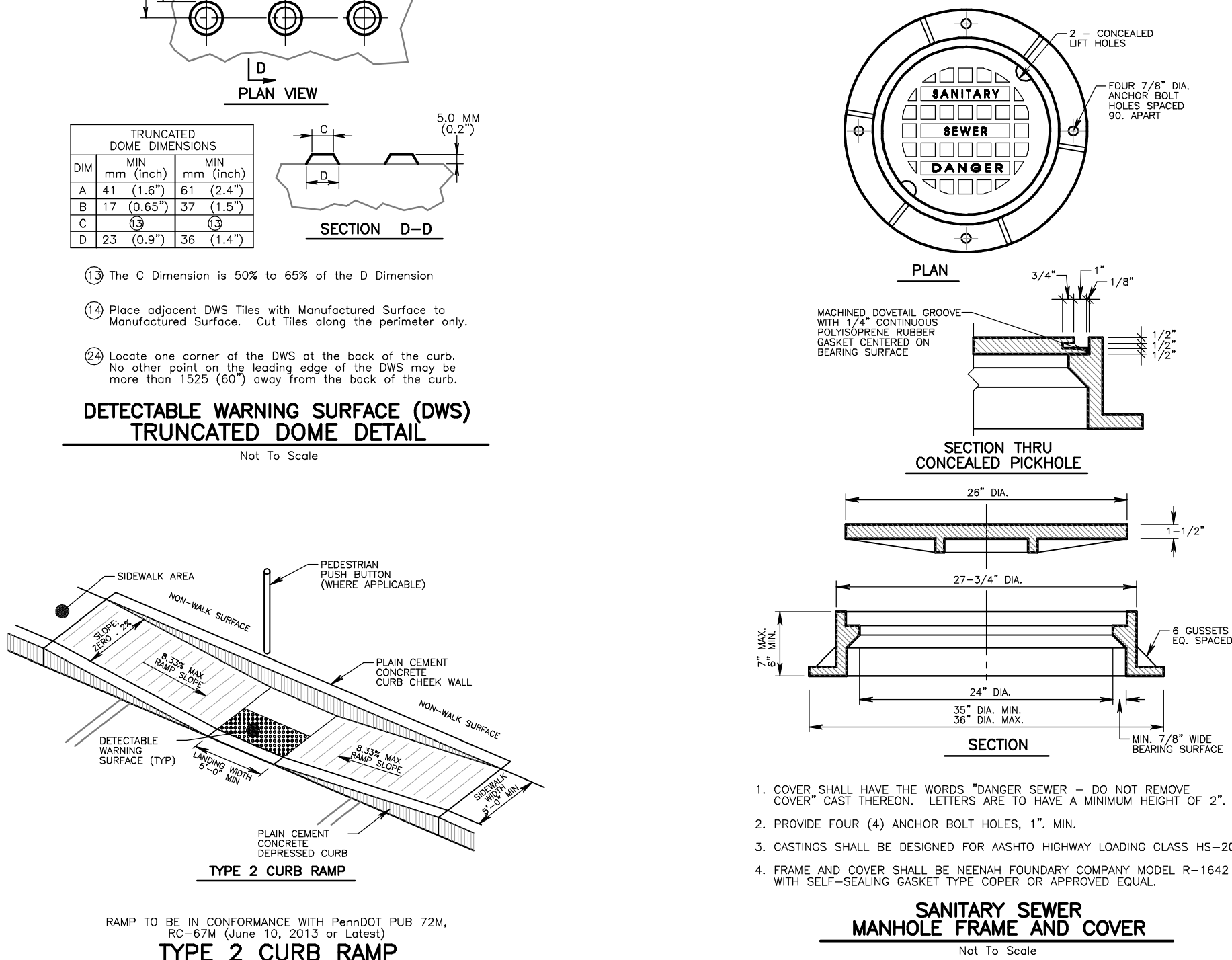
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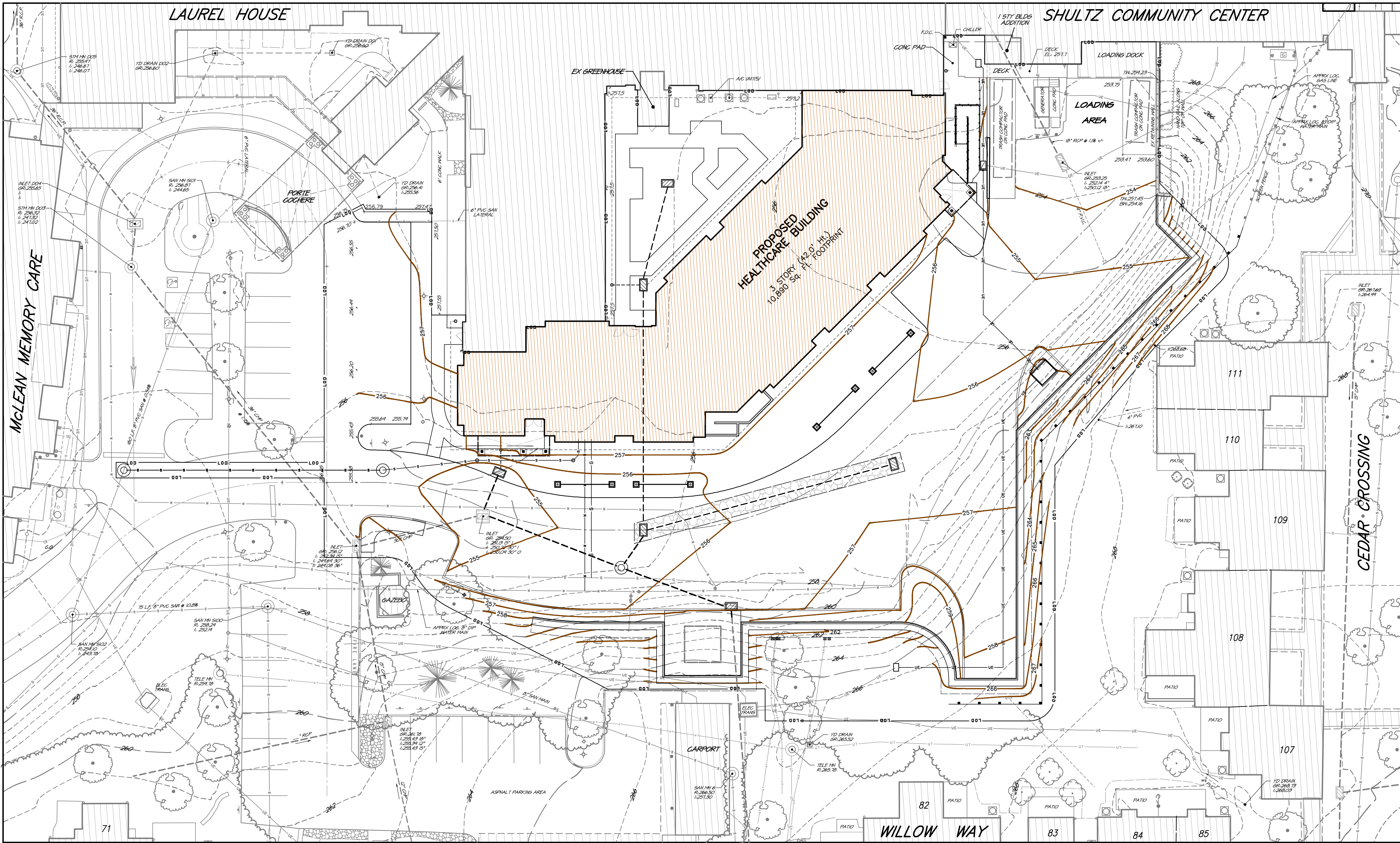
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[illegible]

REGISTERED PROFESSIONAL	
TIMOTHY P. WOODROW	
ENGINEER	
No. 03870-C	
PROJECT SERIAL NUMBER FOR DESIGN:	
Pennsylvania 811 <small>A Utility Locate and Marking Corporation</small>	
Parcel Information:	
THE MEADOWWOOD CORPORATION	
TP: 67-00-03185-00-6	Block 28 Unit 28
D8: 6570 Page 2199-2208	3205 SKIPPAK PIKE
Gross Tract: 137.4921 Acres	
Developable Area: 116.6758 Acres	
Applicant:	
THE MEADOWWOOD CORPORATION c/o Paul Nordeman President/CEG 3205 Skippack Pike (PO Box 570) Worcester, PA 19490	

Print Date: Jan 27, 2025 (8:00) Print Scale: 1" = 20.00'
File Name: G:\2000\00-0606D\00-0606D_Main.pro



GENERAL PLAN NOTES

Refer to Sht 2 'RECORD PLAN - OVERALL TRACT' for all 'EXISTING FEATURES AND SURVEY NOTES', Sht 3 'PROJECT AREA LAYOUT PLAN' for all 'DEVELOPMENT NOTES', Sht 6 'PROJECT AREA IMPROVEMENTS PLAN' for all 'CONSTRUCTION DESIGN NOTES'.

BASE EROSION CONTROL DESIGN:

- The Erosion & Sedimentation Control Plan shall minimize the extent and duration of earth disturbance to the greatest extent possible by outlining an efficient construction sequence to complete the proposed improvements as quickly as possible while utilizing the following Erosion and Sedimentation Controls, as shown and detailed on the plan, to minimize any sediment-laden runoff during construction: Compost Sock Sediment Trap 'A', Sediment Basin 'B' with Skimmer, Rock Construction Entrances, Inlet Filter Bags, and Compost Filter Socks.
- The Erosion & Sedimentation Control Plan shall maximize protection of existing drainage features and vegetation to the greatest extent possible by staking and flagging the Limit of Disturbance to avoid impact to any natural drainage features.
- The Erosion & Sedimentation Control Plan shall minimize soil compaction to the greatest extent possible by minimizing traffic within the area of any utilized Sediment Basin, Sediment Trap, or similar BMP once it is constructed and functioning in an effort to preserve natural infiltration rates for Post-Construction conversion. Soil compaction shall also be avoided by loosening the subsoil to a depth of 3 to 5 inches to permit the bonding of topsoil to the surface areas and scarification of 6 to 12 inches for compacted soils prior to seeding. Fencing off of infiltration areas may be implemented as noted on the plans or in the provided Construction Sequence.
- The Erosion & Sedimentation Control Plan outlines controls to prevent and/or minimize the generation of increased stormwater through the use of a floating skimmer within Sediment Basin 'B' to capture slow, and cool runoff while allowing the natural infiltration properties in this location the greatest amount of time to infiltrate.
- Any proposed impervious areas, Rooftops, Pavement and Sidewalk areas, Etc., have the potential to increase thermal impacts to the watershed. Through the use of the proposed BMPs identified on the Plan and specifications for this Project, runoff is captured, slowed, and cooled to the greatest extent possible; thereby reducing the potential for thermal impacts to the watershed as much as possible.
- There are no naturally occurring geologic conditions on-site that could potentially cause pollution. All Erosion and Sedimentation Controls (Sedimentation Basin(s), Compost Socks, Etc.) are proposed around the project site in an effort to minimize any construction related pollution from leaving the site.
- If bedrock is encountered during the construction of the proposed BMPs, the project engineer shall be consulted to ensure that the proposed BMPs will still function as designed.
- Sediment-laden runoff is an anticipated construction waste. Through the use of the proposed Erosion Control Device outlined on this plan set, sediment-laden runoff has been mitigated and prevented from leaving the project site to the greatest extent possible.
- The project site can be referenced on the LANDALE U.S.G.S. Quadrangle Map.
- All utility trenching spoils shall be stored upslope of the trench during digging to prevent sediment-laden runoff from leaving the area of work. Upon completion of the installation and backfill activities, any remaining spoil shall be immediately relocated to the designated stockpile location and all disturbance immediately stabilized with a permanent seed and mulch mixture applied at the recommended rates.

LIMITATION OF SOILS PERTAINING TO EARTHMOVING												
SOILS NAME:	CUTBANKS CAVE	CONCRETE/STEEL	DRY/CURRY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	HYDRIC/HYDRIC INCLUSIONS	LOW STRENGTH/LANDSLIDE PRONE	SLOW PERCOLATION	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL
Udorthents	X	C/S	X	X	X	X	X	X	X	X	X	X

SPECIFIC LIMITATION RESOLUTIONS:

- CUTBANKS CAVE**
Trench wall reinforcement shall be provided if necessary to stabilize construction related trenching.
- CORROSION TO CONCRETE/STEEL**
Soils testing should be conducted to determine the actual risk of corrosion to concrete or steel and if necessary, concrete mixes adjusted and steel coated to withstand the soil corrosiveness.
- DROUGHTY**
Special consideration should be applied to ensure that seed mixes and proposed plantings have sufficient water and nutrients within the soil to establish growth.
- EASILY ERODIBLE**
Additional erosion control blanketing shall be considered to control any potential erosion in sloped areas.
- DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE**
Special consideration shall be taken in the design of all proposed BMPs to ensure that any existing saturated zones or high water tables will not impact the proposed design.
- HYDRIC/HYDRIC INCLUSIONS**
Hydric soils shall be scarified and mixed with a planting soils mixture and/or topsoil to improve the vegetative properties of the soil.
- LOW STRENGTH/LANDSLIDE PRONE**
Additional erosion control mats or other slope reinforcement shall be considered to assist in landslides and erosion prevention.
- SLOW PERCOLATION**
Scarification of the subsoil shall be a consideration during final grading and topsoil placement to improve the infiltration rates of the subsoil.
- PIPING**
Extra care must be taken in site grading to locate and identify any potential sinkhole areas, and if discovered, immediate measures shall be taken to remediate any sinkhole locations.
- POOR SOURCE OF TOPSOIL**
If on-site stockpiles are deemed to be poor for use in topsoil, improved topsoil shall be imported to the site and utilized for final site grading.
- FROST ACTION**
Special care must be taken to ensure that the soil is not frozen solid when grading the site to the proposed elevations. If large areas of the project site appear to be frozen, the soil shall be thawed before being set to final design elevations.
- WETNESS**
Scarification of the subsoil shall be a consideration during final grading and topsoil placement to improve the infiltration rates of the subsoil. Additional plantings shall be considered to be placed on-site to assist in removing extra wetness from the soil.

MAINTENANCE PROGRAM for EROSION & SEDIMENT CONTROL MEASURES

All Erosion and Sediment Control Measures require inspection and maintenance as specified below. A written report shall be compiled and kept on-site at all times outlining any necessary maintenance and repair that has been performed on the Erosion & Sediment Control Measures. The report shall be updated weekly and after each runoff event requiring BMP inspection. The owners, their successors, or its assigns, shall assume all responsibility for the cost associated with the inspection, cleaning of the system(s), engineering fees and ultimately any costs associated with the required repairs and/or replacement of said facilities.

TEMPORARY ROCK CONSTRUCTION ENTRANCE: (CONSTANT MAINTENANCE)

Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50-foot increments until condition is alleviated or install wash rock. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

PUMPED WATER FILTER BAG:

Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

COMPOST SOCK CONCRETE WASHOUT AREA: (DAILY MAINTENANCE)

- All concrete washout facilities should be inspected daily. Damaged or leaking washouts should be decontaminated and repaired or replaced immediately.
- Accumulated materials should be removed when they reach 75% capacity.
- Plastic liners should be replaced with each cleaning of the washout facility.

ROCK FILTER OUTLET:

(DAILY MAINTENANCE)
Sediment shall be removed when accumulations reach 1/3 the height of the outlet.

RIPRAP APRON:

(WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)
All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.

EROSION CONTROL BLANKET:

(WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)
Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be resorted or replaced within 4 calendar days.

COMPOST FILTER SOCK:

(WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)
Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Bio-degradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's specifications.

PLAN LEGEND

- Roadway / Driveway Centerline
- Ex Grade Contour
 - Ex Vegetation Limit
 - Ex Storm Sewer Piping
 - Ex Sanitary Sewer Piping
 - Ex Gas Main / Service
 - Ex Water Main / Service
 - Ex Underground Telephone
 - Ex SPOT ELEVATION
- + 257.3 Pr Spot Elevation
- 248 250 Pr Grade Contour
- Pr Storm Piping
- Compost Filter Sock
- Orange Construction Fencing
- Limit of Disturbance
- Inlet Filter Bag

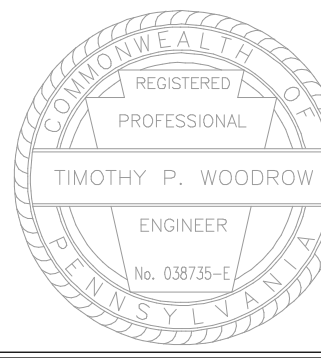
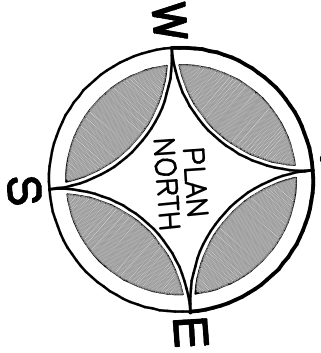
Project Construction Area:
1.45 Acres

Project Disturbance: *
0.64 Acres

* Re-paving of the existing Asphalt Area not counted against Project Disturbance.

Design Point discharges to the existing Basin on the Campus. Post-development runoff rates and volumes to this basin are reduced when compared to predevelopment conditions, therefore, there is no negative impact to this existing Basin with the implementation of the proposed improvements.

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 011

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

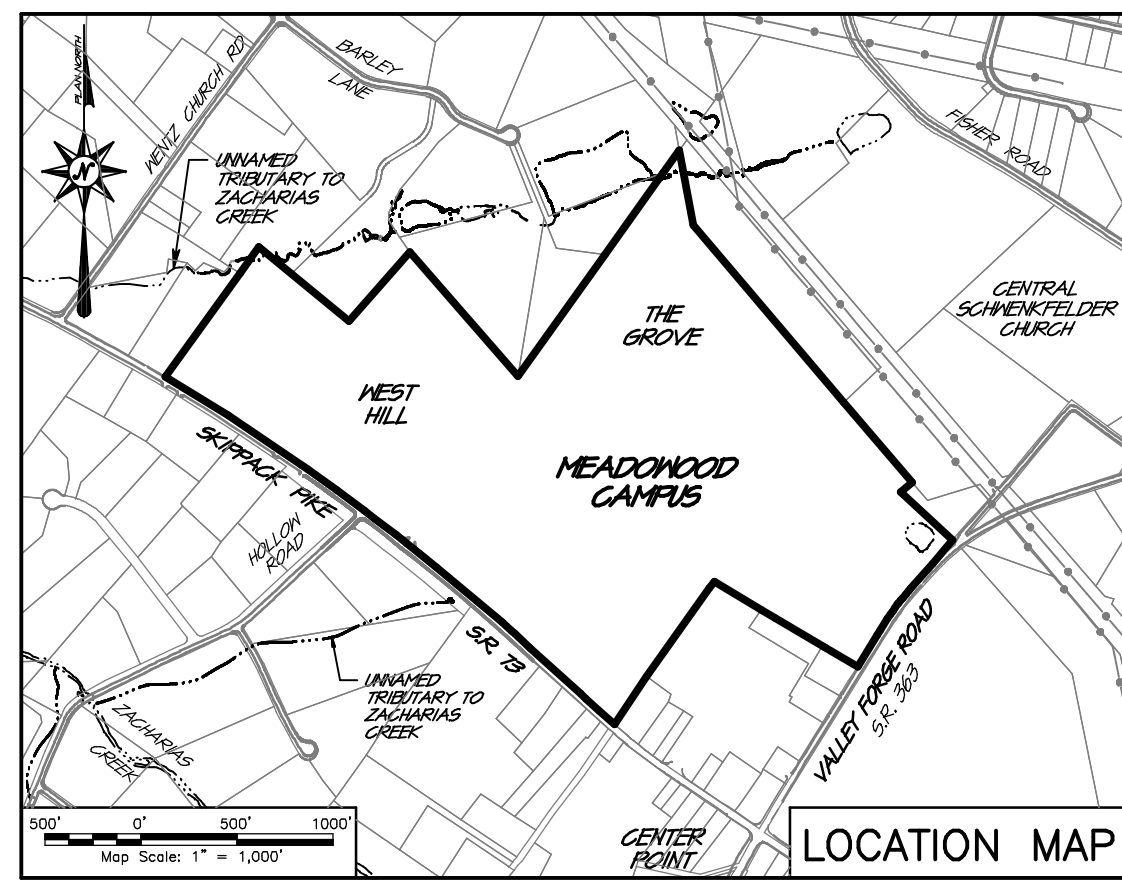
Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

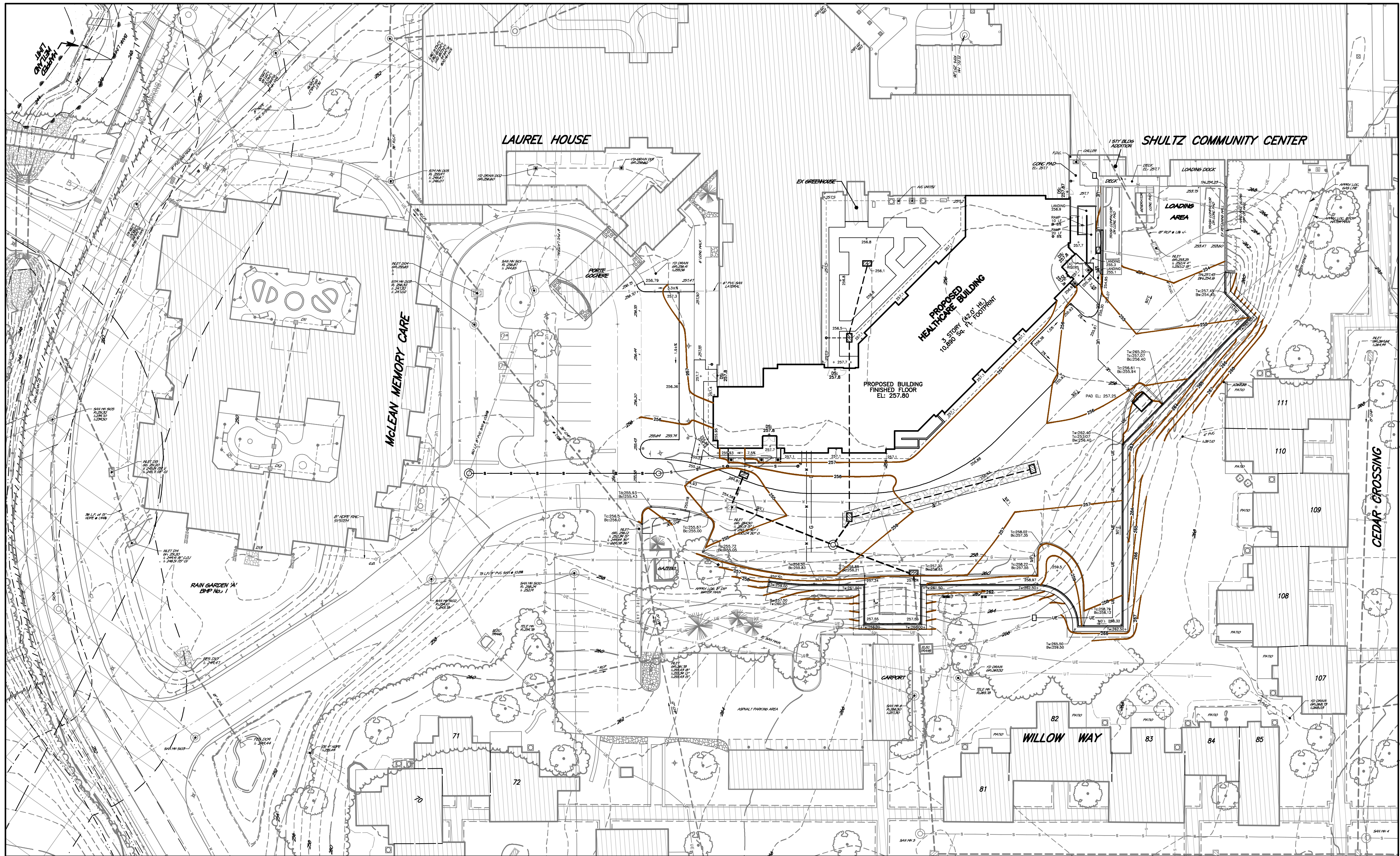
Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

Scale In Feet (1" = 20')
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PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
EROSION & SEDIMENT CONTROL PLAN
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1105 North Meridian Street
Phone: (215) 549-6688
Web: www.woodrowinc.com

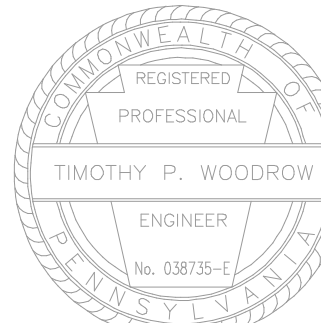
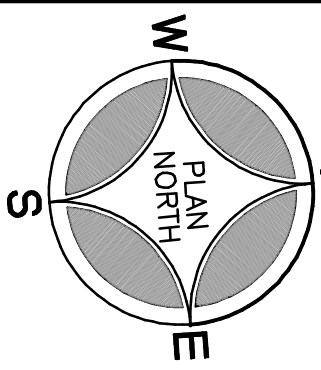
Layer List:
D21-12_ES-PLAN
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:





PLAN LEGEND	
--- Roadway / Driveway Centerline	
-240 -250	Ex Grade Contour
- - -	Ex Vegetation Limit
- - -	Ex Storm Sewer Piping
- - -	Ex Sanitary Sewer Piping
- - -	Ex Gas Main / Service
- - -	Ex Water Main / Service
- - -	Ex Underground Telephone
- - -	Ex SPOT ELEVATION
+ 257.3	
- - -	PR SPOT ELEVATION
- - -	PR GRADE CONTOUR
- - -	PR STORM PIPING
- - -	POST-DEVELOPMENT DRAINAGE AREA BOUNDARY
- - -	DRAINAGE AREA FLOWPATHS

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 011
A Priority Jurisdiction Pennsylvania Corporation

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

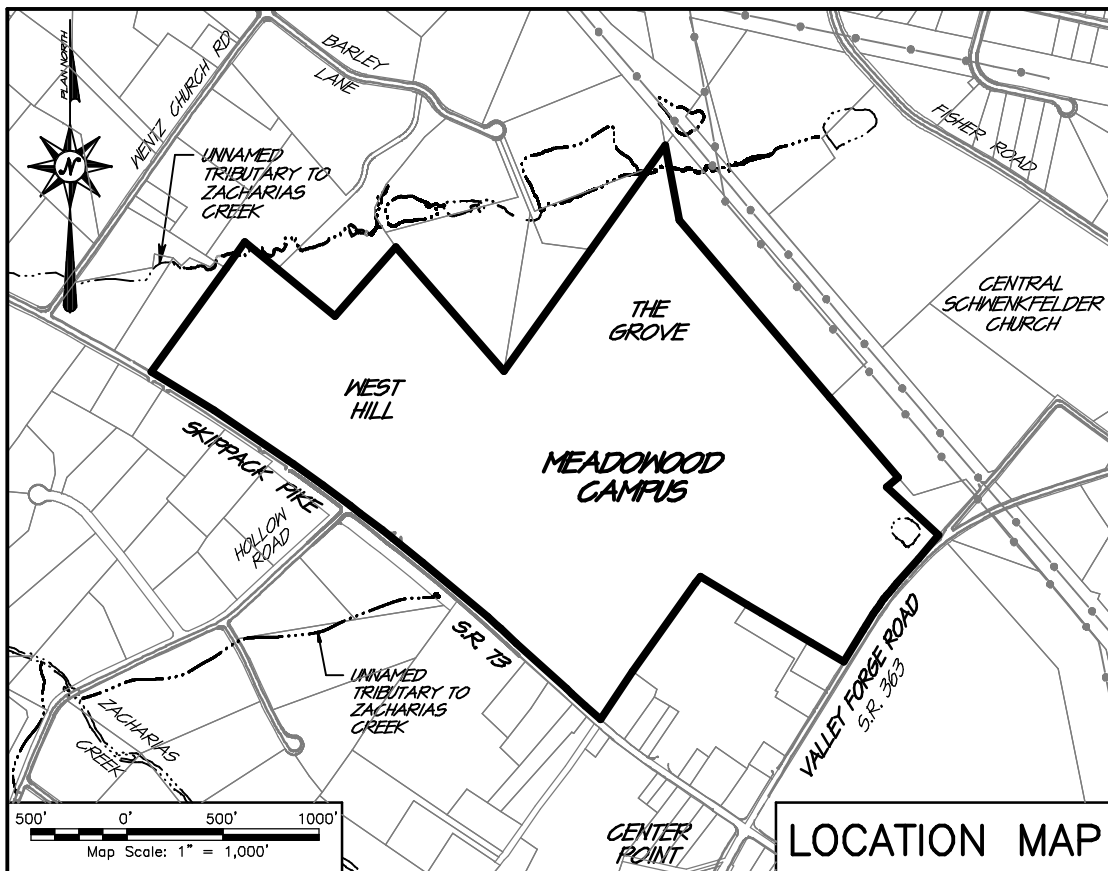
Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

15' 0' 30'
Scale In Feet (1" = 30')

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PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
DRAINAGE AREA BOUNDARY
POST-DEVELOPMENT
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Main Street, Suite 100
Worcester, PA 19380
Phone: (215) 542-6668 Web: www.WoodrowInc.com

Layer List:
D21-16_DAB-Post
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:





March 4, 2025

Mr. Dan Demeno
Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Attention: Christian R. Jones, Assistant Township Manager
Mr. Robert D'Hulster, Public Works Director

RE: **Traffic Review #1 – Preliminary Land Development Plans**
Proposed Meadowood Healthcare Building
Worcester Township, Montgomery County, PA
Project No. 313982-25-004

Dear Dan:

Per the request of the Township, Bowman Consulting Group (Bowman) has prepared this review letter which summarizes our initial traffic engineering review of the proposed building expansion to be located along the northern side of the Meadowood Drive at the southeastern end of the property adjacent to the Laurel House and Holly House in Worcester Township, Montgomery County, PA. It is our understanding that the proposed expansion will consist of 8 personal care units and 15 skilled care beds. This will bring the total number of dwelling units at the Meadowood property to 452 units (currently at 429 dwelling units of a few varieties). Access to the proposed building will be provided via the existing driveway connection to the Meadowood Drive to the south of the Laurel House and Holly House, which ultimately accesses Skippack Pike (S.R. 0073).

The following document was reviewed and/or referenced in preparation of our traffic review:

- Preliminary Land Development Plans - Meadowood Senior Living, prepared by Woodrow & Associates, Inc., dated January 31, 2025.

Based upon review of the document noted above, Bowman offers the following comments for consideration by the Township and action by the applicant:

1. The applicant has not provided a current or updated traffic study for the site, nor any trip generation information specific to the addition of 23 units as a result of the building expansion for the Meadowood community campus. Access continues to be proposed at the existing, single point of ingress/egress at Meadowood Drive and Skippack Pike (S.R. 0073), although emergency-only access to/from Valley Forge Road (S.R. 0363) exists for the Meadowood community. While we do not see the need that a full traffic study for this incremental expansion to the Meadowood master plan is necessary at this time, the applicant must at a minimum prepare a vehicular trip generation letter for the proposed expansion on the site. This could be accomplished by conducting existing trip generation counts (in and out movements) during the weekday morning and weekday afternoon commuter peak hours at the intersection of Skippack Pike (S.R. 0073) and Meadowood Drive over

a minimum of three separate typical weekdays to confirm the existing trip generation of the site, and to use that data to help calculate an actual trip generation rate for the site to then calculate the number of trips that will be generated by the proposed 23 units during the peak hours. If further study is needed at this time based on the information received, we will determine upon review of the resubmitted materials.

2. The Skippack Pike (S.R. 0073) intersection at the Meadowood access has been the subject of a signal warrant evaluation over the years, and the necessary access and adjacent roadway improvements that would need to accompany any warranted signal installation. Costs for the design & construction for a signalization and intersection/frontage improvements project will be an expensive undertaking in order to complete them. This said, signal warrants in the most recently completed study we are aware of from April 2023 were not yet satisfied, and PennDOT has not approved a signal installation with associated roadway improvements to date for the access. An access and frontage improvement project desirably would realign Meadowood Drive opposite Hollow Road and signalize the four-legged intersection, also adding left-turn lanes for both Meadowood Drive and Hollow Road, as well as adding a right-turn deceleration lane for Meadowood Drive along Skippack Pike (S.R. 0073). Providing the turning lanes for added safety (especially due to the age-restricted nature of the Meadowood residents), and providing the safety of a signal for both minor road approaches to Skippack Pike (S.R. 0073) in this area are important aspects of a future project when signal warrants are met and can be approved by PennDOT before it is installed.

With the addition of the proposed building for this project, and while it may not be necessary at this time, we recommend that the applicant consider evaluating the Skippack Pike (S.R. 0073) access and Hollow Road for signal warrants and/or determine the viability of providing additional access to/from the Meadowood community in light of growing traffic demands on the abutting state roadway network along the property. This evaluation, if pursued, could be done in coordination with the capture of trip generation counts in the comment above. Understanding there is a master plan for this project, and that an update to a traffic study was deferred at the time of the development of The Grove project on the site, **we recommend that the Board consider a condition that both an updated traffic study be conducted for the site upon any further expansion to the Meadowood campus (i.e., future garden apartments, etc.) beyond the addition of the building proposed that is the subject to this land development application. The study should be complete with signal warrant evaluation alternatives for access location(s), as well as Skippack Pike (S.R. 0073) access/roadway frontage improvements, in addition to investigating possible additional access to/from the property.**

3. The applicant's engineer (Woodrow) recently met with the Township Engineer and our office to discuss the possibility of converting the emergency-only access along Valley Forge Road (S.R. 0363) to an access that will be open for use by residents and visitors of Meadowood on a full-time basis at some future time. The discussion was largely centered around making it a limited traffic movement access, allowing right-in and right-out movements only. The applicant's engineer must ensure that any change in this driveway, to be potentially converted from emergency use only to everyday vehicle usage, is appropriately designed based on the movements that will be permitted and restricted at this driveway. Since Valley Forge Road (S.R. 0363) is a state road, the proposed access configuration will need to be reviewed and approved by PennDOT and the applicant will be required to secure new Highway Occupancy Permit (HOP) for the driveway modifications. The

Township and our office must be copied on all HOP submissions, as well as correspondence between the applicant and PennDOT, and invited to any and all meetings between the applicant team and these parties.

4. According to **Section 130-17.D(11)** of the **Subdivision and Land Development Ordinance**, parking spaces shall be a minimum of 10 feet wide by 20 feet long. The plans currently show several parking spaces in the parking area to the east of the proposed building that are 8 feet wide and/or 18 feet long, thereby do not satisfying the ordinance requirement. The plans should be revised to show these parking spaces to be a minimum of 10 feet wide by 20 feet long, or a waiver will be required to be requested from this ordinance requirement stating the hardship and reasons why the requirement cannot be met and approved by the Township Board of Supervisors.
5. Adequate sight distance measurements must be provided for the intersection of the Access Drive and Meadowood Drive, and provisions made for it to be achieved and maintained. Due to the location of the building and the curve of the road, egressing drivers from the side street will need to turn their head more than 90 degrees to the right and must have safe stopping sight distances based on approach speeds.
6. Turning templates should be provided demonstrating the ability of emergency and fire vehicles specific to Worcester Township to maneuver into and out of the Access Drive along Meadowood Drive and entirely through the parking area to the east of the proposed building.
7. The Township Fire Marshal should review the proposed site modifications for accessibility and circulation needs of emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.
8. All curb ramps and pedestrian routes (i.e., sidewalks, crosswalks, etc.) are to be constructed in accordance with the current Federal and PennDOT ADA standards. ADA ramp design and crosswalk striping details should be included on the detail pages of the plans. Bowman has not reviewed the detailed design of any ramps internal to the site.
9. ADA ramps should be shown on the plans at the following locations:
 - In the immediate vicinity of the ADA parking spaces on the northern and southern sides of the proposed building.
 - On both sides of the Access Drive where the crosswalk across this drive meets the sidewalk.
10. All existing and proposed pavement markings and signs should be clearly labeled on the plans.
11. "Pedestrian Crossing" signs should be shown on the plans on both sides of the crosswalk located along the Access Drive on the southeastern corner of the proposed building.
12. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area North, which has a corresponding impact fee of \$3,977 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. In order to determine the transportation impact fee applicable for the proposed building expansion, the applicant must conduct trip generation counts during the weekday afternoon peak hour at the intersection of

Skippack Pike (S.R. 0073) and Meadowood as previously mentioned in this letter. Upon completion of these counts, the applicant must calculate a trip generation rate for the site during the weekday afternoon peak hour that can be used to calculate the expected trip generation for the additional 23 units being proposed for the building expansion with this application. A final determination of the transportation impact fee will be reviewed and determined by our office for recommendation to the Board upon submission of this information.

13. The Township and its engineering consultants must continue to be included in any submissions and meetings with PennDOT and other agencies involving Meadowood with regards to its current access, emergency access, signalization, and/or improvements to the adjacent roadways for the Meadowood site.
14. In all subsequent submissions, the applicant's engineer must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the plan sheets, or other materials, as opposed to providing general responses. This will aid in the detailed review and subsequent review timeframes.

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me, Michelle Eve, P.E., or Brian Jones, PTP, TOPS.

Sincerely,



Casey A. Moore, P.E.
EVP/Regional Manager - Transportation

BMJ/MEE/CAM

cc: John Evarts, P.E., CKS Engineers (Township Engineer)
Wendy Feiss McKenna, Esq. (Township Solicitor)
Devin Ralph, Esq. (Township Solicitor)
Paul Lutz, PennDOT District 6-0
Catherine Harper, Esquire, Timoney Knox, LLP (Applicant' Attorney)
Tim Woodrow, P.E., Woodrow & Associates, Inc. (Applicant's Engineer)

V:\313982 - Worcester Twp PA\313982-25-004 (TRA) - Meadowood Health Care Expansion\Engineering\Submissions\2025-02-07 LD Plans\Review\2025-03-04 Review Letter #1 - Meadowood (finalized).docx



CKS Engineers
4259 West Swamp Road, Suite 410
Doylestown, PA 18902
P: 215.340.0600
www.cksengineers.com

March 20, 2025
Ref: #7571

Township of Worcester
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: Dan DeMeno, Township Manager

Reference: Meadowood Healthcare Northeast Expansion
Land Development Review - Preliminary
Parcel No. 67-00-03185-00-6
3205 Skippack Pike

Dear Dan:

Our office is in receipt of your request for a preliminary review of a healthcare expansion for The Meadowood Corporation, plans consisting of 17 sheets dated January 31, 2025, with no revisions, prepared by Woodrow & Associates, Inc. The applicant proposes the demolition of the existing stair tower of the Holly House building to accommodate a new 10,890-s.f. footprint, three-story addition with site improvements, including reconfiguration of adjacent off-street parking to provide 17 spaces in the work area, new service walks, screen walls, and retaining walls on the site of an existing residential life-care facility.

We offer the following comments for consideration by the Township:

I. ZONING

The following comments are based upon the provisions of the Worcester Township Zoning Ordinance:

1. The following variances were granted by the Worcester Township Hearing Board on January 21, 2025 (Docket No. 2024-25):
 - a. Section 150-15 – to permit the construction of a residential building with a height of three stories, not to exceed 40 feet when the maximum permitted is 35 feet and/or 2.5 stories.
 - b. Section 150-15 – to permit the expansion of the existing health center to a height of three stories and/or 42 feet when the maximum permitted is 35 feet and/or 2.5 stories.

2. Both variances granted must be listed on the plans with the docket number.

On Sheets 1 and 2, the Site Data Zoning Schedule should also list stories allowed/proposed.

The variances were granted by the Zoning Hearing Board with the following conditions which should also be listed on the plans:

- a. The applicant shall construct the buildings substantially as set forth in the testimony and as shown in Exhibits A-3, A-7, and A-9. The applicant shall install and maintain a berm and evergreen landscaping, 8 feet in height at time of planting, substantially as shown on Exhibit A-10, to the satisfaction of the Township.
 - b. The applicant shall apply for and obtain all applicable Township, County and State permits and approvals relative to the use in a timely manner.
 - c. All use and development permitted by this Decision shall conform to the exhibits and testimony presented by the applicant, unless inconsistent with any specific conditions imposed by this Board, in which case these specific conditions shall take precedence.
 - d. Except as permitted by prior Decisions of this Board, the use of the subject property shall otherwise comply with the Worcester Township Code, including, but not limited to, all stormwater management fencing, setback, parking, lighting, sign, and noise regulations, and all other codes, regulations and ordinances of Worcester Township.
 - e. Pursuant to Section 150-225 of the Worcester Township Zoning Ordinance, a special exception or variance shall expire if the applicant fails to obtain a permit in connection therewith within one (1) year of the date of authorization thereof. When land development/subdivision approval is required, the special exception or variance shall expire if the applicant fails to make a diligent effort to obtain such approval within six (6) months following the date of the Zoning Hearing Board's Order. Upon receipt of land development/subdivision approval, the special exception or variances shall expire if a building permit is not obtained within six (6) months of the date of the land development/subdivision approval.
3. The existing use of the site, residential life-care facility, is permitted by Conditional Use if authorized by the Township Board of Supervisors, where the lot is 100 acres or larger, building coverage does not exceed 15% of the net lot area, and impervious coverage does not exceed 40% of the net lot area. The Township must determine if new Conditional Use approval is warranted to expand the use upon the site. (150-110.22.C & 150-11.E.7)
 4. The building coverage in the Campus Area Schedule on Sheet 2 must be revised to indicate the square footage of existing buildings that are to be removed.

5. The plan states that 49 parking spaces are to be removed and 34 parking spaces are to be added which would result in a reduction of 15 spaces from the existing number of spaces. The parking calculation on Sheet 1 indicates a reduction of 17 spaces. The plans must be revised to indicate the correct number of spaces being removed.
6. The proposed reconfigured parking area will provide 17, 10 by 18-foot parking spaces; eight, 8 x 18-foot compact vehicle parking spaces; two, 10 x 20-foot parking spaces; and seven ADA accessible spaces. We note that the majority of the parking spaces are undersized, as Section 130-17.D.7 of the Township's Subdivision and Land Development Ordinance requires all parking stalls to be not less than 10 by 20 feet. (150-158)
7. The height(s) and materials of screen fencing and screen/wall fences depicted on the plan should be noted. (150-182)
8. The plan should indicate if any new lighting is anticipated and demonstrate that no zoning relief is needed for any proposed lighting. We note that a lighting information table is shown on Sheet 17, but there are no lighting fixture locations on the plans. Heights for lighting in this table list mounting heights of 12 feet, which is the maximum allowed. Lighting cut sheets, pole details, and lighting values must be added to the plans. (150-200)

II. SUBDIVISION AND LAND DEVELOPMENT

The following comments are based upon the requirements of Worcester Township's Subdivision and Land Development Ordinance:

1. As previously stated in this letter, parking stall dimensions shall not be less than 10 ft. x 20 ft. (130-17.D(7))
2. The location of any lighting standards must be shown on the plans to avoid conflicts with any landscaping. (138-28.G(6)(g))
3. On Sheet 8, the 'Littleleaf Linden' has a proposed caliper of 1.5-2 inch. The minimum caliper for this tree is 3.5 inches. (130-28.H.1)
4. Details of the proposed retaining wall must be added to the plans. The detail must include a note that states, "Structural plans and calculations, signed and sealed by a professional engineer licensed in the Commonwealth of Pennsylvania, must be submitted to the Township for review and approval before any retaining wall is constructed."
5. A timber split rail fence detail is shown on Sheet 10. The applicant should confirm this is the new "screen fence" shown along the northern end of the parking area.
6. The truck turning movement must be revised to maneuver into the loading dock, not onto the trash compactor.
7. Details of the cooling tower and concrete pad must be added to the plans.
8. Detectable warning surfaces (DWS) must be added to the sidewalk near the new building and proposed parking lot and at the northern build access location.

9. A detail for the railing along the pedestrian ramp must be added to the plans.
10. The following is a list of requested waivers as shown on Sheet 1:
 - a. From Section 130-28.E(1) requiring an existing tree survey.

The applicant is proposing to use the existing tree survey only for impacted project area.
 - b. From Section 130-28G.(4) requiring street trees be installed with any new subdivision use or land development.

The plans do not propose any supplemental street trees.
 - c. From Section 130-28.G.6.g requiring no more than 15 parking spaces shall be placed in a continuous row without an intervening raised planting island of at least 10 ft. in width. (130-28.G.6.b)

The plans propose a parking row of 17 spaces without a planting island.
 - d. From Section 130-33.C requiring all existing features 500 ft. from the project boundary be shown on the plans. The waiver request states that an aerial photograph to fulfill requirements of showing existing features within 500 ft. of the project tract.

The aerial plan must be included in future submissions. (130-33.C)

III. GRADING, STORMWATER MANAGEMENT/STORM DRAINAGE AND EROSION AND SEDIMENT CONTROLS

The following comments are based upon the requirements of Worcester Township's Stormwater Management Ordinance (SMO):

1. The project proposes to disturb 0.64 acres. The applicant is made aware that if the limit of disturbance exceeds one acre, an NPDES permit and Adequacy for Erosion and Sediment Control will be required. This office is aware of a separate staging area located on the Meadowood site that may be required to be added to the healthcare expansion development. The applicant's engineer must provide confirmation from the Montgomery County Conservation District that the two projects do not need to be combined.
2. There appears to be a stormwater facility proposed in the new parking lot. The facility must be labeled and the dimensions of the stormwater facility should be provided on the plans. (129-12.H)(129-14.B.5)
3. A detail and calculations pertaining to the seepage bed must be added to the plans.
4. On both Sheet 6 and Sheet 9, there is a missing invert for structure D104.
5. Sheet 6 has a rim elevation for Manhole D105 of 255.73 and Sheet 9 has a grate elevation of 255.66. The plans must be revised accordingly.

6. All proposed erosion and sediment controls must be added to the plan on Sheet 12.
7. Additional top of wall and bottom of wall elevations must be added to the plans.
8. Storm sewer calculations must be provided to demonstrate that the existing storm sewer can convey the increase in runoff from the proposed impervious areas.
9. All utility crossings must be shown on the profiles.
10. It appears that the roof drain from existing Units 110/111 will discharge directly upstream of the relocated electrical transformer. The engineer should provide a revision to reroute the existing roof drain outflow around the transformer.
11. A site specific construction sequence is required to be included on Sheet 13.
12. A profile from the existing inlet to Inlet D104 must be added to the plans.
13. Additional spot elevations and grading must be added to the courtyard area.
14. Inlet D106 must be shown on the profiles on Sheet 9. (130-33.F.1)
15. Additional cover over pipe D101 – D100 is required. Further, this pipe shall be RCP.
16. Pipe D101 – D 100 is proposed underneath the proposed footing of the proposed building expansion.

IV. SANITARY SEWER

1. The size, slope, and material of the sewer lateral must be added to the plans, along with a profile.
2. The existing utilities to the existing maintenance office and storage shed must be shown to be removed or, at a minimum, capped.
3. The new sanitary sewer manhole must be indicated as a doghouse manhole on the plans. A doghouse manhole detail must be added to the plans.
4. The applicant will be required to buy additional sewer capacity in conjunction with the healthcare building expansion. The applicant must provide flow calculations to determine the required EDUs. We are currently evaluating the Valley Green WWTP and the Meadowood Pump Station to determine if capacity exists at these facilities. We will work with the applicant directly to address any sewer issues.

V. GENERAL

The following are general comments and consideration generated during the course of our review:

1. Legend(s) should be added to the plan sheets throughout the plan set, as applicable.

2. Truck turning movements for emergency services must be added to the plan.
3. The height of the Cooling Tower Building must be provided on the plans.
4. The proposed courtyard is labeled as landscaped on Sheet 5. Details of the landscaping should be provided on the landscaping plan, Sheet 8.
5. Approval from the Traffic Engineer is required.
6. Approval from the Fire Marshal is required.
7. A review from the Montgomery County Planning Commission is required.
8. It appears Sheets 16 and 17 are duplicated. Sheet 17 should be deleted or revised if intended to illustrate individual inlet drainage areas.

The above represents our comments on this initial plan submission. The plans must be revised accordingly and resubmitted for further review.

Please contact me if you have any questions or need additional assistance on these plans.

Very truly yours,
CKS ENGINEERS
Township Engineers



John W. Evarts, P.E.

JWE/klk

cc: Christian Jones, Assistant Township Manager
Wendy F. McKenna, Esq., Township Solicitor
Casey Moore, P.E., Township Traffic Engineer
The Meadowood Corp., Applicant
Catherine Harper, Esquire, Timoney Knox L.L.P.
Woodrow & Associates, Inc.
George DiPersio, CKS Engineers
File

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

March 19, 2025

Dan DeMeno, Township Manager
Worcester Township
PO Box 767
1721 Valley Forge Road
Worcester, PA, 19083

Re: MCPC #17-0040-007
Plan Name: Meadowood Campus - Healthcare Northeast Expansion
(37,324 sf additional development on approximately 137 acres)
Situate: 3205 Skippack Pike
Worcester Township

Dear Mr. DeMeno:

We have reviewed the above-referenced Meadowood Campus - Healthcare Northeast Expansion development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on February 8, 2025. We forward this letter as a report of our review.

BACKGROUND

The Meadowood Corporation proposes a new three-story health center expansion with an 11,370 square foot footprint. The development includes reconfigured parking and loading access, adding two accessible parking spaces to the northeast. Additional improvements include new pedestrian pathways, an ADA accessible ramp, utility relocation, a large retaining wall, screen fencing/walls, plantings, a cooling tower, and an underground stormwater detention facility. The project will result in a net increase of 4,755 square feet of impervious surface. The property is located in the township's LPD Land Preservation District.

COMPREHENSIVE PLAN COMPLIANCE

MONTCO 2040: A SHARD VISION: THE COMPREHENSIVE PLAN

This development is supported by the *Montco 2040* Comprehensive plan in the Vibrant Economy theme which recommends ...“advocating with local municipalities, health care providers, and developers to create an environment that meets the needs of an aging population.” (Page 71) By expanding the services offered and building on an existing site development, Meadowood is meeting the needs of a growing aging population.



WORCESTER COMPREHENSIVE PLANS

The following goals and objectives in the Worcester 2008 Comprehensive Plan and the Draft 2022 Comprehensive Plan update are applicable to this proposal.

2008 WORCESTER COMPREHENSIVE PLAN (ADOPTED)

Environmental Goals (Page 3): Preserve Steep Slope Areas: To prevent problems on sloped areas that are more susceptible to erosion and mass movement, including increased runoff and sedimentation from disturbed slopes. Also to reduce potential for unnecessary public expenditures for flood control, water quality, and stormwater management, and to protect habitats for important species and wildlife.

Environment Objective: Continue to enforce the Townships steep slope ordinance to prohibit development on slopes that are 25% or more; minimize development or regrading on slopes 15% to 25% and continue to subtract steep slopes from the calculation of lot area.

2022 WORCESTER COMP PLAN UPDATE (DRAFT)

Environmental Resources & Infrastructure Goal: Preserve and conserve sensitive environmental features, such as floodplains, steep slopes, riparian buffers, forests, and wetlands

Environmental Resources & Infrastructure Objective:

- Decrease in % of development occurring within sensitive environmental areas (ie Steep slopes).
- Decrease in rate of land converted to impervious surface.
- Increase in % tree canopy coverage.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and municipality may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

COMPREHENSIVE PLANS

A. Steep Slopes

1. There are steep slopes and mature vegetation impacted by the design. Both comprehensive plans (2008 Adopted and 2022 Draft) state goals and objectives related to avoiding and minimizing development on environmentally sensitive land (See Comprehensive Plan Compliance section above). This design proposes to cut into the existing 45% to 50% steep slopes to construct a retaining wall ranging in height from approximately 2' to 10'. This appears to be designed to accommodate a larger loading area for truck access and reconfigured parking

spaces. Additionally, several mature trees are removed reducing tree canopy coverage. We recommend reconfiguring the parking and loading area to reduce the size of the retaining wall and reduce the amount of impervious surface proposed. See attachment E sketch for a potential redesign which accommodates truck access and maintains the current number of proposed parking spaces. This design may allow for the retention of some of the mature tree canopy to the north by minimizing incursions into steep slopes. It also provides opportunities to retain or plant new shade and evergreen tree buffer screening to shield the loading and parking areas from the existing adjacent residential buildings.

LANDSCAPING

A. Requested Waiver E (Sheet 2 of 12)

1. The applicant is requesting a waiver to “provide an Existing Tree Survey for the impacted project area.” The applicant also states on the Landscape Plan (Sheet 8 of 17) that “Less than 25% of the trees on site are proposed to be removed, therefore no replacement trees are required.” It is unclear if this statement is based on the entire property or the affected property area. The proposed affected project area contains a total of 12 deciduous and 15 evergreen trees to be removed that are above 6” caliper which appears to be more than 25% of the trees affected in the project area. In considering whether to grant this waiver, the Township may want to consider an alternative means of compliance with the tree replacement ordinance such as requiring that tree replacement calculations be based on the affected project area instead of the entire site.

B. Plant List

1. Ilex cornuta ‘Burfordii’ (Burford Holly) is a non-native evergreen tree species. The applicant should consider a native evergreen species such as Ilex ‘Nellie Stevens’ (Nellie Stevens Holly) or equal.

SITE DESIGN

C. ADA Parking Space Restriping

1. The design proposes restriping five accessible parking spaces near the main entrance of Laurel House. To minimize conflicts with vehicular traffic, an accessible ramp/sidewalk should be provided to connect each of the striped access aisles and the adjacent sidewalk (See Note 6 on the attachment E sketch). This provides an accessible route to the building entries via sidewalks instead of the vehicular drive. In addition, there is a light pole which may need to be relocated in the current striping configuration (see note 7 on the attachment E sketch).

D. Lighting

1. No Lighting Plan was provided in the preliminary set. Several light poles appear to be slated for removal. The proposal only includes a bollard light detail and there were no bollards labeled on the plans. The applicant should provide a lighting plan to illuminate the parking and loading area

in accordance with Section 150-199 and, at a minimum, designed to the lighting levels prior to the new site development.

E. Retaining Wall

1. Details for the retaining wall were not provided. It is unclear how the retaining wall will be constructed. If the wall is a segmental block wall, planting behind and on the top of the wall may be problematic and conflict with the geo grid required to stabilize the wall. The applicant's designers should provide a detail of the retaining wall. All walls must meet the requirements of the Worcester Township Fencing and Walls ordinance (*Section 150-182*)

F. Screen Fence

1. The design proposes a "Screen Fencing" and "Screen Wall/Fencing" to minimize the views from the adjacent residential buildings and new addition to the parking and loading areas. The proposed screen fencing detail is a 4' height post and rail fence. This type of fence is not an effective visual screen. The applicant's engineers should provide an alternative, more opaque, taller fence design to better screen the views from the adjacent residential buildings. All fencing must meet the requirements of the Worcester Township Fencing and Walls ordinance (*Section 150-182*)

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal, but we believe that our suggested revisions will better achieve the Worcester Township planning objectives for site development and environmental goals and objectives.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number **17-0040-007** on any plans submitted for final recording.

Sincerely,



Geoffrey Vaughn, PLA, ASLA - Assistant Design Section Manager
geoffrey.vaughn@montgomerycountypa.gov - 610-278-3751

- c: The Meadowood Corporation, Applicant
Catherine M. Harper, Esq., Applicant's Attorney
Woodrow & Associates, Inc., Applicant's Engineer

Chair/Chairperson, Municipal Planning Commission
Dan DeMeno, Township Manager

Attachment A: Aerial Image of Site

Attachment B: Affected Project Area Site Aerial

Attachment C: Reduced Copy of Applicant's Proposed Site Plan

Attachment D: Reduced Copy of Proposed Affected Project Area Site Plan

Attachment E: Design Recommendations Sketch

ATTACHMENT A - OVERALL SITE AERIAL



Meadowood Campus - Healthcare
Northeast Expansion
MCPC#170040007

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
PO Box 311 Norristown PA 19384-0311
(610) 278-3722 (F) 610 278-3941
www.montcopa.org/planning
Aerial photography provided by Neamap

0 250 500 1,000 Feet



PROJECT AREA

ATTACHMENT B: AFFECTED PROJECT AREA SITE AERIAL



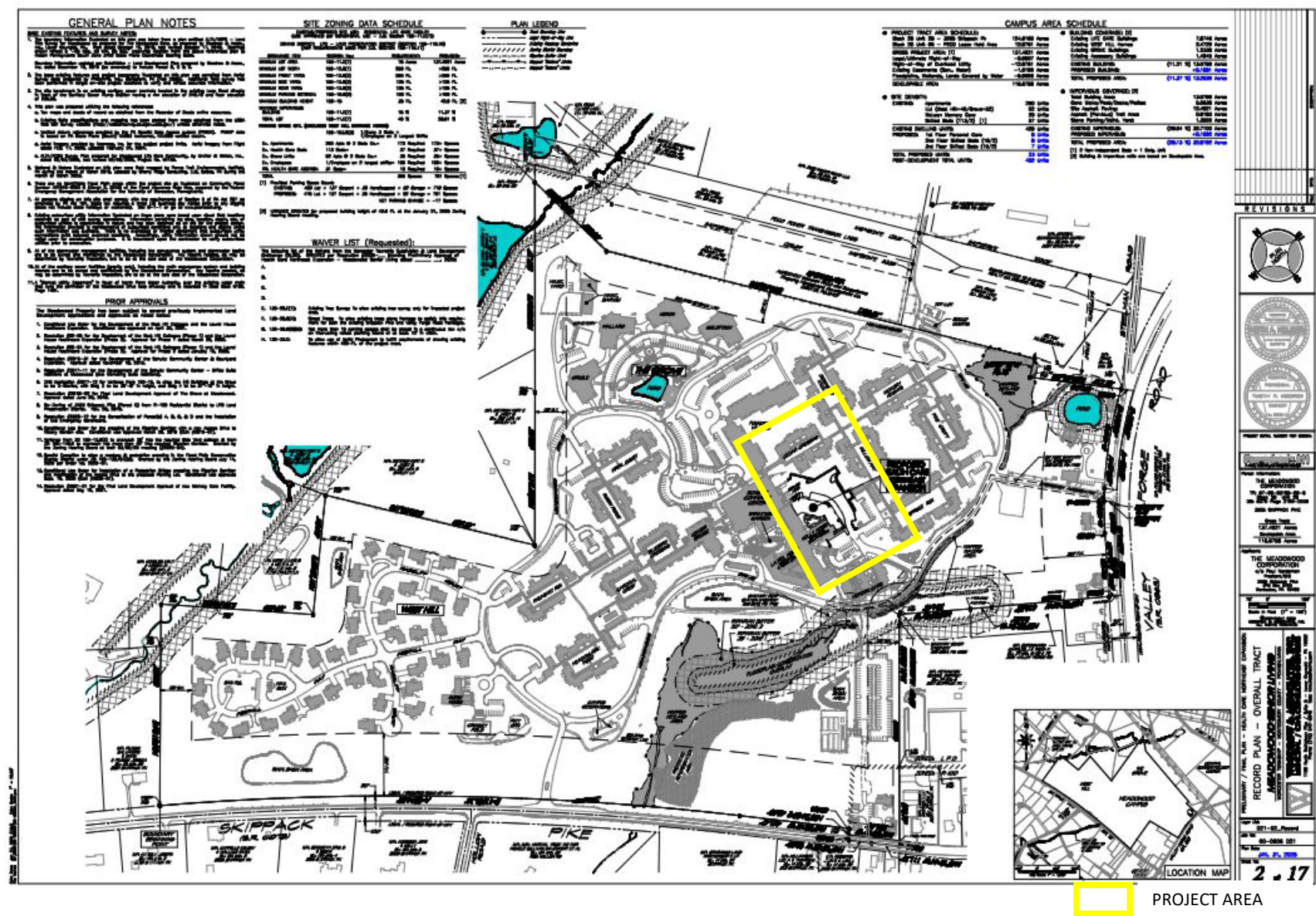
Meadowood Campus
Healthcare Northeast Expansion
MCPC#170040007

Montgomery
County
Planning
Commission

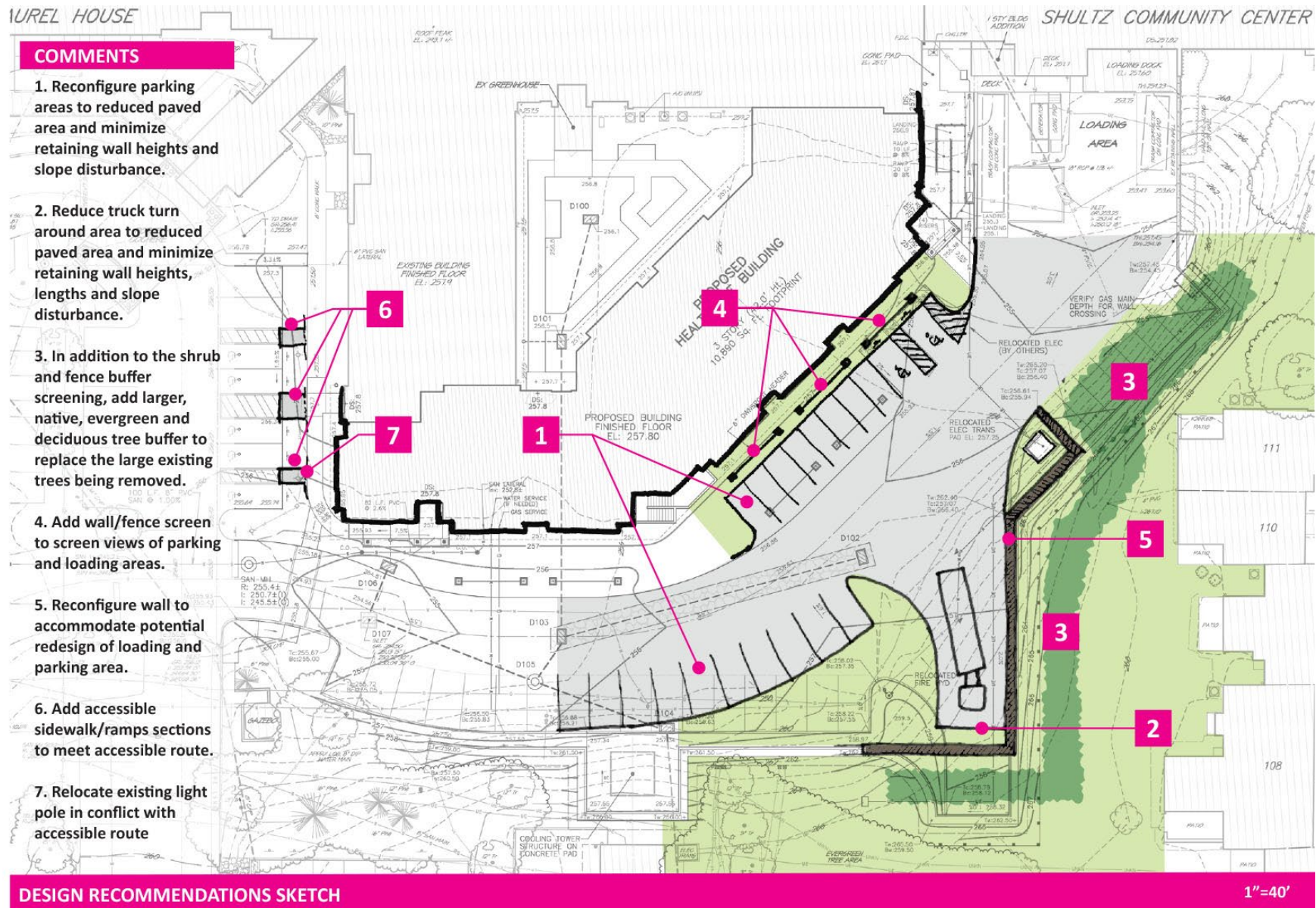
Montgomery County Courthouse - Planning Commission
PO Box 311 Norrisstown PA 19404-0311
(p) 610 278-3722 (f) 610 278-3941
www.montcopa.org/plancom
Aerial photography provided by Nearmap



ATTACHMENT C: REDUCED COPY OF APPLICANT'S PROPOSED SITE PLAN



ATTACHMENT E: DESIGN RECOMMENDATIONS SKETCH



**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION 2025-10

**A RESOLUTION TO AUTHORIZE THE SUBMISSION OF A
GRANT APPLICATION TO THE PA SMALL WATER AND SEWER PROGRAM**

BE IT RESOLVED, that Worcester Township, Montgomery County, hereby requests a Small Water and Sewer Program grant in the amount of \$217,038.15 (total project cost of \$255,339) from the Commonwealth Financing Authority to be used to install improvements to the Township-owned sanitary sewer system that increase system safety and protect the health, safety and welfare of the community;

AND BE IT FURTHER RESOLVED, that the Applicant does hereby designate Daniel DeMeno, Township Manager, as the official to execute all documents and agreements between Worcester Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

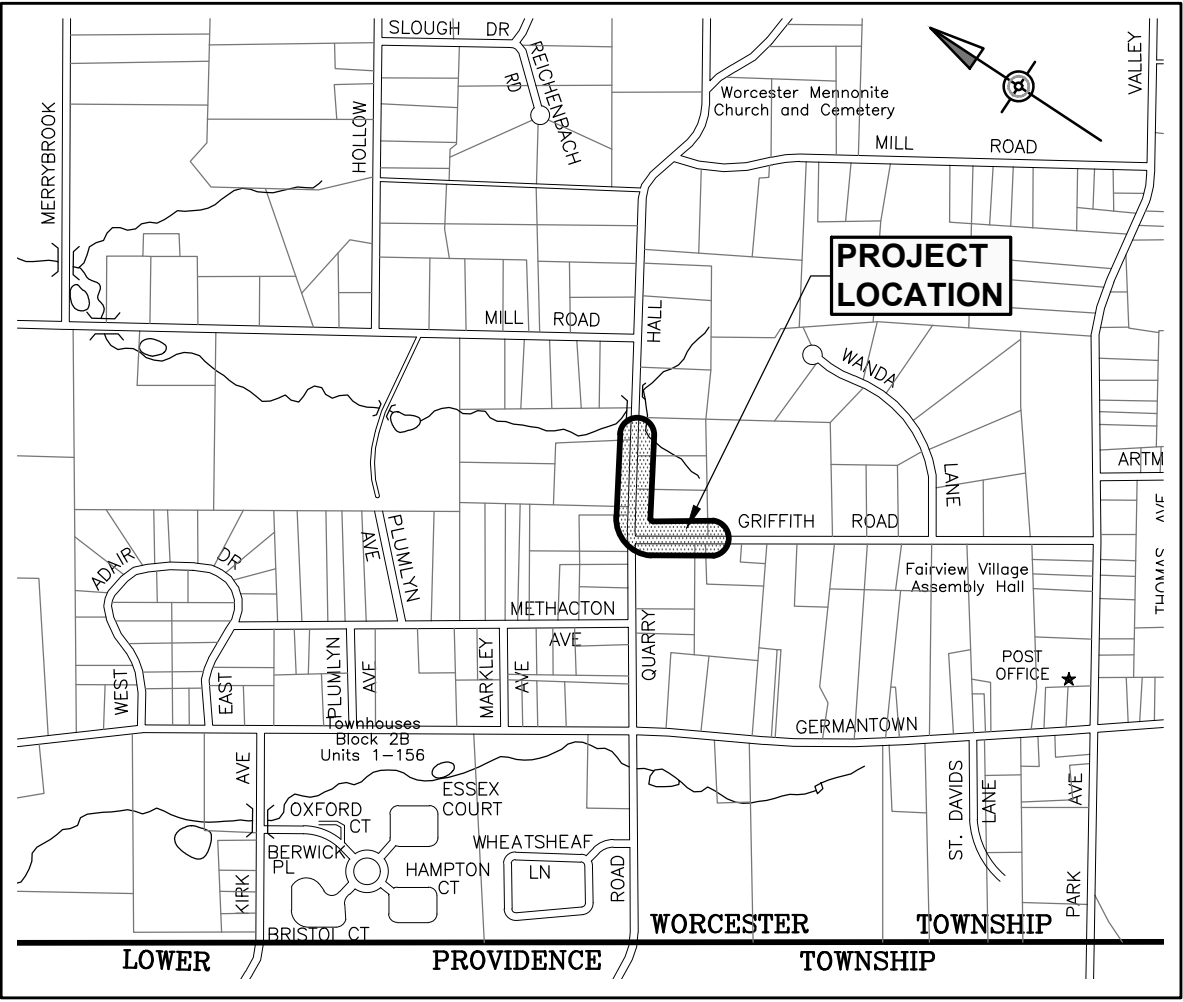
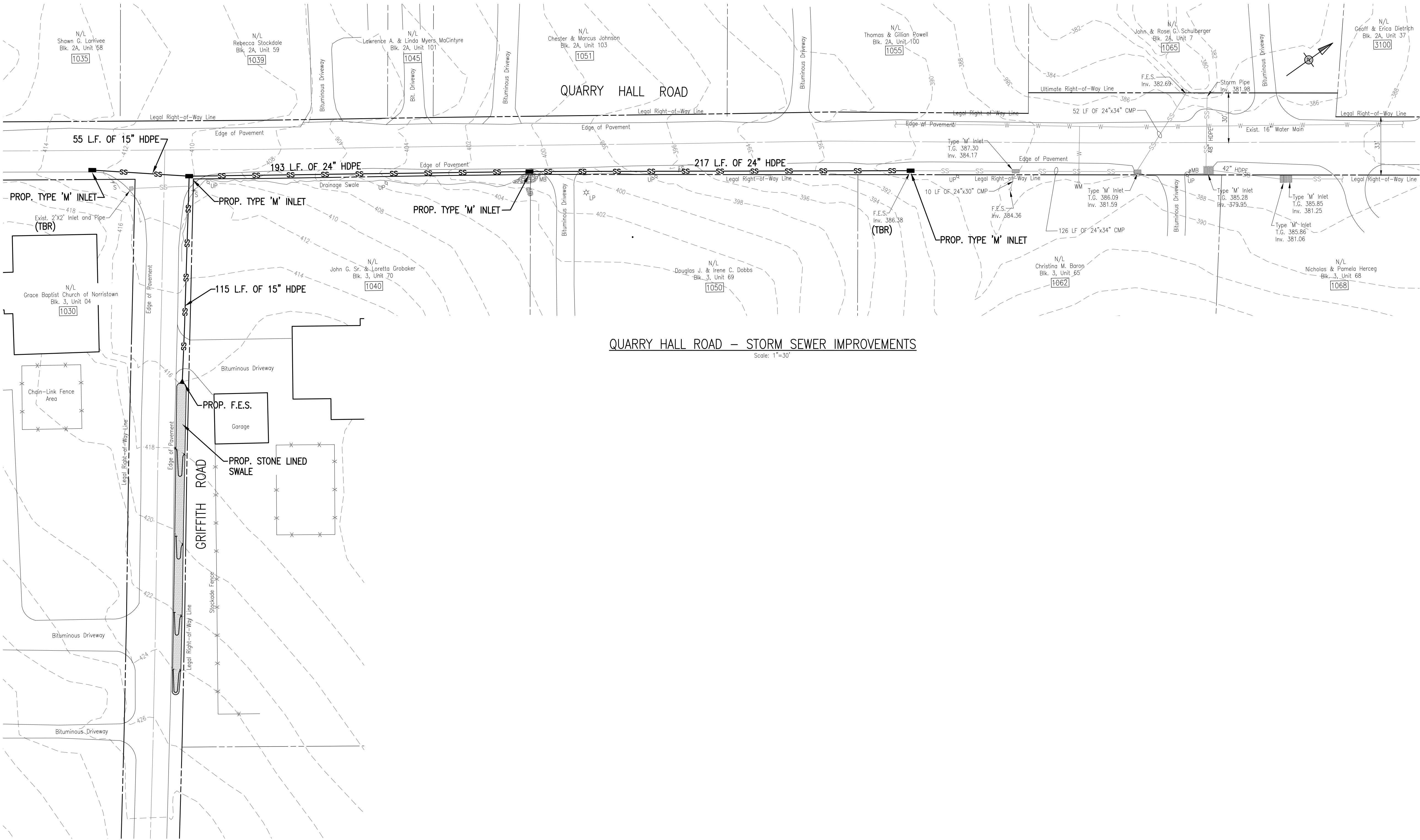
RESOLVED THIS 16TH DAY OF APRIL 2025.

FOR WORCESTER TOWNSHIP

By: _____
Richard DeLello, Chair
Board of Supervisors

Attest: _____
Daniel DeMeno, Secretary


ESTIMATED COST ESTIMATE					
QUARRY HALL/GRIFFITH ROADS DRAINAGE PROJECT					
WORCESTER TOWNSHIP					
ITEM NO.	*DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	TOTAL ITEM PRICE
1	15-Inch High Density Polyethylene Corrugated Storm Sewer Pipe (HDPE), Furnished and Installed	LF	170	\$160	\$27,200.00
2	15-Inch High Density Polyethylene Corrugated Storm Sewer (HDPE) Flared End Section, Furnished and Installed	EA	1	\$1,000	\$1,000.00
3	24-Inch High Density Polyethylene Corrugated Storm Sewer Pipe (HDPE), Furnished and Installed	LF	410	\$200	\$82,000.00
4	Type 4 Inlet Box with Type "M" Inlet Top, Furnished and Installed	EA	4	\$5,000	\$20,000.00
5	Stone Lined Roadside Swale	LF	180	\$40	\$7,200.00
6	Temporary Pavement Restoration	SY	110	\$25	\$2,750.00
7	Permanent Pavement Trench Restoration – Paved Township Road and Residential Driveways, Including Stone, Superpave Base, Binder, and Wearing Course, Complete	SY	300	\$90	\$27,000.00
8	Erosion and Sedimentation Controls	LS	1	\$7,000	\$7,000.00
9	Unimproved Area Trench Restoration – Standard Areas – Topsoil, Seed, etc.	SY	300	\$75	\$22,500.00
10	Unclassified Trench Excavation Below Subgrade	CY	10	\$150	\$1,500.00
11	Excavations as Directed by Engineer	CY	10	\$200	\$2,000.00
12	Maintenance and Traffic Control	LS	1	\$2,500	\$2,500.00
CONSTRUCTION SUBTOTAL					\$202,650.00
5% CONTINGENCY					\$10,132.50
TOTAL CONSTRUCTION COST					\$212,782.50
ENGINEERING DESIGN AND PREPARATION OF BID DOCUMENTS (10% OF REQUESTED GRANT AMOUNT)					\$21,788.50
CONSTRUCTION INSPECTION (10% OF REQUESTED GRANT AMOUNT)					\$21,278.25
TOTAL PROJECT COSTS					\$255,339.00



LOCATION MAP
T = 800
As reprinted from the CKS Engineer's Inc. Street Map of Worcester Township, Montgomery County, PA
800 400 0 800
SCALE IN FEET

LEGEND	
	RIGHT-OF-WAY LINE
	PROPERTY LINE
	STORM SEWER W/ INLET AND FLARED END SECTION
	WATER MAIN
	MAIL BOX
	UTILITY POLE
	SIGN
	DOUBLE YELLOW LINE
	WHITE LINE
	HOUSE NUMBER
	PROP. TYPE 'M' INLET, FLARED END SECTION AND STORM SEWER

PRELIMINARY

 4259 W. Swamp Road Suite 410 Doylestown, PA 18902 www.cksengineers.com 215.340.0600	Rev. No.	Date	Description		
	SITE PLAN				
	QUARRY HALL/GRIFFITH ROAD STORMWATER DRAINAGE PROJECT WORCESTER TOWNSHIP, PA.				
	Worcester Township		Montgomery County,		Pennsylvania
Date:	Scale:	Drawn By:	Plan No.	Sheet No.	
4/17/24	AS SHOWN	CJ	7200-212	1 OF 1	
		Checked By:			

ORDINANCE NO. _____

**ORDINANCE OF WORCESTER TOWNSHIP AUTHORIZING EXECUTION OF
A CABLE FRANCHISE AGREEMENT BETWEEN THE TOWNSHIP AND
COMCAST OF PENNSYLVANIA, LLC**

WHEREAS, pursuant to Title VI of the Communications Act, the regulations of the Federal Communications Commission (“FCC”) and Pennsylvania law, the Township is authorized to grant and renew franchises to construct, operate and maintain a Cable System utilizing Public Rights-of-Way and properties within the Township’s jurisdiction; and

WHEREAS, Comcast currently holds a cable franchise previously granted by the Township; and

WHEREAS, Comcast has requested that the Township renew Comcast’s franchise to maintain, construct, operate, and maintain its Cable System over, under and along the aforesaid rights-of-ways for use by the Township’s residents; and

WHEREAS, the aforesaid Public Rights-of-Way used by Comcast are public properties acquired and maintained by the Township on behalf of the citizens of the Township, and the right to use said rights-of-way is a valuable property right; and

WHEREAS, the Township desires to protect and manage the aforesaid rights-of-way, establish standards of Subscriber service, maintain a technologically advanced Cable System, receive Franchise Fees for Comcast’s use of the Township’s public rights-of-ways as provided by federal law, use of public, educational and governmental channels, establish certain reporting requirements, provide legal protections for the Township’s and meet the current and future cable-related needs of its residents; and

WHEREAS, the Township has determined that this Agreement and the process for consideration of this Agreement complies with all applicable federal, state and local laws and regulations; and

WHEREAS, the Township has determined that Comcast has the financial, legal and technical ability to provide Cable Services to Subscribers located in the Township;

NOW THEREFORE, BE IT ORDAINED that the Township Board of Supervisors does hereby approve the cable franchise agreement negotiated with Comcast, including all of the terms and conditions contained therein, and does hereby authorize the execution of such agreement.

ENACTED AND ORDAINED this ____ day of _____, 2025.

ATTEST:

WORCESTER TOWNSHIP

Chairman, Board of Supervisors



Eastburn and Gray, PC

Attorneys at Law

Julie L. Von Spreckelsen, Esquire

470 Norristown Road, Suite 302

Blue Bell, PA 19422

Main: 215-345-7000

Direct: 215-461-1239

Fax: 215-542-9421

jvonspreckelsen@eastburngray.com

RECEIVED
▶ FEB 21 2025 ◀
RECEIVED

February 21, 2025

VIA HAND-DELIVERY AND EMAIL

Dan DeMeno (ddemeno@worcestertwp.com)

Township Manager

Worcester Township

1721 South Valley Forge Road

P.O. Box 767

Worcester, PA 19490

Re: Board of Supervisors Application of Primrose School Franchising Company LLC
Property: 1501 North Wales Road

Dear Dan:

On behalf of the Applicant, Primrose School Franchising Company LLC, enclosed please find the following documents and supporting materials constituting a Board of Supervisors Application for Zoning Ordinance Text Amendment:

- One (1) original and 9 copies of the completed and executed Worcester Township Board of Supervisors Application with attached Addendum providing the reason for the request and the reason the amendment should be approved;
- Ten (10) copies of the Draft Zoning Ordinance Text Amendment amending Article XVII "C Commercial District" and Article XXII "Off-Street Parking and Loading";
- Ten (10) copies of the deed dated March 26, 2007, between Homsher Hill, LLC ("Grantor") and Stony Creek Village LP ("Grantee") recorded with the Montgomery County Recorder of Deeds in deed book 5641, page 1621;
- Ten (10) copies of the redacted contract of sale and purchase between Stony Creek Village LP ("Seller") and Primrose School Franchising Company LLC ("Purchaser") dated December 11, 2024;
- Ten (10) copies of the written consent of Stony Creek Village LP for Primrose Schools to submit the Board of Supervisors Application requesting a Zoning Ordinance Text Amendment;

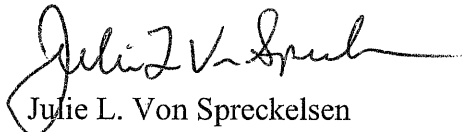
- Ten (10) copies of the plan entitled "Site Plan" prepared by ADA Architects dated September 20, 2024, Sheet No. CP-1.0;
- Ten (10) copies of a list of all abutting property owners of the tract boundary, including addresses, parcel numbers, and owners of record;
- One (1) digital copy of the application and all attached documents submitted to the Township Manager via email;
- One (1) check in the amount of \$1,500.00, made payable to Worcester Township for the Board of Supervisors Application fee; and
- One (1) check in the amount of \$2,000.00, made payable to Worcester Township for the Zoning Ordinance amendment fee.

Please:

- confirm the date this application will be scheduled for a hearing before the Board of Supervisors;
- provide me with copies of any correspondence, reviews, and comments sent or received by the Township with regard to this application; and
- provide me with advance notice of any meeting of a Township board, commission, agency, or committee which intends to discuss or consider this application.

Thank you.

Very truly yours,



Julie L. Von Spreckelsen

Enclosures

cc: Jason L. Lang, P.E. (w/o enclosures)

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road, Post Office Box 767 Worcester, PA 19490

RECEIVED
FEB 21 2025
RECEIVED

Board of Supervisors Application

1. Date of Application: 2/21/2025
 2. Classification of Appeal (Check one or more, if applicable)
 - a. Request for Amendment to Zoning Map _____
 - b. Request for Zoning Ordinance Amendment X
 - c. Request for Curative Amendment _____
 3. Applicant:
 - a. Name: Primrose School Franchising Company LLC
 - b. Mailing Address: 3200 Windy Hill Road, Suite 1200 E, Atlanta, GA 30339
 - c. Telephone Number: 215-264-5038
 - d. Email Address: Jlang@primroseschools.com
 - e. State whether owner of legal title: Equitable owner
 - f. If not legal owner, list names and addresses of all legal owners:
Stony Creek Village, LP, 1805 Berks Road, Worcester, PA 19490
- Please attach Deed to the Property to prove ownership, or a Lease with written permission of Owner providing consent for Tenant to apply for relief sought.**
4. Applicant's attorney, if any:
 - a. Name: Julie L. Von Spreckelsen, Esquire- Eastburn and Gray, P.C.
 - b. Mailing Address: 470 Norristown Road, Suite 302, Blue Bell, PA 19422
 - c. Telephone Number: 215-461-1239
 - d. Email Address: jvonspreckelsen@eastburngray.com
 5. Property Details:
 - a. Present Zoning Classification: C-Commercial District and AGR- Agricultural District
 - b. Present Land Use: Vacant
 - c. Location (Street Address): 1501 North Wales Road
 - d. Parcel #: 67-00-02608-00-7
 - e. Lot Dimensions:
 - i. Area: 4.5 acres - 3.32 acres in Commercial District and 1.2 acres in Agricultural District
 - ii. Frontage: 366'
 - iii. Depth: 542'

f. Water and Sewer Service to the Property (Check one or more, if applicable)

- i. Public Water X
- ii. Public Sewer X
- iii. Private Water
- iv. Private Sewer

g. Size, construction, and use of existing improvements; use of land, if unimproved:
(Please submit as an attachment)

6. If Amendment to Zoning Map, list Proposed Zoning District: N/A

7. If Amendment to Zoning Ordinance, list section(s) proposed to be amended:

Section 150-112 "Use Regulations" of Commercial District

Section 150-153.B "Required Off-Street Parking Facilities"

- a. Provide draft amendment **(Please submit as an attachment)**
- b. Provide reason for request and reason amendment should be approved
(Please submit as an attachment)

8. If Curative Amendment, please provide all pertinent documentation
(Please submit as an attachment)

9. One original and nine (9) copies of this application and all attachments including a digital version of said application and attachments must be filed with the Township Manager. Additionally, please provide ten (10) plot plans of the real estate affected indicating the location and size of improvements now erected and proposed to be used, and a copy of the deed, agreement of sale, lease agreement, etc. Digital versions of these plans and documents must also be provided in conjunction with this application submission.

10. A fee and escrow deposit must also be included in this submission in the amount indicated within the official Township Fee Schedule in the format of a check made out to Worcester Township.

11. Has any previous appeal been filed concerning the subject matter of this appeal? (Check one)

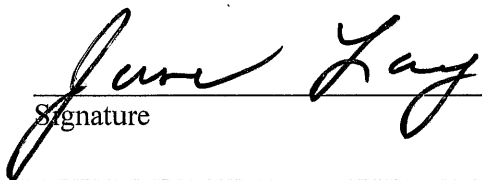
- a. Yes
- b. No X

If yes, elaborate: **(Please submit as an attachment)**

12. Provide the list of names and addresses of properties situated in the vicinity of the subject property.

CERTIFICATION

I (We) hereby certify that the above (and enclosed) information is true and correct to the best of my (our) knowledge, information or belief.


Signature

Jason Lang
Printed Name

Signature

Printed Name

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF Montgomery : SS

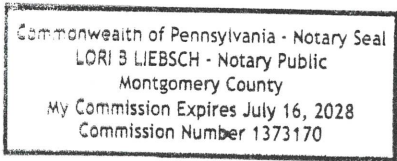
The undersigned, being duly sworn according to law, deposes and says the he/she is the above names applicant, that he/she is authorized to and does take this affidavit on behalf of the owner, and foregoing facts are true and correct.

Jane Ray
Applicant

Applicant

Sworn to and subscribed before me this 21st day of February, 2025

Lori B Liebsch
Notary Public



Date Received: _____

Zoning Officer

Addendum to Worcester Township Board of Supervisors Application of Primrose Schools
Request for Zoning Ordinance Amendment

7.b. Provide reason for request and reason amendment should be approved.

The Worcester Township Zoning Ordinance only permits a child day-care center use to be located in the SC Shopping Center district. The SC district comprises one small area of the Township, and only one or two properties, which are already fully developed. Further, the SC district permits many of the same uses that are permitted in the C Commercial district. A child day-care center is a less impactful use than many of the permitted uses in both the SC and C districts and it is much less impactful than the prior approved development of the Property, which included a multi-building, multi-use development consisting of restaurant, retail and office uses. There are no child day-care centers located in Worcester Township.

Additionally, while the child day-care center use is a permitted use in the SC district, the Zoning Ordinance Off-Street Parking and Loading Regulations do not include a parking requirement for the child day-care center use. If the Board of Supervisors adopts the proposed Zoning Ordinance Amendment it will cure a deficiency in the Zoning Ordinance and will provide an opportunity for a child day-care center use to be developed within Worcester Township.

WORCESTER TOWNSHIP

MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. 2025 - _____

AN ORDINANCE AMENDING THE WORCESTER TOWNSHIP ZONING ORDINANCE ARTICLE XVII "C COMMERCIAL DISTRICT", §150-112 "USE REGULATIONS" TO ADD CHILD DAY-CARE CENTER AS A PERMITTED USE; AND BY AMENDING ARTICLE XXII "OFF-STREET PARKING AND LOADING", §150-153.B "REQUIRED OFF-STREET PARKING FACILITIES" TO ADD A PARKING REQUIREMENT FOR THE CHILD DAY-CARE CENTER USE; REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; PROVIDING FOR A SAVINGS CLAUSE AND FURTHER PROVIDING FOR AN EFFECTIVE DATE.

Whereas, the Board of Supervisors of the Township of Worcester has the authority pursuant to section 1506 of The Second Class Township Code, 53 P.S. § 66506, section 601 of the Pennsylvania Municipalities Planning Code ("MPC"), 53 P.S. § 10601, and section 150-235 of the Worcester Township Zoning Ordinance, as amended ("Zoning Ordinance") to enact and amend land use ordinances as Worcester Township shall deem beneficial to Worcester Township and for the maintenance of the health and welfare of Worcester Township and its citizens; and

Whereas, the Board of Supervisors of the Township of Worcester has determined that certain amendments to the Zoning Ordinance, as amended, are required for the orderly administration of the laws of Worcester Township; and

Whereas, the Board of Supervisors has determined that the Zoning Ordinance of the Township of Worcester should be amended by adding the child day-care center use as a permitted use in the C Commercial zoning district within Worcester Township and by adding a parking requirement for the child day-care center use for the maintenance of peace, good government, health and welfare of Worcester Township and its residents; and

Whereas, the Board of Supervisors of Worcester Township, after the public hearing held pursuant to public notice, and after receipt of recommendations from the Worcester Township Planning Commission and the Montgomery County Planning Commission, deems it appropriate and proper that the Zoning Ordinance be amended to permit a child day-care center use in the C Commercial District and to provide a parking requirement for the child day-care center use.

NOW, THEREFORE, the Worcester Township Board of Supervisors does hereby enact and ordain as follows:

Section 1: Zoning Ordinance, Article XVII "C Commercial District", Section 150-112 "Use regulations", is amended by adding a subsection K. to read as follows:

K. Child day-care center.

Section 2: Zoning Ordinance, Article XXII "Off-Street Parking and Loading", Section 150-153.B "Required off-street parking facilities", shall be amended by adding a subsection (13) to read as follows:

- (13) Child day-care center: one space for every employee, plus one space per 15 students.

Section 3: All other sections, parts, and provisions of Article XVII "C Commercial District" and Article XXII "Off-Street Parking and Loading" shall remain in full force and effect as previously enacted.

Section 4: Savings Clause. The provisions of this Ordinance are severable. If any section, clause, sentence, part or provision thereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decisions of the court shall not impair the validity of any of the remaining sections, clauses, sentences, part or provisions of the Ordinance. It is hereby declared the intent of the Board of Supervisors of Worcester Township that this Ordinance would have been enacted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included herein.

Section 5: Repealer. Any specific provisions of the Worcester Township Zoning Ordinance, Subdivision and Land Development Ordinance or any other Township ordinance or resolution that is in direct conflict within this Ordinance are hereby repealed to the extent of such conflict.

Section 6: Effective Date. This Ordinance shall become effective five (5) calendar days after the date of enactment.

ORDAINED AND ENACTED by Board of Supervisors of Worcester Township this ____ day of _____, 2025.

(Township Seal)

**BOARD OF SUPERVISORS OF WORCESTER
TOWNSHIP**

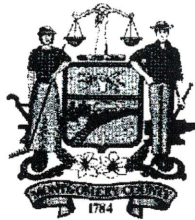
By: _____
Rick DeLello, Chair

Attest:

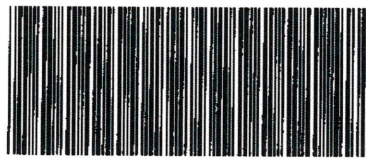
_____, Secretary

RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869



DEED BK 5641 PG 01621 to 01625.1
INSTRUMENT #: 2007040674
RECORDED DATE: 04/03/2007 02:03:05 PM



0095181-0006N

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 6

Document Type: Deed
Document Date: 03/26/2007
Reference Info: STONY

Transaction #: 67473 - 1 Doc(s)
Document Page Count: 4
Operator Id: tbutler

RETURN TO: (Mail)
HAMBURG, RUBIN, MULLIN, MAXWELL LUPIN
375 MORRIS RD
LANSDALE, PA 19446

SUBMITTED BY:
HAMBURG, RUBIN, MULLIN, MAXWELL LUPIN
375 MORRIS RD
LANSDALE, PA 19446

*** PROPERTY DATA:**

Parcel ID #: 67-00-02608-00-7
Address: 1501 NORTH WALES RD

Municipality: PA
Worcester Township
School District: Methacton

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT:	\$1.00
TAXABLE AMOUNT:	\$263,520.40
FEES / TAXES:	
Recording Fee: Deed	\$46.50
Affidavit Fee	\$1.50
State RTT	\$2,635.20
Worcester Township RTT	\$1,317.60
Methacton School District RTT	\$1,317.60
Total:	\$5,318.40

DEED BK 5641 PG 01621 to 01625.1
Recorded Date: 04/03/2007 02:03:05 PM

I hereby CERTIFY that
this document is
recorded in the
Recorder of Deeds
Office in Montgomery
County, Pennsylvania.



Nancy J. Becker
Recorder of Deeds

PLEASE DO NOT DETACH
THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.



116031907.2 (11,928-011)

Prepared by, record and return to:

HAMBURG, RUBIN, MULLIN, MAXWELL & LUPIN

375 Morris Road

Lansdale, PA 19446

Attn: Diane L. Barnes, Paralegal

(215) 661-0400

MONTGOMERY COUNTY COMMISSIONERS REGISTRY

67-00-02608-00-7 WORCESTER

1501 NORTH WALES RD

HOMSHER HILL LLC

B 021 U 017 L 2108 DATE: 04/03/2007

\$5.00

JG

County Tax Parcel #: 67-00-02608-00-7

Fee Simple Corporate

STATE TAX
AFFIDAVIT
FILED**DEED**THIS INDENTURE, made this 26TH day of MARCH, 2007,100
2nd
4

BETWEEN HOMSHER HILL, LLC, a Pennsylvania limited liability company (hereinafter called the Grantor), and **STONY CREEK VILLAGE LP**, a Delaware limited partnership (hereinafter called the Grantee).

WITNESSETH That the said Grantor, for and in consideration of the sum of One Dollar (\$1.00) lawful money of the United States of America unto itself well and truly paid by said Grantee, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, enfeoffed, released and confirmed, and by these presents does grant, bargain, sell, alien, enfeoff, release and confirm unto the said Grantee, its Successors and Assigns.

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, **SITUATE** in the Township of Worcester, County of Montgomery and Commonwealth of Pennsylvania, bounded and described according to a certain plan of property made by B.P. Oil Corporation, made by Robert F. Mueller, Professional Engineer, dated June 7, 1971, as follows, to wit:

BEGINNING at a point formed by the intersection of the center line of North Wales Road (33 feet wide) with the center line of Township Line Road (33 feet wide); thence extending from said point of beginning along the center line of Township Line Road, North 47 degrees 20 minutes West 535.62 feet to a point; thence extending North 42 degrees 20 minutes East crossing the Northeasterly side of Township Line Road 362.00 feet to a point; thence extending South 47 degrees 51 minutes East crossing the Northwesterly side of North Wales Road aforesaid 541.92 feet to a point on the center line of same; thence extending South 43 degrees 19 minutes West along the center line of said road 366.88 feet to the first mentioned point and place of beginning.

Also known as Parcel Number: 67-00-02608-00-7.



BEING the same premises which Valerie Kieser Seeds, Curtis William Kieser, Jr., Lee Kieser Williamson and Daniel P. Quinn, Trustees of the C. William Kieser Trust, by Deed dated February 24, 2004, and recorded in the Office for the Recording of Deeds in and for Montgomery County at Norristown, Pennsylvania, in Deed Book 5499 Page 1589 &c., granted and conveyed unto Homsher Hill, LLC, a Pennsylvania limited liability company, in fee.

UNDER AND SUBJECT to all conditions, easements, rights of way, agreements, covenants, liens, reservations, exceptions, restrictions and other encumbrances of record, to the extent still valid, subsisting and enforceable.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances whatsoever unto the hereby granted premises belonging or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest property, claim and demand whatsoever of it the said Grantor, as well at law as in equity, or otherwise, of, in, and to the same and every part thereof.

TO HAVE AND TO HOLD the said lot or piece of ground, described, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its Successors and Assigns, to and for the only proper use and behoof of the said Grantee, its Successors and Assigns forever.

UNDER and SUBJECT as aforesaid.

AND the said Grantor, for itself, its Successors and Assigns by these presents does covenant, grant, promise and agree, to and with the said Grantee, its Successors and Assigns, that it, the said Grantor, its Successors, all and singular the hereditaments and premises herein described and granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its Successors and Assigns, against it the said Grantor, (and) its Successors, and against all and every other Person and Persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, it, them or any of them Shall and Will **WARRANT** and forever **DEFEND**.

IN WITNESS WHEREOF, the said Grantor has hereunto caused its common or corporate seal to be affixed duly attested. Dated the day and year first above written.

HOMSHER HILL, LLC

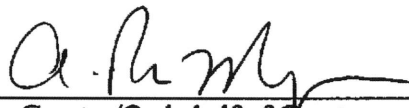
By:  Seal
A. Ross Myers, Member



CERTIFICATE OF RESIDENCE

I HEREBY CERTIFY THAT THE ADDRESS OF THE GRANTEE IS:

1805 Berks Road
P.O. Box 98
Worcester, PA 19490



Grantee/On behalf of Grantee



COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF

Montg.

: SS.

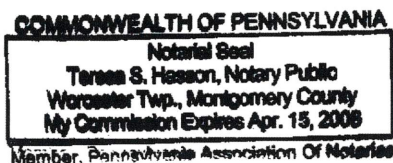
ON THIS, the 20th day of March, 2007, before me, the undersigned officer, personally appeared A. Ross Myers, who acknowledged himself to be the Member of Homsher Hill, LLC, a Pennsylvania limited liability company, and that he as such officer being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the company by himself Member.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.


NOTARY PUBLIC

MY COMMISSION EXPIRES: 4/15/08

{seal}



CONTRACT OF SALE AND PURCHASE

THIS CONTRACT OF SALE AND PURCHASE ("Contract") is made by and between STONY CREEK VILLAGE LP, a Delaware limited partnership ("Seller"), and PRIMROSE SCHOOL FRANCHISING COMPANY LLC, a Georgia limited liability company ("Purchaser"). The "Effective Date" of this Contract shall be the date on which the last party executes the Contract.

In consideration of the agreements herein contained and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Seller and Purchaser hereby agree as follows:

ARTICLE I SALE OF THE PROPERTY

- 1.1 The Property. Seller agrees to sell and convey unto Purchaser, and Purchaser agrees to purchase and accept from Seller, for the price and subject to the terms, covenants, conditions and provisions herein set forth, that certain four and one half (4.5) acre tract of land located at 1501 North Wales Road, Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania, having Tax Parcel ID Number 67-00-02608-00-7, and being more particularly described on Exhibit "A" attached hereto and incorporated herein for all purposes (the "Land"), together with all right, title and interest of Seller in and to all (i) improvements upon the Land, (ii) licenses, permits, approvals and entitlements with respect to the Land, and (iii) appurtenances belonging or in anywise pertaining to the Land including, but not limited to, all of Seller's right, title and interest in and to appurtenant easements, adjacent streets, alleys, rights-of-way, and any adjacent strips or gores of real estate (collectively, the "Property"). If Exhibit "A" consists of a site depiction rather than a metes and bounds legal description, the legal description for the Property shall be in accordance with the Survey obtained pursuant to the provisions of Article 4.2 herein.

ARTICLE II CONSIDERATION

- 2.1 Purchase Price. The purchase price ("Purchase Price") for the Property is _____ which shall be payable by Purchaser to Seller at the consummation of the transactions contemplated hereby (the "Closing") all in cash, by wire transfer of Federal funds, by cashier's check, or by closing attorney's escrow account check, at Purchaser's election, provided that such amount shall be adjusted for closing prorations described hereinbelow.
- 2.2 Earnest Money.
- 2.2.1 Within _____ of the Effective Date, Purchaser shall deposit with Calloway Title and Escrow LLC, whose address is 2100 Riveredge Parkway, Suite 1025, Atlanta, Georgia 30328 (the "Title Company"), the sum of _____

16

IN WITNESS WHEREOF, this Contract has been duly executed in multiple counterparts (each of which is to be deemed an original for all purposes) by the parties hereto on the date appearing below each party's signature.

SELLER:

STONY CREEK VILLAGE LP, a Delaware limited partnership

By: Stony Creek Village GP, LLC

By: A. Ross Myers
Name: A. Ross Myers
Title: Class "A" Member
Date: 12/11/24

PURCHASER:

PRIMROSE SCHOOL FRANCHISING COMPANY LLC

a Georgia limited liability company

By: Nick Koros
Name: Nick Koros
Title: CDO
Date: 12/10/2024

February 20, 2025

Re: Board of Supervisors Application of Primrose School Franchising Company LLC
Property: 1501 North Wales Road

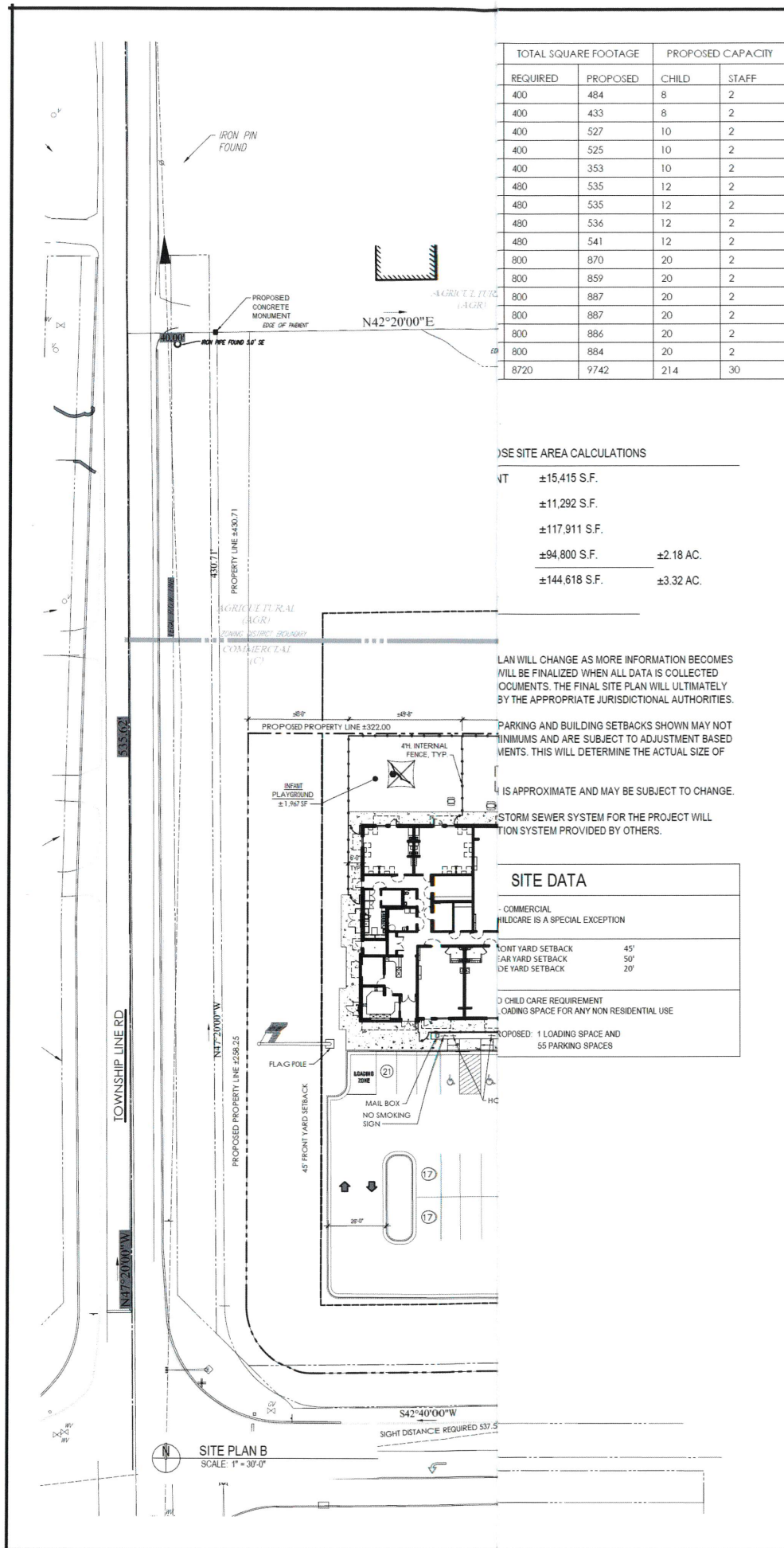
To Whom It May Concern:

Stony Creek Village LP ("Stony Creek") is the legal owner of the property located at 1501 North Wales Road, Worcester Township, Montgomery County tax parcel no. 67-00-02608-00-7 ("Property"). Stony Creek has entered into a contract for sale and purchase of the Property with Primrose School Franchising Company LLC ("Primrose Schools"). Stony Creek authorizes Primrose Schools, as equitable owner of the Property, to submit to Worcester Township the Board of Supervisors Application requesting a Zoning Ordinance Text Amendment to the C Commercial District and to the Zoning Ordinance parking regulations.

Very truly yours,

A handwritten signature in black ink, appearing to be a stylized 'S' followed by a long horizontal line.

Stony Creek Village LP



PRELIMINARY
NOT FOR CONSTRUCTION



ADA ARCHITECTS

17710 Detroit Avenue
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.com

PRIMROSE SCHOOLS:
WORCESTER, PA

TOWNSHIP LINE RD & N WALES RD

THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO ADA ARCHITECTS, INC.
UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.

REVISIONS	
#	DATE TYPE
1	12/10/2024 SITE PLAN B
2	
3	
4	
5	
6	
7	
8	
9	

SITE PLAN

DATE 09/20/2024

JOB NO. 24405

CP-1.0
SHEET NO.

LIST OF ABUTTING PROPERTY OWNERS TO BLOCK 21, UNIT 17

1. Block 21, Unit 22; APN 67-00-03643-00-7

James A. Buggy, Jr. et al
2519 Township Line Road
Norristown, PA 19403

2. Block 21, Unit 25; APN 67-00-02611-00-4

Kim C. McClintock
1515 North Wales Road
Norristown, PA 19403

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

March 26, 2025

Dan DeMeno, Township Manager
Worcester Township
PO Box 767
1721 Valley Forge Road
Worcester, PA, 19083

Re: MCPC #25-0056-001
Plan Name: Childcare Facilities in C-Commercial
Situates: Related to 1501 North Wales Road Property
Worcester Township

Dear Mr. DeMeno:

We have reviewed the above-referenced zoning text amendment in accordance with Section 609 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on February 28, 2025. We forward this letter as a report of our review.

BACKGROUND

The property mentioned in the proposal is a vacant piece of land located at 1501 North Wales Road. The property is approximately 4.12 acres and is currently split between two zones: the C – Commercial Zone and AGR – Agricultural Zone. It appears the applicant wishes to potentially develop a child day-care facility on this property and requests that the C – Commercial Zone be revised to add a child day-care facility as a permitted use.

Julie O. Von Spreckelsen, Esq. of Eastburn and Gray, PC, Attorneys at Law has petitioned a zoning text change to add a permitted use of child day-care Facility to the "C" Commercial Zone in Worcester Township. In their request they state that the current Worcester Township Zoning Ordinance only permits child day-care center use in the SC Shopping Center district. They claim the SC district is a relatively small area of the Township and fully developed. They also state that many of the same uses permitted in the SC district are also permitted in the C district and the child day-care center would be less impactful than some of the other permitted uses in the C district. There are currently no child day-care centers located in Worcester Township.

The letter also states that even though a child day-care center is permitted in the SC district, there are no off-street parking and loading requirements for a child day-care use. They claim that adopting the proposed zoning



ordinance amendment will cure a deficiency in the zoning ordinance and provide an opportunity for a child day-care center use to be developed in the Township.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicants proposed zoning text amendments. However, during our review we have identified the following comments that the township may wish to consider prior to adopting the proposed zoning text amendments. Our review comments are as follows:

REVIEW COMMENTS

SPLIT LOT ZONING

The vacant property at 1501 North Wales Road is currently divided between the AGR (Agriculture) Zone and the C (Commercial) Zone. If the Board of Supervisors approves the zoning amendment to permit child day-care facilities in the C Zone, such a facility would only be allowed in the C Zone portion of the property. Any development in the AGR Zone would be non-conforming, as child day-care facilities are not permitted there. Additionally, the Township might consider amending the Zoning Map to include the entire parcel at 1501 North Wales Road in the C Zone, although there may be reasons for the current split that are unknown to the MCPC.

PARKING AND LOADING REQUIREMENTS

The proposal states that there are no parking and loading standards for child day-care facilities in the Zoning Ordinance. The township should consider adding parking and loading requirements for such facilities while evaluating the addition of child day-care facilities as a permitted use in the C (Commercial) Zone.

TRAFFIC AND ACCESS

Child day-care facilities typically have higher volumes of traffic at drop-off and pickup during the morning and evening rush hours. This should be considered when reviewing the parking, loading, drop off and circulation requirements of child day-care facilities in any permitted zone.

CONCLUSION

We wish to reiterate that MCPC generally supports the proposed zoning text amendments; however, we encourage the township to evaluate the recommendations described above.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposed amendments will be made by the municipality.

Should the governing body adopt these proposed zoning ordinance text amendments, Section 609 of the Municipalities Planning Code requires that we be sent an official copy within 30 days.

Sincerely,

A handwritten signature in black ink, appearing to read "Geoffrey Vaughn", written over a light gray rectangular background.

Geoffrey Vaughn, PLA, ASLA - Assistant Design Section Manager
geoffrey.vaughn@montgomerycountypa.gov - 610-278-3751

c: Primrose School Franchising Company, LLC, Applicant
Julie L. Von Spreckelsen, Esq., Applicant's Attorney
Dan DeMeno, Township Manager

Worcester Township

April 16, 2025

BOS Meeting

International Property Maintenance Code
(IPMC)

Existing Ordinances

- Outdated, vague, and hard to enforce
- Include:
 - Ch. 49 Brush, Grass and Weeds
 - Ch. 102 Nuisances
 - Ch. 110 Peace and Good Order

Why IPMC?

- Industry-standard code for Property Maintenance
- More efficient, effective, and user-friendly
- Provides streamlined mechanism to enforce
- Promotes health, safety, and welfare

Why Now?

- Existing and potential developments with higher density
 - More likely to notice issues with neighbor's properties
- Residents expect expedient resolution of issues
- Establishes foundation for effective code enforcement

Questions?

