

Planning Commission Meeting Minutes
Worcester Township Community Hall – 1031 Valley Forge Rd., Worcester, PA 19490
Worcester Township Planning Commission – Meeting Minutes - February 27, 2025

Meeting Details

- **Date & Time:** Thursday, February 27, 2025, 7:06 PM
- **Attendees:** Planning Commission members (Tony Sherr, Bob Andorn, Lee Koch, Michelle Greenawalt)

Approval of Previous Minutes

- **December 12, 2024 Meeting Minutes:** Motion to approve was made and seconded. **Approved** by unanimous voice vote.
- **January 23, 2025 Meeting Minutes:** Motion to approve was made (with one member noting they were absent on Jan 23) and seconded. **Approved** by unanimous voice vote.

Agenda Items Discussed

Land Development Issue: 2991 Mohill Road – Discussion

Overview: The Planning Commission reviewed a sketch plan for a proposed two-lot residential subdivision at 2991 Mohill Road (zoned R-175 Residential). The applicant's engineer (Tim Woodrow) was unable to attend, so the Township Engineer provided a summary of the plan and issues. Key points from the discussion include:

- **Subdivision Details:** The existing parcel is 3.42 acres. The proposal would create two lots:
 - **Lot 1:** ~66,854 sq. ft., containing the existing single-family house and accessory structures (two sheds, a greenhouse, and a fire pit).
 - **Lot 2:** ~82,141 sq. ft. (75,338 sq. ft. net buildable area) as a flag lot for a future single-family dwelling.
- **Utilities:** Both the existing and future homes would be served by private well water and on-lot septic systems (no public water/sewer service).
- **Waiver Requests:** The applicant submitted a waiver request letter on the afternoon of the meeting (Feb 27). Three waivers from the subdivision/land development ordinance were noted:

1. **Road Width:** Relief from the requirement to widen the existing shared driveway/private road (Mohill Drive). It is currently ~17 feet wide, whereas ordinance requires 20 feet cartway width for a road serving these lots. The road serves three homes now; the new lot would make it four. The presence of utility poles along the road was noted as a constraint to widening.
2. **Private Street Standard:** Related to the above, a waiver to allow the private road to remain at 17 feet instead of the required 20 feet. (This reinforces that Mohill Drive, while within a township right-of-way, is privately maintained – the township does not pave or plow it and receives no state “liquid fuels” funds for it.)
3. **Sidewalk and Curbing:** A waiver from installing sidewalk and curb along the property’s frontage on the street.
 - **Discussion & Concerns:** Planning Commission members asked if there were any issues or comments on the proposal. There were no objections raised from the Commission or public at this sketch stage. One member sought clarification on the road widening issue, specifically about the utility poles interfering with widening the cartway. It was confirmed that the poles on one side of Mohill Drive would indeed prevent adding the full 2 feet of pavement on that side as recommended by the traffic review. It was also clarified that Mohill Drive, though within a township right-of-way, is essentially a private lane not maintained by the Township.
 - **Status:** This plan was presented as a **preliminary plan**, although no vote or binding action was required. The Township Engineer had issued a review letter on February 12, 2025, and the Township Traffic Engineer also issued two letters prior to the meeting, outlining technical comments. The applicant’s team has communicated that they will address all comments from these review letters in their next submission.
 - **Next Steps:** The Planning Commission **did not take any formal action** on the plan. Members agreed to wait for a revised plan to be submitted. They requested that the applicant return with their engineer present to discuss and address the technical issues and waiver requests in detail. The late submission of the waiver request letter on the day of the meeting was noted, and the Commission will formally consider those waivers at the time of preliminary/final plan review. The applicant has granted an extension of time. This item will come back to the Planning Commission at a future meeting after revisions.

Methacton School District High School Redevelopment – Sketch Plan Presentation

Overview: The Methacton School District presented a sketch plan for a major redevelopment of the Methacton High School campus. The high school property is approximately 63 acres (zoned Agricultural) located along Germantown Pike, with main access from Kriebel Mill Road and additional frontage on Mill Road. The school district's team (attorney, engineers, architect, and officials) walked through the conceptual plans and feedback from township consultants. This was an informational discussion; no formal application has been submitted yet beyond the sketch plan. Key points and discussion highlights include:

- **Project Scope:** The district proposes to **construct a new high school building** on the existing campus while the current school remains in operation. Once the new building is completed and ready for occupancy, the old school building will be demolished. The vacated area would then be used to create new parking lots, upgraded athletic fields, and possibly a new field house and other facilities. This phased approach allows continuity of school operations. The overall goal is to modernize the campus and address longstanding issues with the current facilities.
- **Objectives and Needs:** Several needs are driving the project:
 - **Parking Shortage:** The existing campus has about 602 marked parking spaces, which has proven insufficient. Students and visitors currently overflow onto nearby residential streets (e.g. parking along Anvil Drive and at a church across the street) and even park on grass or unmarked areas on campus during large events. The redevelopment will significantly increase on-site parking capacity. The sketch plan shows approximately **875 parking spaces** (an increase of ~273 spaces), which is intended to accommodate all student drivers and staff, plus provide extra capacity for events like football games. This should eliminate the need for parking on neighborhood streets and improve the situation for the community.
 - **Traffic Circulation and Safety:** Presently, there are **six different driveways/access points** along Kriebel Mill Road serving the school (including separate entrances for the administration building, various parking areas, and the bus depot). This causes internal traffic conflicts among buses, parent drop-offs, student drivers, and staff. The plan proposes to **consolidate entrances down to three** access points on Kriebel Mill Road to streamline traffic flow and reduce conflict points. In addition, a new dedicated **bus and emergency access road** is proposed from Mill Road (on the opposite side of the campus), which will be used only by school buses and emergency vehicles. By separating bus traffic from student/parent

vehicle traffic, the design will improve on-site safety and reduce congestion at peak times. A new roundabout is envisioned at the main entrance to help manage inbound and outbound traffic smoothly and prevent backups on Kriebel Mill Road. Parent drop-off/pick-up lanes would be extended on-site (in a chevron layout) to keep waiting cars off the public road.

- **Modernized Facilities:** The current school building has various issues (aging infrastructure, outdated design for educational needs, etc.). Building a new facility allows the district to address these and incorporate modern educational standards. The project will also retain or upgrade athletic facilities: the existing stadium will remain, as will the bus garage, auxiliary turf fields, varsity baseball field, and tennis courts. New or reconfigured fields will be added where the old building is removed, including retaining junior varsity baseball/softball fields that were initially considered for relocation. A new field house near the stadium is being considered as well.
- **Utilities and Stormwater:** The campus is currently served by public water but relies on an **on-site wastewater treatment plant** (private sewer). The plan is to **connect the school to public sewer** service. This would involve constructing a pump station on campus to send sewage to the existing public sewer system (ultimately connecting to the Grange Pump Station in Lower Providence Township). Stormwater management will be significantly improved; at present, the site has very limited stormwater infrastructure (only two small basins by some newer turf fields). The redevelopment will include modern stormwater facilities to control runoff from the increased impervious surfaces (roofs, parking lots), complying with current regulations.
- **Zoning Relief Requirements:** Because of the scope and design of the project, several aspects will require zoning relief (variances or conditional use approvals). The presenters outlined anticipated **zoning challenges**:
 - **Building Height:** The new academic building is planned to be three stories tall in portions (the rear classroom wing), which likely exceeds the township's height limit in this district. A variance will be needed for the building height.
 - **Impervious Coverage:** The zoning limit for impervious surface in the Agricultural district is 40%. The existing campus already exceeds that (around 43% impervious). The redevelopment, with additional parking, is projected to further increase impervious coverage (sketch plan showed

about 45%). This expansion of non-pervious area will need a variance for the overage (to legalize the new impervious percentage).

- **Front Yard Setback/Parking in Front Yard:** The ordinance requires a 250-foot front yard setback along Germantown Pike within which no parking is allowed. Currently, some parking encroaches into that setback (a legal non-conformity). The new plan proposes a large parking area and a field house that would extend into that 250-ft front yard buffer. The district will seek relief to allow parking (and the small building) in that front setback area.
- **Sports Field Lighting:** The project includes adding or upgrading lights for the athletic fields (specifically varsity baseball and softball fields at a corner of the site). Modern field lights can be tall and bright. One planned light pole location may be too close to the property line, and the lights in general may exceed height or glare limits. This triggers the need for approvals: likely a conditional use (as required by ordinance for tall outdoor lighting in residential proximity) and possibly a variance. The team acknowledged they will need to go before the Board of Supervisors for conditional use approval for the lighting.
- **Parking Lot Lighting Height:** Related to lighting, the zoning ordinance caps parking lot light poles at 12 feet height in this district. To adequately illuminate large parking areas, the plan will use industry-standard poles (often 20 feet or more). A variance will be sought to allow typical parking lot lighting heights (commonly around 20 feet) for safety and practicality.
- **Steep Slope Disturbance:** The high school property has a rolling, **tiered topography** – it slopes down in terraces from the high point at Germantown & Kriebel Mill toward lower areas near the proposed bus access road. Some existing man-made slopes (berms or embankments) will need to be regraded/disturbed to construct the new improvements. The ordinance restricts disturbance of steep slopes over a certain grade, so the project will require a variance to disturb those slopes as part of regrading.
- **Presentation and Feedback:** The project team displayed slides of the site, existing conditions, and the conceptual layout. They have had preliminary meetings with township staff and have received initial review letters from the Township Engineer and the Township's planning and traffic consultants). The team expressed willingness to address all comments as the design progresses. They emphasized improvements the plan brings, especially in parking and traffic management, which

will benefit both the school operations and the surrounding community. Planning Commission members and consultants asked questions and provided feedback:

- **Timeline:** The Commission inquired about the anticipated timeline. The school district hopes to start construction as soon as possible once approvals are in place, with the goal of aligning the opening of the new school with a new academic year. Because it's a functioning school, timing is critical – they aim to minimize disruption and ensure the new building is ready for students by the fall of the targeted year.
- **Traffic Study:** The school's traffic engineer (Matt Hammond, TPD) noted that they have begun a detailed traffic study. Traffic counts were conducted last year while school was in session to establish baseline volumes. Although the new building will be larger, **student enrollment is not expected to increase significantly**, so the daily traffic demand should remain roughly the same. However, with reconfigured access points and on-site circulation, the traffic flow should improve. The study will analyze key intersections around the school to determine if any off-site roadway improvements or signal adjustments are needed. The Commission and the Township's traffic consultant will review this study once completed.
- **Community Impact:** Commissioners acknowledged that the added parking and removal of on-street overflow are positive steps. They encouraged the design team to continue considering buffering and outreach to neighbors, especially regarding lighting and traffic changes. The school district had already held a neighborhood meeting to gather local input, which brought the parking issues to light. By addressing these concerns (parking and reducing access points), the plan is attempting to be responsive to community feedback.
- **Next Steps:** No action was taken by the Planning Commission on the sketch plan (sketch plans are not subject to approval). The **school district will proceed with the required zoning relief applications** in the coming months and continue refining the plans. They will incorporate feedback from the Commission and the consultants' review letters. A full **Preliminary/Final Land Development Plan** is expected to be submitted once zoning matters are addressed. At that time, the Planning Commission will formally review the plan and provide recommendations to the Board of Supervisors. The Commission will also look for a complete traffic impact study and detailed

engineering plans in that future submission. This item will come back for further review when ready.

- **Public Comment:** John Antonelli expressed concern about the cost of the project and what seems, to him, the lack of consideration of a renovation.

Jim Mollick echoed the comments made by Mr. Antonelli.

Adjournment

With no further business or public comment, the meeting was adjourned at 8:55 PM.

January 22, 2025

Mr. Dan DeMeno, Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

RE: 1038 Windy Hill Road – 2 Lot Subdivision
Minor Subdivision Plan Application
Bursich Project No.: MIK-01 / 208161.01

Dear Mr DeMeno:

With regard to the above referenced project, please find enclosed the following materials in connection with a Preliminary/Final Land Development application:

1. Eighteen (18) copies of the Preliminary/Final Subdivision Plans, Sheets 1 - 12 of 12, dated 1/15/2025;
2. Three (3) copies of the Post Construction Stormwater Report, dated January, 2025;
3. One (1) original and eighteen copies of (18) of the Waiver Request letter, dated 1/15/25;
4. One (1) copy of the completed and signed Township Subdivision and Land Development Application;
5. One (1) copy of the completed and signed Township Extension of Time form;
6. One (1) copy of the completed Act 247 application form to the Montgomery County Planning Commission, ready for Township review and signature;
7. Check in the amount of \$2,000.00 for the Township Application Fee;
8. Check in the amount of \$6,000.00 for the Township Escrow;
9. Eighteen (18) copies of the of County Tax Parcel information (was part of the lands conveyed to Arden Reserve, LLC by John Hugnair on 8/31/2023 ;
10. One (1) USB drive containing a PDF file of all documents;

Arden Reserve, LLC (Applicant) proposes to subdivide a 5.39 acre parcel into two (2) lots, each to contain a single family detached dwelling. The parcel was identified as "Residual Lands" on the "Hugnair Property Subdivision" that was previously approved in 2023 and is currently under construction. Each proposed lot will have driveway access from the existing Windy Hill Road cul-de-sac, and will be served by an individual on-lot sewage disposal system and an on-lot well for domestic water service.

F:\Projects\MIK-03\208161-01\01_COR\2025-01-22 1038 WindyHillRd_P-F_Twp cover ltr.docx

OFFICE LOCATIONSwww.vancleefengineering.com

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

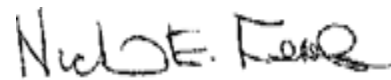
Bethlehem, PA
610-332-1772

The site was included in the stormwater design and NPDES permit for the Hugarir Property Subdivision project but did not include provisions for improvements for new dwellings. Therefore, the attached stormwater report includes provisions for improvements of the two lots and expands on the previously approved plans, and a modification to the NPDES permit will be applied for.

A Component 2 Sewage Facilities Planning Module is being prepared (DEP Code No. 1-46962-222-2) and our office will coordinate as needed with the Township and other agencies. Soil testing was done by Penns Trail Environmental, LLC.

As always, please feel free to contact me with questions or if you require additional information me at 484-941-0427 or nfeola@vancleefengineering.com. Thank you for your attention to this matter.

Very Truly Yours,
Van Cleef Engineering Associates, LLC



Sr. Project Manager

Enclosures

cc: Michael Clement, Arden Reserve, LLC (via email only)

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

APPENDIX

SUBDIVISION AND LAND DEVELOPMENT APPLICATION

Date of Application: _____ Fee Paid: _____ W.T.P.C File No _____

Application for:

Preliminary Review X
Final Review X

1.) Property: Address 1038 Windy Hill Road

Location/Parcel Number 67-00-04162-00-1

2.) Owner of record of land: Name Arden Reserve, LLC Tel. # (610) 539-8088

Address: P.O. Box 283, Fairview Village, PA Email info@delgrippoinc.com

3.) Applicant: Name Same as Owner Tel. # _____

Address _____ Email _____

4.) Agent or Attorney, (if any): Name Michael Clement Tel # (610) 825-8400

c/o Wisler Pearlstine
Address 460 Norristown Rd, Suite 110, Blue Bell, PA 19422 Email mclement@wispearl.com

5.) Registered Engineer or Surveyor: Name Nicholas E. Feola, P.E. Tel # (484) 941-0427

c/o Bursich Assoc., a division of Van Cleef Eng
Address 2129 E. High St., Pottstown, PA 19464 Email nfeola@vancleefengineering.com

6.) Name of Subdivision or Development: 1038 Windy Hill Road - 2 Lot Subdivision

7.) Where deed is recorded: Book No. 6339 Page No. 02063

8.) No. of Lots or Dwelling Units: 2

9.) Average Lot Size: 2.70 acres

10.) Density (dwelling units per acre): 0.37

11.) Total Area to be developed or subdivided: 5.39

*Gross 5.39 **Net 5.39

Area in flood plain (if any) None

12.) Water Supply: Public system _____ On lot system X

13.) Sewage System: Public system _____ On lot system X

14.) List of all Encumbrances: N/A

| <u>Amount</u> | <u>Name & Address of Person/Firm</u> | <u>Bk.No.</u> | <u>Pg. No</u> |
|---------------|--|---------------|---------------|
| | | | |
| | | | |
| | | | |

15.) Zoning classification of subject land: R-100

16.) Explanatory statement of plan to be reviewed: Subdivision of parcel into 2 lots, each to contain a
a single family dwelling. Each lot will have individual driveway access from Windy Hill Road.

17.) Linear feet of new streets: None

18.) Copy of all restrictions, covenants, etc. If any, under which lots are to be sold.

Attached _____

None X

19.) Statement fixing period requested for completion of all items in Paragraph 18 above:

20.) Improvements to be made by applicant to subject land with approximate estimate of cost of each:

| Will be provided as part of any required escrow | <u>Unit Cost</u> | <u>No. of Units</u> | <u>Total</u> |
|---|------------------|---------------------|--------------|
| a. Curbs..... | _____ | _____ | _____ |
| b. Sidewalks..... | _____ | _____ | _____ |
| c. Widening of Existing Streets..... | _____ | _____ | _____ |
| d. Park Land..... | _____ | _____ | _____ |
| e. Street Lighting..... | _____ | _____ | _____ |
| f. Storm Drainage..... | _____ | _____ | _____ |
| g. Water Supply & Fire Hydrants.... | _____ | _____ | _____ |
| h. Sewage Disposal..... | _____ | _____ | _____ |
| i. Monuments..... | _____ | _____ | _____ |
| j. Landscaping..... | _____ | _____ | _____ |
| k. Etc. | _____ | _____ | _____ |

21.) A copy of the description of the land as set forth in the deed shall be attached.

Signature of Owner 

Date: 1/17/25

* Gross Area – area calculated to center of street

** Net Area – area calculated to the right of way. Net areas are to be used for density and land area requirements.

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

EXTENSION OF TIME

Date: 1/17/25

Attn: Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Dear Township Manager:

RE: SUBDIVISION PLAN/LAND DEVELOPMENT PLAN OF 1038 Windy Hill Road -
2 - Lot Subdivision

On _____, I (we) submitted the referenced plan for official filing.

Please be advised that notwithstanding any contrary provision of the Pennsylvania Municipalities Planning Code or the Worcester Township Subdivision and Land Development Ordinance, this letter will serve as notice to Worcester Township that the requirement that action be taken on this Plan within ninety (90) days, is hereby waived, without limitation as to time.

This waiver is granted to permit us to make such adjustments or revisions to the Plan as may be required during the Plan review process.

If we ever deem it necessary to limit the time of the subdivision or land development review process, we may revoke this extension of time in writing, sent certified mail, return receipt requested, and the Township shall be obligated to render a decision on our plans within sixty (60) days after the date on which the written revocation notice was received.

If the township determines that insufficient progress is being made towards concluding the subdivision or land development review process, the Township may revoke this extension of time in writing, sent regular mail and certified mail, return receipt requested. For purposes of this provision, the Township's written notice shall be deemed received, if sent regular mail and certified mail, on the date of the written receipt on the certified mail return receipt, or, three (3) days after the date indicated on the Township's notification letter in the event the certified mail is return as "refused", "unclaimed", or is otherwise returned without indication of receipt, if addressed as follows (or to a subsequent address specifically provided to the Township by us for the purpose of notice):

Michael Clement/Leonard DelGrippe, Jr.
Arden Reserve, LLC
P.O. Box 283, Fairview Village, PA
(610) 539-8088

At any time sixty (60) days after our receipt of such notice from the Township, we understand that the Township may take (but shall not be obligated to take) such action with regard to our plans as the Township deems necessary and appropriate.

We further understand that nothing herein shall be construed to prevent us from offering, and the Township from accepting, additional extensions of time in the future, but neither party shall be obligated to do so by the terms of the Agreement.

Very truly yours,

By: LDJR.
Signature
Leonard DelGrippe, Jr. Managing Member
Print Name, Title

Date: 1/17/25

Accepted by:

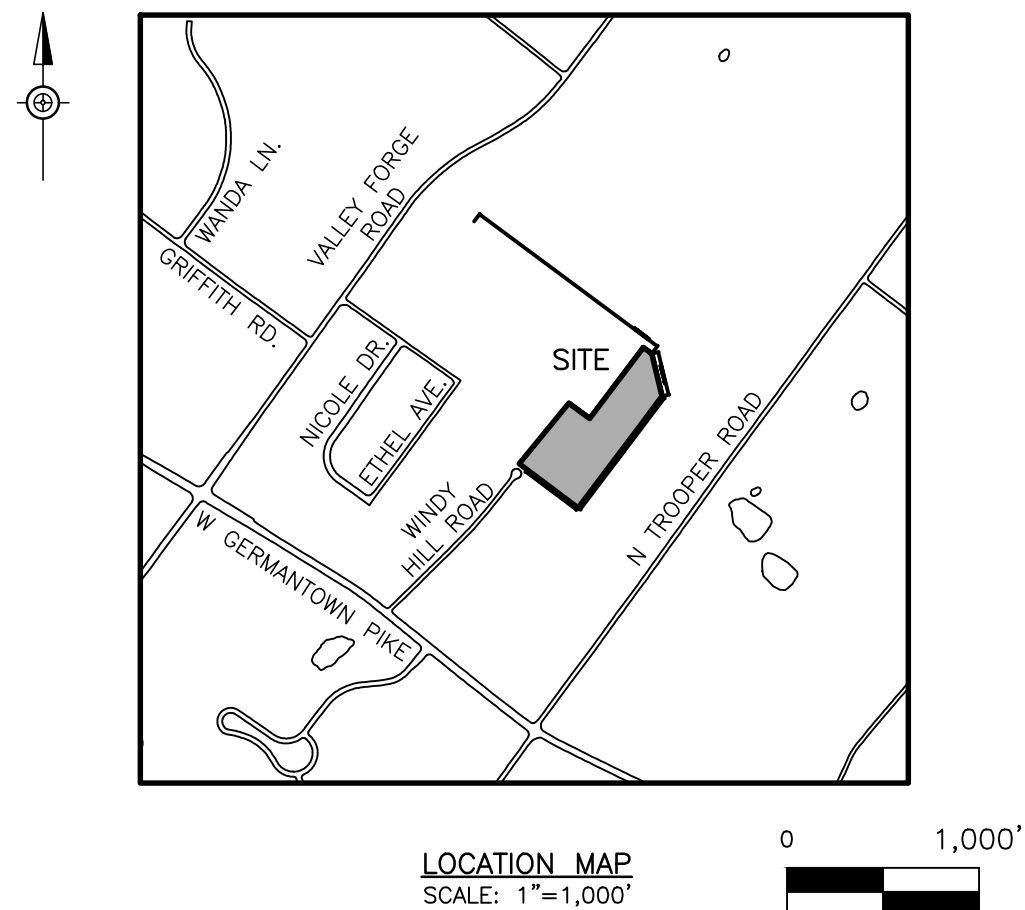
Chairman, Board of Supervisors

Attest:

Manager/Secretary

MINOR SUBDIVISION PLAN FOR
1038 WINDY HILL ROAD
2-LOT SUBDIVISION

WORCESTER TOWNSHIP - MONTGOMERY COUNTY
PENNSYLVANIA



| SHEET NO. | DRAWING | SHEET DESCRIPTION |
|-----------|---------|---|
| 01 | TS-01 | TITLE SHEET |
| 02 | SD-01 | SUBDIVISION PLAN |
| 03 | EC-01 | EXISTING RESOURCES & SITE ANALYSIS PLAN |
| 04 | PN-01 | PROJECT DATA & NOTES |
| 05 | IP-01 | IMPROVEMENT CONSTRUCTION PLAN |
| 06 | ES-01 | EROSION AND SEDIMENT CONTROL PLAN |
| 07 | ES-02 | EROSION AND SEDIMENT CONTROL DETAILS |
| 08 | ES-03 | EROSION AND SEDIMENT CONTROL DETAILS |
| 09 | ES-04 | EROSION AND SEDIMENT CONTROL NOTES |
| 10 | PC-01 | POST CONSTRUCTION STORMWATER MANAGEMENT PLAN |
| 11 | PC-02 | POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS |
| 12 | PC-03 | POST CONSTRUCTION STORMWATER MANAGEMENT NOTES |

| | |
|--|---|
| | PLANS TO BE RECORDED |
| | TO BE RECORDED WITH POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT |

SUPPORTING DOCUMENTATION SUBMITTED TO WORCESTER TOWNSHIP AS PART OF THIS APPLICATION

| | | |
|---|-----------------------|-----------------------|
| 1. STORMWATER MANAGEMENT REPORT, PREPARED BY BURSICH ASSOCIATES, INC. | DATE JANUARY, 2025 | LAST REV. DATE N/A |
|---|-----------------------|-----------------------|

WORCESTER TOWNSHIP BOARD OF SUPERVISORS

APPROVED THIS _____ DAY OF _____, 20____, BY THE BOARD OF SUPERVISORS OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

ATTEST:
SIGNATURE, CHAIRMAN _____

DATE SIGNED _____

SIGNATURE, SECRETARY _____

DATE SIGNED _____

SURVEYOR'S CERTIFICATION

I, DANE K. MOYER, P.L.S., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PLAN AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEY SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION, THAT THE EXISTING PERIMETER MONUMENTS SHOWN HEREON HAVE BEEN LOCATED AS PART OF THE SURVEY, AND ALL OTHER PROPOSED PERIMETER MONUMENTS SHALL BE SET.

PROFESSIONAL SURVEYOR SIGNATURE _____ DATE _____
DANE K. MOYER, P.L.S.
PLS. NO. SU-056988-E

ENGINEER'S CERTIFICATE OF CONFORMANCE

I, NICHOLAS E. FEOLA, P.E., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION FOR WHICH I ACCEPT FULL RESPONSIBILITY.

PROFESSIONAL ENGINEER SIGNATURE _____ DATE _____
NICHOLAS E. FEOLA, P.E.
PE NO. PE046396E

RECORDER OF DEEDS

RECORDED THIS _____ DAY OF _____, 20____, IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____

SIGNATURE OF RECORDER _____ DATE _____

RECORD OWNER APPLICANT & PARCEL INFORMATION:

PARCEL NO.: 67-00-04162-00-1
ARDEN RESERVE, LLC
2965 GERMANTOWN PIKE
NORRISTOWN, PA 19403
(610) 539-8088
DB. 6339 PG. 02063

PURPOSE OF PLAN

THE PLAN PROPOSES TO SUBDIVIDE A 5.39 ACRE PARCEL INTO TWO (2) LOTS. THE PARCEL WAS SHOWN AS LOT #9 ON THE "HUGANIR PROPERTY SUBDIVISION" PREVIOUSLY APPROVED AND RECORDED, IDENTIFIED AS RESIDUAL LANDS TO BE RETAINED BY ARDEN RESERVE, LLC. A NEW SINGLE FAMILY DETACHED DWELLING WILL BE CONSTRUCTED ON EACH LOT.

SITE DATA

| | |
|----------------------------|-------------------------|
| AREA TO LEGAL RIGHT OF WAY | 5.39 ACRES |
| NUMBER OF LOTS | 2 NEW |
| SANITARY SEWER | INDIVIDUAL, ON-LOT |
| WATER | INDIVIDUAL, ON-LOT WELL |

RECORDING NOTE:

SHEETS 1 AND 2 OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE.



Stop - Call Before You Dig!
Pennsylvania Act 287 of 1974 as amended by Act 50 of 2017 73P.S. §176 et. seq. requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776

| | |
|--|-----------------------------|
| CERTIFICATE OF OWNERSHIP | |
| ARDEN RESERVE, LLC | |
| BY: _____ | SIGNATURE |
| MICHAEL J. CLEMENT, MEMBER | |
| NOTARY ACKNOWLEDGEMENT | |
| STATE OF PENNSYLVANIA COUNTY OF MONTGOMERY | |
| ON THIS _____ DAY OF _____, 20____, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED MICHAEL J. CLEMENT, WHO BEING DULY SWORN ACCORDING TO LAW, ACKNOWLEDGED HIMSELF TO BE A MEMBER OF ARDEN RESERVE, LLC, A LIMITED LIABILITY COMPANY, THE RECORD OWNER FOR THIS LAND DEVELOPMENT PLAN AND THAT HE AS SUCH BEING AUTHORIZED TO DO SO DEPOSES AND SAYS THAT THE PLAN THEREOF WAS MADE AT ITS DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND THAT THEY DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW. | |
| IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL. | |
| NOTARY PUBLIC _____ | MY COMMISSION EXPIRES _____ |

WORCESTER TOWNSHIP PLANNING COMMISSION

REVIEWED THIS _____ DAY OF _____, 20____, BY THE PLANNING COMMISSION OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

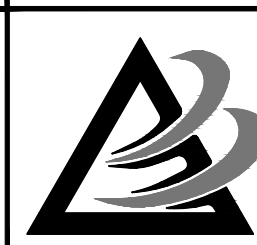
ATTEST:
SIGNATURE _____

DATE SIGNED _____

REVIEWED BY THE TOWNSHIP ENGINEER OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA

TOWNSHIP ENGINEER: _____

DATE: _____



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

ARDEN RESERVE, LLC
P.O. BOX 243
FAIRVIEW VILLAGE, PA 19409
(610) 539-8088

TITLE SHEET
RECORD PLAN 1 OF 2

1038 WINDY HILL ROAD
2 LOT SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

208161-01

SHEET NO.

1 OF 12

DWG. NO.

TS-01



EXISTING FEATURES LEGEND

- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- SITE BENCHMARK
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- LEGAL RIGHT OF WAY LINE
- EASEMENT LINE
- ZONING LINE
- EDGE OF PAVEMENT
- EDGE OF DRIVE
- BUILDING
- CONTOURS
- SPOT ELEVATION
- WOOD LINE
- TREE
- SOILS AND TEXT
- 15-25% STEEP SLOPES
- >25% STEEP SLOPES
- STORM SEWER
- STORM SEWER INLET
- ENDWALL
- RIPRAP
- STREAM
- RIPARIAN BUFFER LINE
- OVERHEAD UTILITY WIRES
- UTILITY POLE
- PERCOLATION TEST HOLE
- SOIL TEST PIT
- SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

- TREE PROTECTION FENCE
- WOODS LINE

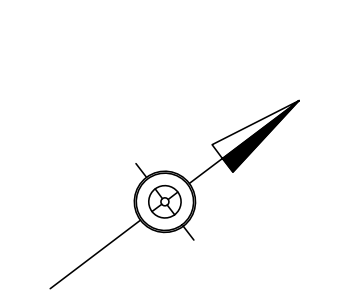
| TREE SURVEY LIST (FROM "HUGANIR PROPERTY SUBDIVISION" (WITHIN 100'x100' EXISTING TREE SURVEY AREA)) | | |
|---|--------------|------|
| NO. | SPECIES | CAL. |
| 1. | ASH | 20" |
| 2. | BLACK CHERRY | 12" |
| 3. | BLACK WALNUT | 18" |
| 4. | OAK | 18" |
| 5. | OAK | 10" |
| 6. | BLACK CHERRY | 6" |
| 7. | ASH | 14" |
| 8. | BLACK WALNUT | 18" |
| 9. | BLACK WALNUT | 18" |
| 10. | BLACK WALNUT | 14" |
| 11. | MAPLE | 18" |
| 12. | BLACK CHERRY | 8" |
| 13. | ASH | 6" |
| 14. | ASH | 6" |
| 15. | ASH | 6" |
| 16. | HICKORY | 6" |
| 17. | BLACK WALNUT | 12" |
| 18. | BLACK WALNUT | 6" |
| 19. | BLACK WALNUT | 12" |
| 20. | ASH | 10" |
| 21. | ASH | 6" |
| 22. | ASH | 6" |
| 23. | ASH | 6" |
| 24. | MAPLE | 12" |
| 25. | BLACK CHERRY | 6" |
| 26. | BLACK CHERRY | 6" |

SOILS LEGEND

| MAP UNIT SYMBOL | MAP UNIT NAME | SUITABILITY FOR CONSTRUCTION |
|-----------------|---|------------------------------|
| LoD | LANSDALE LOAM, 15-25 PERCENT SLOPES | VERY LIMITED |
| PIC | PENN-LANSDALE COMPLEX, 8-15 PERCENT SLOPES | VERY LIMITED |
| RhB | REAVILLE SILT LOAM, 3-8 PERCENT SLOPES | VERY LIMITED |
| RhC | REAVILLE SILT LOAM, 8-15 PERCENT SLOPES | VERY LIMITED |
| Rt | ROWLAND SILT LOAM, TERRACE | VERY LIMITED |
| UryB | URBAN LAND-READINGTON COMPLEX, 0-8 PERCENT SLOPES | NOT RATED |



| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



| | |
|------|------|
| SEAL | SEAL |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

| | |
|---------|----------|
| MANAGER | |
| NEF | |
| DESIGN | CHKD. BY |
| NEF | |
| DRAFT | CHKD. BY |
| DPC | |
| FILE | DATE |
| MIK-03 | 1/15/25 |
| NOTES | SCALE |
| | 1"=40' |

BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

| |
|--|
| CLIENT |
| ARDEN RESERVE, LLC P.O. BOX 243 FAIRVIEW VILLAGE, PA 19409 (610) 539-8088 |

| | |
|---|----------------------|
| EXISTING RESOURCES & SITE ANALYSIS PLAN | JOB NO. 208161-01 |
| 1038 WINDY HILL ROAD 2 LOT SUBDIVISION | SHEET NO. 3 OF 12 |
| WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA | DWG. NO. EC-01 |

GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS FROM A FIELD SURVEY PERFORMED BY BURSICH ASSOCIATES, INC. PERFORMED IN JULY, 2021.
2. HORIZONTAL DATUM: NORTH AMERICAN DATUM (NAD) 83 (PA STATE PLANE SOUTH).
3. VERTICAL DATUM: NAVD 88.
4. SITE BENCH MARK: RIM OF SANITARY SEWER MANHOLE LOCATED AT THE SOUTH EAST END OF ARTMAR, AT ITS INTERSECTION WITH ETHEL AVENUE, 32' +/- SW OF PECO POLE #80430, ELEVATION 473.08.
5. REFERENCE PLAN: FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR "HUGANIR PROPERTY SUBDIVISION", PREPARED BY BURSICH ASSOCIATES, INC., SHEETS 1-44 OF 44, DATED 11/30/21, LAST REVISED 4/20/23.
6. THE LOCATION OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH, OR HORIZONTAL OR VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION IN ACCORDANCE WITH PENNSYLVANIA ACT 38 "ONE CALL" SYSTEM. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY THEIR WORKFORCE.
7. A PA ONE CALL WAS PERFORMED FOR DESIGN PURPOSES, SERIAL NUMBERS 20211123249 & 2021123288.
8. BY GRAPHIC PLOTTING ONLY, THE PREMESIS SHOWN HEREON LIES DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA), AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 42091C0245G, EFFECTIVE DATE: 03/02/2016.
9. IT IS NOT THE INTENT OF THIS PLAN TO ILLUSTRATE ANY SUBSURFACE CONDITIONS SHOULD THEY EXIST, I.E. BURIED TANKS, SEEPAGE BEDS, TILE FIELDS, ETC.
10. A WETLAND/WATERS DETERMINATION FOR THE SUBJECT SITE WAS PERFORMED BY NOVA CONSULTANTS, LTD. NEWTOWN, PA, AND DOCUMENTED IN A REPORT DATED MAY, 2021, CONCLUDING THAT NO WETLANDS OF HYDRIC CLASS SOILS EXIST AND THE UPPER REACH DRAINAGE FEATURES ARE EPHEMERAL, EROSIONAL, ARE NOT MAPPED BY USFS/RWS SERVICE, AND REPRESENT INTERMITTENT STORMWATER RUNOFF FEATURES DUE TO SLOPE POSITION AND SLOPE DECLIVITY.
11. SOILS INFORMATION SHOWN FROM INFORMATION CONTAINED ON THE USDA - NRCS WEB SOIL SURVEY.
12. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP, AUTHORITY, OR OTHER PUBLIC UTILITY CONCERNED.
13. THE RESPECTIVE LOT OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND BEST MANAGEMENT PRACTICES (BMPs) LOCATED ON THEIR LOT. NO CHANGES SHALL BE MADE TO THE FACILITIES, PIPES, STRUCTURES, OR FINISHED GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE MUNICIPALITY AND ANY APPLICABLE GOVERNMENTAL REGULATORY AGENCIES. REPRESENTATIVES OF THE MUNICIPALITY AND/OR OTHER APPLICABLE GOVERNMENTAL AGENCIES SHALL HAVE THE PERMISSION TO ACCESS THE STORMWATER MANAGEMENT FACILITIES THROUGH A BLANKET EASEMENT OVER THE SUBJECT PROPERTY TO ALLOW ENTRY TO PERFORM INSPECTIONS, AND TO ALLOW ENTRY AND EXECUTION OF ALL NECESSARY REPAIRS TO THE FACILITIES SHOULD THE HOA FAIL TO MAINTAIN THE FACILITIES IN ACCORDANCE WITH THE APPROVED PLAN.
14. THE INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR THEIR OWN SOLID WASTE STORAGE AND DISPOSAL.
15. EACH PROPOSED LOT WILL BE SERVED BY A PRIVATE INDIVIDUAL WELL FOR DOMESTIC WATER SUPPLY. WELL PERMITS MUST BE OBTAINED FROM THE MONTGOMERY COUNTY HEALTH DEPARTMENT PRIOR TO COMMENCING DWELLING CONSTRUCTION ON ANY LOT.
16. EACH PROPOSED LOT WILL BE SERVED BY A PRIVATE, INDIVIDUAL ON-SITE SEWAGE DISPOSAL FACILITY. SOIL TESTING WAS PERFORMED BY PENNS TRAIL ENVIRONMENTAL ON 7/28/2023 & 12/1/2023, AND FIELD LOCATED BY BURSICH ASSOCIATES, INC.
17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE APPLICABLE STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
18. UNLESS NOTED OTHERWISE NO THE PLANS OR IN THE PERMITS GOVERNING THE WORK, ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING APPROPRIATE STANDARDS AND SPECIFICATIONS:
- WORCESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND AMENDMENTS, AND CONSTRUCTION SPECIFICATIONS
 - PENNDOT PUBLICATION 408 SPECIFICATIONS, LATEST EDITION AND ALL ADDENDA.
19. ALL LOT CORNERS SHALL BE PERMANENTLY MARKED AFTER FINAL GRADING HAS BEEN COMPLETED. MARKERS SHALL BE AT LEAST FIVE-EIGHTHS-INCH METAL PINS WITH A MINIMUM LENGTH OF 24 INCHES, LOCATED IN THE GROUND TO EXISTING GRADE.
20. THIS PLAN IS PREPARED FOR LAND DEVELOPMENT PURPOSES ONLY. ADDITIONAL DATA MAY BE NECESSARY FOR CONSTRUCTION.
21. THE PROPOSED DWELLING UNITS DEPICTED ON THE PLANS ARE SUBJECT TO ALL APPLICABLE TOWNSHIP ORDINANCES AND REGULATION. INDIVIDUAL DWELLING UNIT FOOTPRINTS ARE APPROXIMATE. FINAL DWELLING UNIT FOOTPRINTS AND ELEVATIONS WILL BE SUBMITTED DURING THE BUILDING PERMIT APPLICATION PHASE AS DETERMINED AT THE TIME OF INDIVIDUAL LOT SALES.
22. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
24. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT AND SIDEWALKS TO REMAIN, AND PROVIDE A SAFE WORK AREA.
25. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCIES OF THE BEGINNING DATE OF CONSTRUCTION AND IS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCIES.
26. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS /MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF IDENTIFIED WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.

GRADING & UTILITY GENERAL NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS IN THE PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND UNSUITABLE MATERIAL AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS BEING DONE, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN ANY BUILDING PAD AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. ALL SPOT ELEVATIONS SHOWN ON THE PLANS ARE BOTTOM FACE OF CURB OR TOP OF FINISHED PAVING UNLESS OTHERWISE NOTED.
3. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2 PERCENT AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1 PERCENT. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE (2% MIN.) IN ALL PROPOSED GRASS AREAS AWAY FROM ALL STRUCTURES.
4. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING UNITS. SLOPES AND SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE SHALL BE IN ACCORDANCE WITH BUILDING CODE OR A MINIMUM SLOPE OF 2%, AND MINIMUM SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE OF 8-INCHES, WHICHEVER CONTROLS.
5. THE CONTRACTOR SHALL COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST STANDARDS OF OSHA OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINT THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMITON IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS INA MANNER WHICH WILL NOT NEGATIVELY AFFECT ABT EXISTING USERS OF THESE UTILITIES.
7. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND DOCUMENTS FOR ACTUAL LOCATIONS OF ALL CONNECTION POINTS INCLUDING SEWAGE & WATER SERVICES, ELECTRICAL, TELEPHONE, GAS, AND CABLE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
8. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IN WRITING.
9. ALL UTILITIES SHALL BE PLACED UNDERGROUND. CONSTRUCTION OF UTILITIES SHALL BE TO THE PROPER STANDARDS OF THE APPLICABLE UTILITY AUTHORITY.

MINIMUM HORIZONTAL ISOLATION DISTANCE
TABLE FOR ON-LOT SEWAGE SYSTEMS

| | | |
|--|---|---------|
| A. SEPTIC TANKS: | | |
| PROPERTY LINE, EASEMENT, RIGHT-OF-WAY | - | 10 FT. |
| BUILDINGS, POOLS & DRIVEWAYS | - | 10 FT. |
| INDIVIDUAL WATER SUPPLY | - | 50 FT. |
| WATER SUPPLY LINE UNDER PRESSURE | - | 10 FT. |
| STREAMS, LAKES OR OTHER SURFACE WATERS | - | 25 FT. |
| B. ABSORPTION AREA: | | |
| PROPERTY LINE, EASEMENT, RIGHT-OF-WAY | - | 10 FT. |
| BUILDINGS, POOLS & DRIVEWAYS | - | 10 FT. |
| INDIVIDUAL WATER SUPPLY | - | 100 FT. |
| WATER SUPPLY LINE UNDER PRESSURE | - | 10 FT. |
| STREAMS, LAKES OR OTHER SURFACE WATERS | - | 50 FT. |
| (EXCLUDES WETLANDS) | | |
| OTHER ACTIVE ON-LOT SYSTEMS | - | 5 FT. |
| SURFACE DRAINAGE WAY | - | 10 FT. |
| NATURAL OR MAN MADE SLOPE > 25% | - | 10 FT. |
| DETENTION BASINS, RETENTION BASINS & STORMWATER SEEPAGE BEDS | - | 10 FT. |

WAIVERS REQUESTED

THE FOLLOWING ARE THE FORMAL WRITTEN MODIFICATIONS (I.E. "WAIVER") REQUESTED FROM THE REQUIREMENTS OF THE WORCESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE - CHAPTER 130:

- SECTION 130-28.E.2. - A WAIVER FOR REPLACEMENT OF ALL TREES OVER 6" CALIPER IN EXCESS OF THE PERMITTED 25% REMOVAL. THE SITE IS WOODED, MUCH OF WHICH WILL REMAIN, AND THE DISTURBED AREAS PROVIDE THE AREA NEEDED TO ACCOMMODATE THE DWELLING, DRIVEWAY, SEPTIC, WELL, AND USABLE YARD AREAS FOR EACH LOT.
- SECTION 130-28.G.(5) - A WAIVER TO ALLOW THE EXISTING WOODS/VEGETATION TO SUFFICE TO SATISFY THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS.

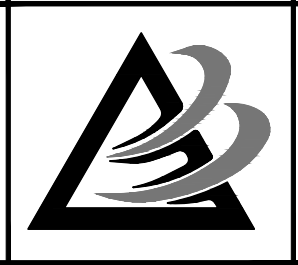
ZONING DATA

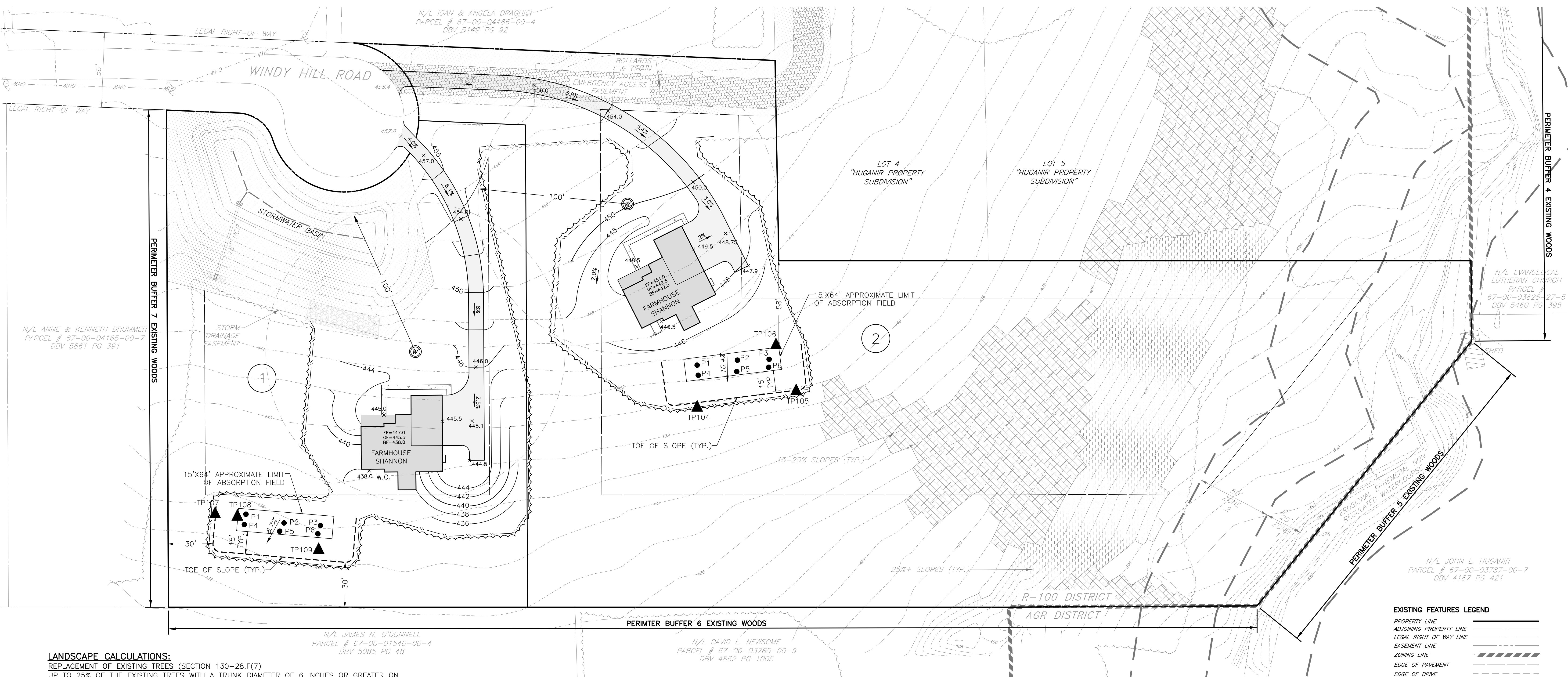
R-100 RESIDENTIAL DISTRICT
PROPOSED USE: SINGLE FAMILY DETACHED DWELLING
SEWER: PRIVATE, INDIVIDUAL ON-LOT
WATER: PRIVATE, INDIVIDUAL WELL

| | REQUIRED | PROPOSED LOT 1 | LOT 2 |
|--|-------------|-------------------|--------------|
| MIN. LOT AREA | 60,000 S.F. | 74,532 S.F. | 136,059 S.F. |
| MIN. FRONTAGE ABUTTING PUBLIC STREET RIGHT-OF-WAY LINE | 50 FT. | 218 FT. | 74 FT. |
| MIN. LOT WIDTH AT BLDG. LINE | 200 FT. | 240 FT. | 369 FT. |
| MIN. LOT DEPTH | 250 FT. | 332 FT. | 632 FT. |
| MIN. BUILDING SETBACKS | | | |
| FRONT YARD (F.Y.) | 50 FT. | 50 FT. | 50 FT. |
| REAR YARD (R.Y.) | 75 FT. | 75 FT. | 75 FT. |
| SIDE YARD (S.Y.) | 25 FT. | 25 FT. | 25 FT. |
| MAX. BUILDING COVERAGE | 20% | 3.3% | 1.8% |
| MAX. IMPERVIOUS COVERAGE | 30% | 7.4% | 4.5% |
| MAX. BUILDING HEIGHT | 35 FT. | ≤35 FT. | ≤35 FT. |

PARKING - A MINIMUM OF 2 OFF-STREET PARKING SPACES SHALL BE REQUIRED FOR EACH DWELLING UNIT. 2 SPACES 2 SPACES

| LOT TABLE | | | | | | | |
|-----------|-----------------------------------|------------------------------------|-----------------------------|---------------------------------------|--|-----------------------|--|
| LOT # | LOT AREA TO ULTIMATE RIGHT-OF-WAY | FLOODPLAINS/ WETLANDS/ WATER AREAS | ACCESS LEG AREA OF FLAG LOT | ACCESS PORTION OF LOT W/ WIDTH <70 FT | OVERHEAD UTILITY LINE OR UNDERGROUND GAS PIPELINE EASEMENT/RIGHT-OF-WAY AREA | STEEP SLOPE AREA >25% | % OF STEEP SLOPE AREA BETWEEN 15% TO 25% |
| 1 | 1.71 AC. (74,532 SF) | 0.00 AC | 0.00 AC | 0.00 AC | 0.00 AC | 0.00 AC | 0.00 AC |
| 2 | 3.68 AC. (160,348 SF) | 0.00 AC | 0.00 AC | 0.00 AC | 0.00 AC | 0.36 AC | 0.20 AC |
| | | | | | | | 1.71 AC. (74,532 S.F.) |
| | | | | | | | 3.12 AC. (136,059 S.F.) |

| | | | | | | | | | | | |
|-----|--|----------|--|------|------|------|----------------|---|--|--|----------------------|
| | | | | | SEAL | SEAL | MANAGER NEF |  <div>BURSICH ASSOCIATES ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS 2129 EAST HIGH STREET POTTSTOWN, PA 19464 610.323.4040</div> | CLIENT ARDEN RESERVE, LLC P.O. BOX 243 FAIRVIEW VILLAGE, PA 19409 (610) 539-8088 | PROJECT DATA & NOTES 1038 WINDY HILL ROAD 2 LOT SUBDIVISION WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA | JOB NO. 208161-01 |
| | | | | | | | DESIGN NEF | CHKD. BY | | | SHEET NO. 4 OF 12 |
| | | | | | | | DRAFT DPC | CHKD. BY | | | DWG. NO. PN-01 |
| | | | | | | | FILE MIK-03 | DATE 1/15/25 | | | |
| | | | | | | | NOTES | SCALE | | | |
| NO. | | REVISION | | DATE | BY | | | | | | |



LANDSCAPE CALCULATIONS:

REPLACEMENT OF EXISTING TREES (SECTION 130-28.F(7))
UP TO 25% OF THE EXISTING TREES WITH A TRUNK DIAMETER OF 6 INCHES OR GREATER ON THE SITE CAN BE REMOVED WITHOUT THE NEED FOR REPLACEMENT. IF MORE THAN 25% OF THE TREES ARE REMOVED, THE AMOUNT OF TREES WHICH EXCEEDS THE ALLOWED 25% REMOVAL SHALL BE REPLACED.

THE AMOUNT OF EXISTING TREES ON THE SITE WAS CALCULATED BY DETERMINING THE NUMBER OF TREES WITHIN A 100' BY 100' SQUARE AND APPLYING A RATIO OF THAT NUMBER OF TREES OVER THE ENTIRE WOODED AREA OF THE SITE. WITHIN THE 100' BY 100' AREA SURVEYED (IN THE MIDDLE OF THE WOODS) THERE WERE:

| TREES | DIAMETERS | TOTAL |
|----------|--------------------|-------|
| CHERRY'S | 6", 6", 6", 8" | 26" |
| WALNUTS | 14", 18", 18", 18" | 68" |
| OAKS | 10", 18" | 28" |
| MAPLE | 12" | 12" |
| HICKORY | 6" | 6" |

AVERAGE CALIPER INCHES OF TREES= *140"
* ASH TREES WERE NOT INCLUDED SINCE THEY WERE DEAD OR IN DECLINE.

WOODLAND DISTURBANCE CALCULATION:

| | |
|---|------------|
| EXISTING WOODS | 177,899 SF |
| WOODLANDS DISTURBED | 50,458 SF |
| PERMITTED 25% WOODLAND DISTURBANCE | 44,475 SF |
| WOODLANDS TO BE REPLACED WHICH EXCEED THE PERMITTED 25% DISTURBANCE | 5,985 SF |

AT AN AVERAGE OF 140 CALIPER INCHES OF TREES PER A 10,000 SF AREA THEN 84 CALIPER INCHES OF TREES WOULD NEED TO BE REPLACED.
(5,985 SF / 10,000 SF = 0.599 100'X100' UNITS)
0.599 X 140 CALIPER INCHES/UNIT = 84 CALIPER INCHES

A WAIVER TO NOT REPLACE THE 84 CALIPER INCHES OF WOODS IS REQUESTED.

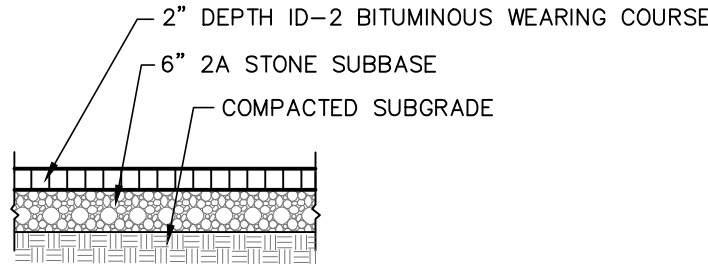
LANDSCAPE CALCULATIONS CONTINUED:

PERIMETER BUFFERS SECTION 130-28.G(5)

-PERIMETER BUFFERS 4 THROUGH 7 WILL UTILIZE THE EXISTING WOODS AS BUFFERING.

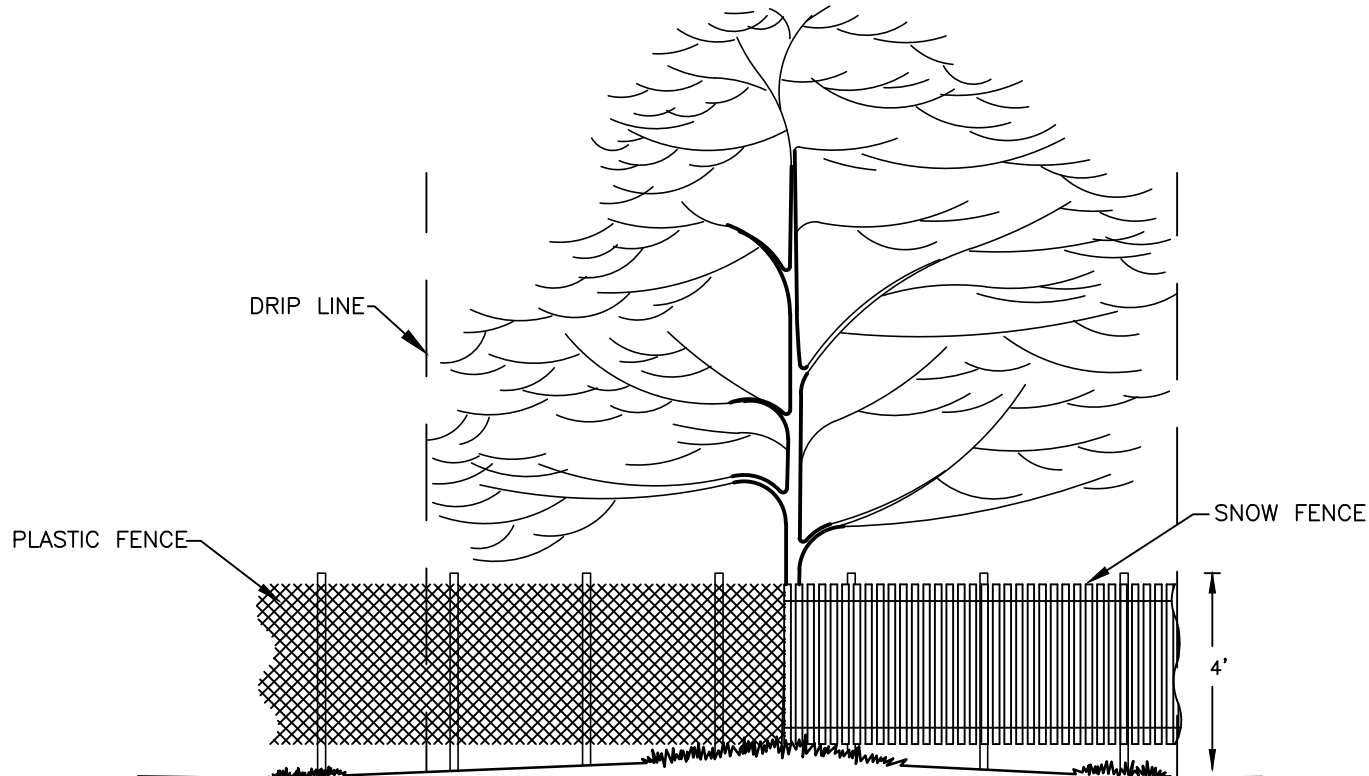
SINGLE FAMILY DETACHED DWELLINGS LANDSCAPING SECTION 130-28.G(9)

-EACH LOT SHALL HAVE A MINIMUM OF 3 DECIDUOUS OR EVERGREEN TREES
PROVIDED
LOTS WILL HAVE MORE THAN THREE EXISTING TREES LOCATED ON THEM.



TYPICAL INDIVIDUAL LOT DRIVEWAY PAVEMENT SECTION

NOT TO SCALE

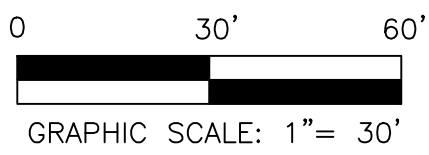


TREE PROTECTION FENCING

NOT TO SCALE

PROPOSED LEGEND

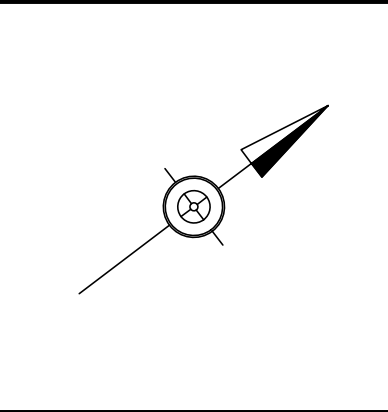
| | |
|--------------------------|--|
| PROPERTY LINE | |
| LOT NUMBER | |
| BUILDING | |
| EDGE OF DRIVE | |
| SIDEWALK | |
| SEWER LATERAL & CLEANOUT | |
| WELL | |
| INTERMEDIATE CONTOUR | |
| INDEX CONTOUR | |
| SPOT ELEVATION | |
| DIRECTION OF FLOW | |
| TREE PROTECTION FENCE | |
| WOODS LINE | |



EXISTING FEATURES LEGEND

| | |
|---------------------------------------|--|
| PROPERTY LINE | |
| ADJOINING PROPERTY LINE | |
| LEGAL RIGHT OF WAY LINE | |
| EASEMENT LINE | |
| ZONING LINE | |
| EDGE OF PAVEMENT | |
| EDGE OF DRIVE | |
| BUILDING | |
| CONTOURS | |
| SPOT ELEVATION | |
| WOOD LINE | |
| TREE | |
| 15-25% STEEP SLOPES | |
| >25% STEEP SLOPES | |
| STORM SEWER | |
| STORM SEWER INLET | |
| ENDWALL | |
| RIPRAP | |
| STREAM | |
| RIPARIAN BUFFER LINE | |
| OVERHEAD UTILITY WIRES | |
| UTILITY POLE | |
| PERCOLATION TEST HOLE | |
| SOIL TEST PIT | |
| SLANTED TEXT DENOTES EXISTING FEATURE | |

| | | | |
|-----|----------|------|----|
| NO. | REVISION | DATE | BY |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



| | |
|------|------|
| SEAL | SEAL |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

| | |
|---------|--------|
| MANAGER | NEF |
| DESIGN | NEF |
| DRAFT | DPC |
| FILE | MIK-03 |
| NOTES | SCALE |
| | 1"=30' |

| | |
|----------|---------|
| CHKD. BY | |
| CHKD. BY | |
| DATE | 1/15/25 |
| SCALE | 1"=30' |

BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2128 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

| | |
|--------|--|
| CLIENT | ARDEN RESERVE, LLC P.O. BOX 243 FAIRVIEW VILLAGE, PA 19409 (610) 539-8088 |
|--------|--|

| | |
|---|----------------------|
| IMPROVEMENT CONSTRUCTION PLAN | JOB NO. 208161-01 |
| 1038 WINDY HILL ROAD 2 LOT SUBDIVISION | SHEET NO. 5 OF 12 |
| WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA | DWG. NO. IP-01 |

OFFSITE DISCHARGE

AN OFFSITE DISCHARGE ANALYSIS HAS BEEN COMPLETED FOR THE SITE AND ALL WATERSHEDS WILL HAVE A DECREASE IN STORMWATER FLOWS AND DISCHARGES FOLLOW EXISTING FLOW PATHS. THEREFORE THE APPLICANT HAS THE RIGHT TO DISCHARGE AND WILL NOT CAUSE A NUISANCE TO DOWNSLOPE PROPERTIES.

ASBUILT REQUIREMENTS

APPLICANT SHALL PROVIDE TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP FINAL AS-BUILT PLANS (SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL) OF ALL BMPs, CONVEYANCES, OTHER STORMWATER FACILITIES AND RELATED IMPROVEMENTS SHOWN IN THE FINAL APPROVED SWM SITE SITE.

REGULATORY APPROVALS REQUIRED

- NPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- EROSION AND SEDIMENT CONTROL PLAN LETTER OF ADEQUACY.

GENERAL NOTES

- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- ANY DAMAGE THAT OCCURS AS A RESULT OF THE BASIN OR TRAP DISCHARGE WILL BE REPAIRED IN A PERMANENT MANNER THAT IS SATISFACTORY TO THE MUNICIPALITY, CONSERVATION DISTRICT AND DOWN SLOPE LANDOWNER(S).
- ANY OFFSITE WASTE AND BORROW AREA MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE MCOCD PRIOR TO BEING ACTIVATED.
- THE PCSM PLANS, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP.
- THE STORMWATER DESIGN HAS TAKEN INTO ACCOUNT AN ADDITIONAL 436 SQUARE FEET (0.01 ACRES) OF FUTURE IMPERVIOUS TO SUPPORT HOMEOWNERS INSTALLING SHEDS, PATIOS, ETC.

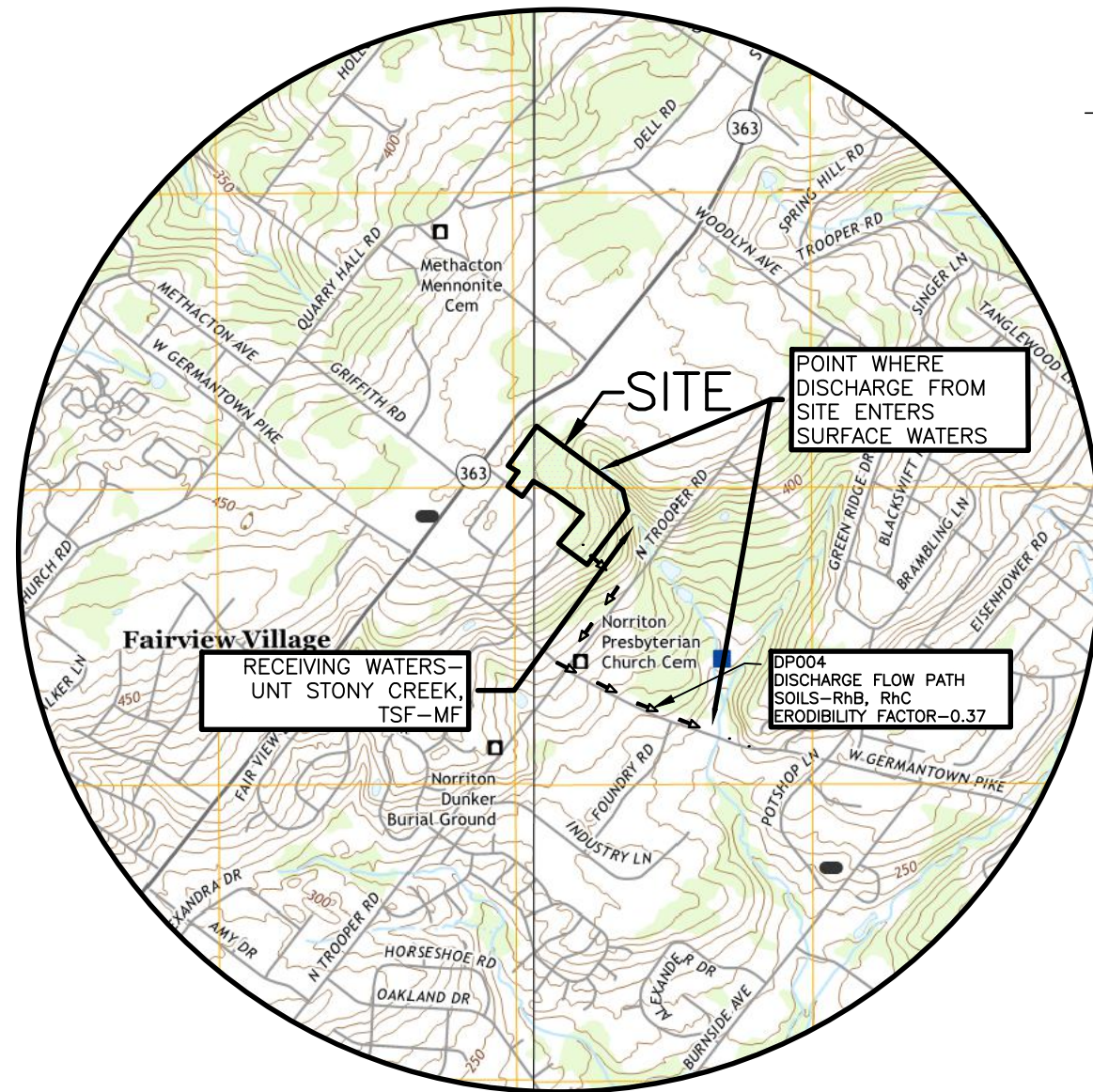
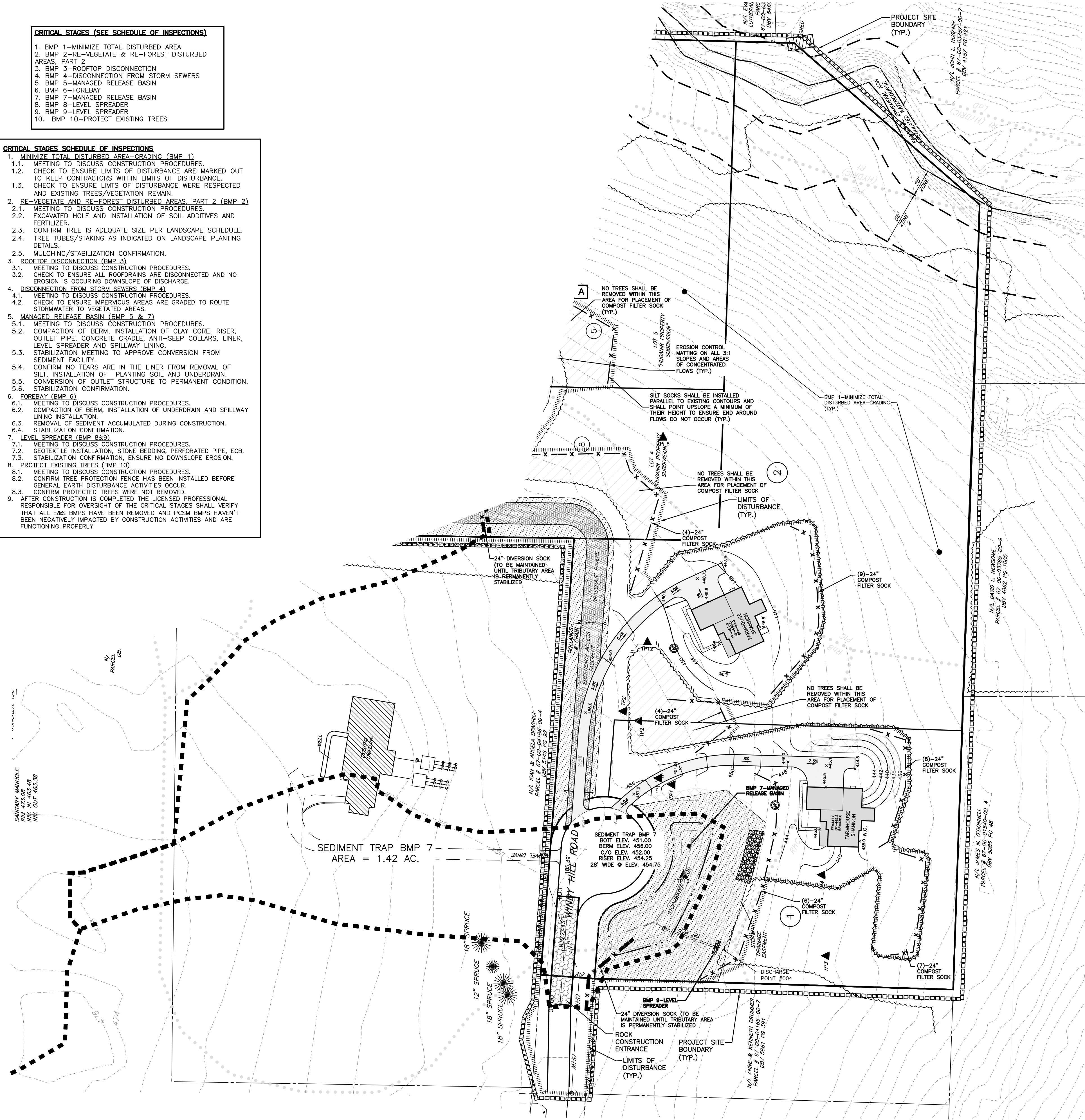
BMP 1-MINIMIZE TOTAL DISTURBED AREA-GRADING:
ALL AREAS OUTSIDE LIMITS OF DISTURBANCE & WITHIN LIMITS OF NPDES SHALL BE CONSIDERED MINIMIZE TOTAL DISTURBED AREA

CRITICAL STAGES (SEE SCHEDULE OF INSPECTIONS)

- BMP 1-MINIMIZE TOTAL DISTURBED AREA
- BMP 2-RE-VEGETATE & RE-FOREST DISTURBED AREAS, PART 2
- BMP 3-ROOFTOP DISCONNECTION
- BMP 4-DISCONNECTION FROM STORM SEWERS
- BMP 5-MANAGED RELEASE BASIN
- BMP 6-FOREBAY
- BMP 7-MANAGED RELEASE BASIN
- BMP 8-LEVEL SPREADER
- BMP 9-LEVEL SPREADER
- BMP 10-PROTECT EXISTING TREES

CRITICAL STAGES SCHEDULE OF INSPECTIONS

- MINIMIZE TOTAL DISTURBED AREA-GRADING (BMP 1)
 - 1.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 1.2. CHECK TO ENSURE LIMITS OF DISTURBANCE ARE MARKED OUT TO KEEP CONTRACTORS WITHIN LIMITS OF DISTURBANCE.
 - 1.3. CHECK TO ENSURE LIMITS OF DISTURBANCE WERE RESPECTED AND EXISTING TREES/VEGETATION REMAIN.
- RE-VEGETATE AND RE-FOREST DISTURBED AREAS, PART 2 (BMP 2)
 - 2.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 2.2. EXCAVATED HOLE AND INSTALLATION OF SOIL ADDITIVES AND FERTILIZER.
 - 2.3. CONFIRM TREE IS ADEQUATE SIZE PER LANDSCAPE SCHEDULE.
 - 2.4. TREE TUBES/STAKING AS INDICATED ON LANDSCAPE PLANTING DETAILS.
 - 2.5. MULCHING/STABILIZATION CONFIRMATION.
- ROOFTOP DISCONNECTION (BMP 3)
 - 3.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 3.2. CHECK TO ENSURE ALL ROOFDRAINS ARE DISCONNECTED AND NO EROSION IS OCCURRING DOWNSLOPE OF DISCHARGE.
- DISCONNECTION FROM STORM SEWERS (BMP 4)
 - 4.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 4.2. CHECK TO ENSURE IMPERVIOUS AREAS ARE GRADED TO ROUTE STORMWATER TO VEGETATED AREAS.
- MANAGED RELEASE BASIN (BMP 5 & 7)
 - 5.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 5.2. COMPACTION OF BERM, INSTALLATION OF CLAY CORE, RISER, OUTLET PIPE, CONCRETE CRADLE, ANTI-SEEP COLLARS, LINER, LEVEL SPREADER AND SPILLWAY LINING.
 - 5.3. STABILIZATION MEETING TO APPROVE CONVERSION FROM SEDIMENT FACILITY.
 - 5.4. CONFIRM NO TEARS ARE IN THE LINER FROM REMOVAL OF SILT, INSTALLATION OF PLANTING SOIL AND UNDERDRAIN.
 - 5.5. CONVERSION OF OUTLET STRUCTURE TO PERMANENT CONDITION.
 - 5.6. STABILIZATION CONFIRMATION.
- FOREBAY (BMP 6)
 - 6.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 6.2. COMPACTION OF BERM, INSTALLATION OF UNDERDRAIN AND SPILLWAY LINING INSTALLATION.
 - 6.3. REMOVAL OF SEDIMENT ACCUMULATED DURING CONSTRUCTION.
 - 6.4. STABILIZATION CONFIRMATION.
- LEVEL SPREADER (BMP 8&9)
 - 7.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 7.2. GEOTEXTILE INSTALLATION, STONE BEDDING, PERFORATED PIPE, ECB.
 - 7.3. STABILIZATION CONFIRMATION, ENSURE NO DOWNSLOPE EROSION.
- PROTECT EXISTING TREES (BMP 10)
 - 8.1. MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - 8.2. CONFIRM TREE PROTECTION FENCE HAS BEEN INSTALLED BEFORE GENERAL EARTH DISTURBANCE ACTIVITIES OCCUR.
 - 8.3. CONFIRM PROTECTED TREES WERE NOT REMOVED.
 9. AFTER CONSTRUCTION IS COMPLETED THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF THE CRITICAL STAGES SHALL VERIFY THAT ALL E&S BMPs HAVE BEEN REMOVED AND PCSM BMPs HAVEN'T BEEN NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES AND ARE FUNCTIONING PROPERLY.



EXISTING FEATURES LEGEND

SLANTED TEXT DENOTES EXISTING FEATURE

SITE BENCHMARK
PROPERTY LINE
ADJACENT LINE
LEGAL RIGHT OF WAY
EASEMENT LINE
BUILDING/STRUCTURE
WATERCOURSE
CONCRETE CURB
EDGE OF PAVE
EDGE OF DRAIN
CONTOURS
SPOT ELEVATION
WOOD LINE
TREES
STORM SEWER
MANC TYPE INLETS
SOILS
REPAIR BUFFER
OVERHEAD WIRES
UNDERGROUND WIRES
UTILITY POLE

PROPOSED LEGEND

VERTICAL TEXT DENOTES PROPOSED FEATURE

BUILDING
ROAD CENTERLINE
DEPRESSED CURB
EDGE OF PAVING
CURB
STORMWATER PIPE
CAN TYPE
STORMWATER INLET
HEADWALL/ENDWALL
RIP-RAP APRON
STORMWATER MANHOLE
STORMWATER STRUCTURE
IDENTIFIER
INTERMEDIATE CONTOUR
INDEX CONTOUR
WOODS LINE
LOT NUMBER
FENCE
MATCH LINE
EMERGENCY ACCESS
UNDERGROUND ELECTRIC
TELECOMMUNICATIONS
TOPSOIL STOCK PILE
COMPOST FILTER SOCK
DIVERSION SOCK
CHANNEL LINING
TRIBUTARY AREA
TO SED. BASIN
TEMPORARY GRADING
CONSTRUCTION
ENTRANCE
CONCRETE WASHOUT
INLET PROTECTION
SPILLWAY MATING
EROSION CONTROL
MATING
LIMIT OF DISTURBANCE
LIMIT OF NPDES
CLEAN OUT STAKE
INFILTRATION TEST PIT

COMPOST FILTER SOCKS TO BE INSTALLED WITHIN THE EXISTING TREELINE
NO TREES SHALL BE REMOVED.
AREA IS SHOWN WITHIN THE LIMIT OF DISTURBANCE TO INCLUDE THE PLACEMENT OF THE COMPOST FILTER SOCK BUT THERE WILL BE NO EARTH DISTURBANCE WITHIN THIS AREA.

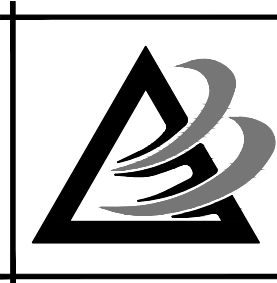


Stop - Call Before You Dig!
Pennsylvania Act 287 of 1974 as amended by Act 50 of 2017 73P.S. §176 et. seq. requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776

| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

| | |
|------|------|
| SEAL | SEAL |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

| | |
|---------|--------|
| MANAGER | NEF |
| DESIGN | NEF |
| DRAFT | DPC |
| FILE | MIK-03 |
| NOTES | SCALE |
| | |
| | |
| | |
| | |
| | |



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19404
610.323.4040

www.bursich.com

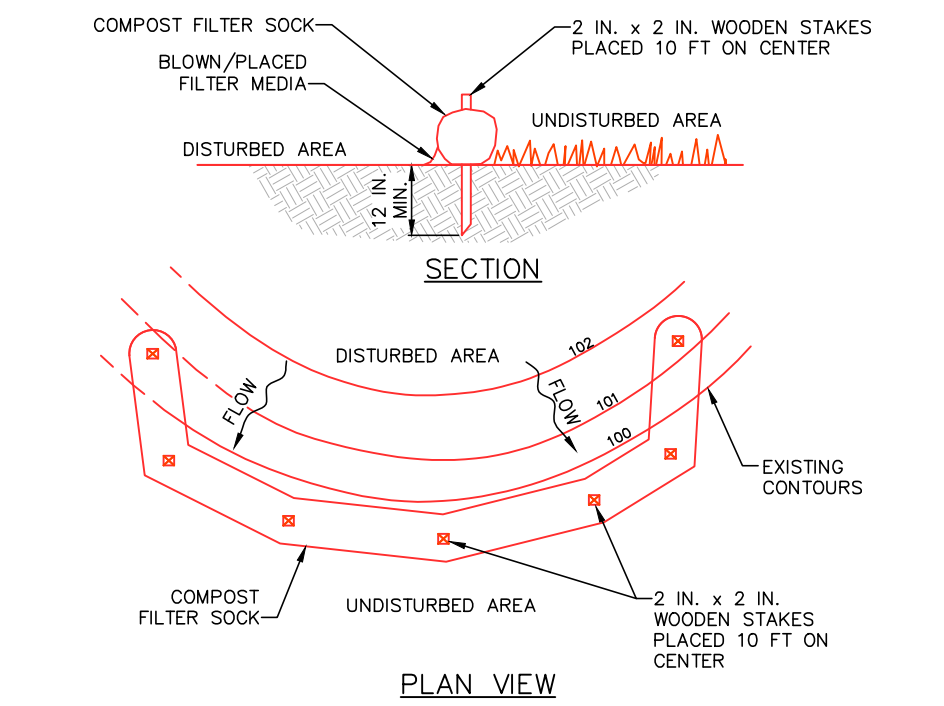
CLIENT
ARDEN RESERVE, LLC
P.O. BOX 243
FAIRVIEW VILLAGE, PA 19409
(610) 539-8088

EROSION & SEDIMENT CONTROL PLAN

1038 WINDY HILL ROAD
2 LOT SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

| | |
|-----------|-----------|
| JOB NO. | 208161-01 |
| SHEET NO. | 6 OF 12 |
| DWG. NO. | ES-01 |



The image contains two technical drawings of a filter ring structure.

SECTION NTS (Cross-section): This diagram shows a cross-section of the filter ring. It features a horizontal line representing the ground surface. Below this line is a shaded, semi-circular area representing the filter ring. Two vertical lines, labeled "2' X 2' X 36' WOODEN STAKES PLACED 5' O.C.", extend from the ground surface down into the filter ring. A horizontal line within the filter ring is labeled "MAXIMUM DEPTH OF CONCRETE WATER IS 50% OF FILTER RING HEIGHT". A vertical line on the right side of the filter ring is labeled "24' DIAMETER COMPOST FILTER SOCK".

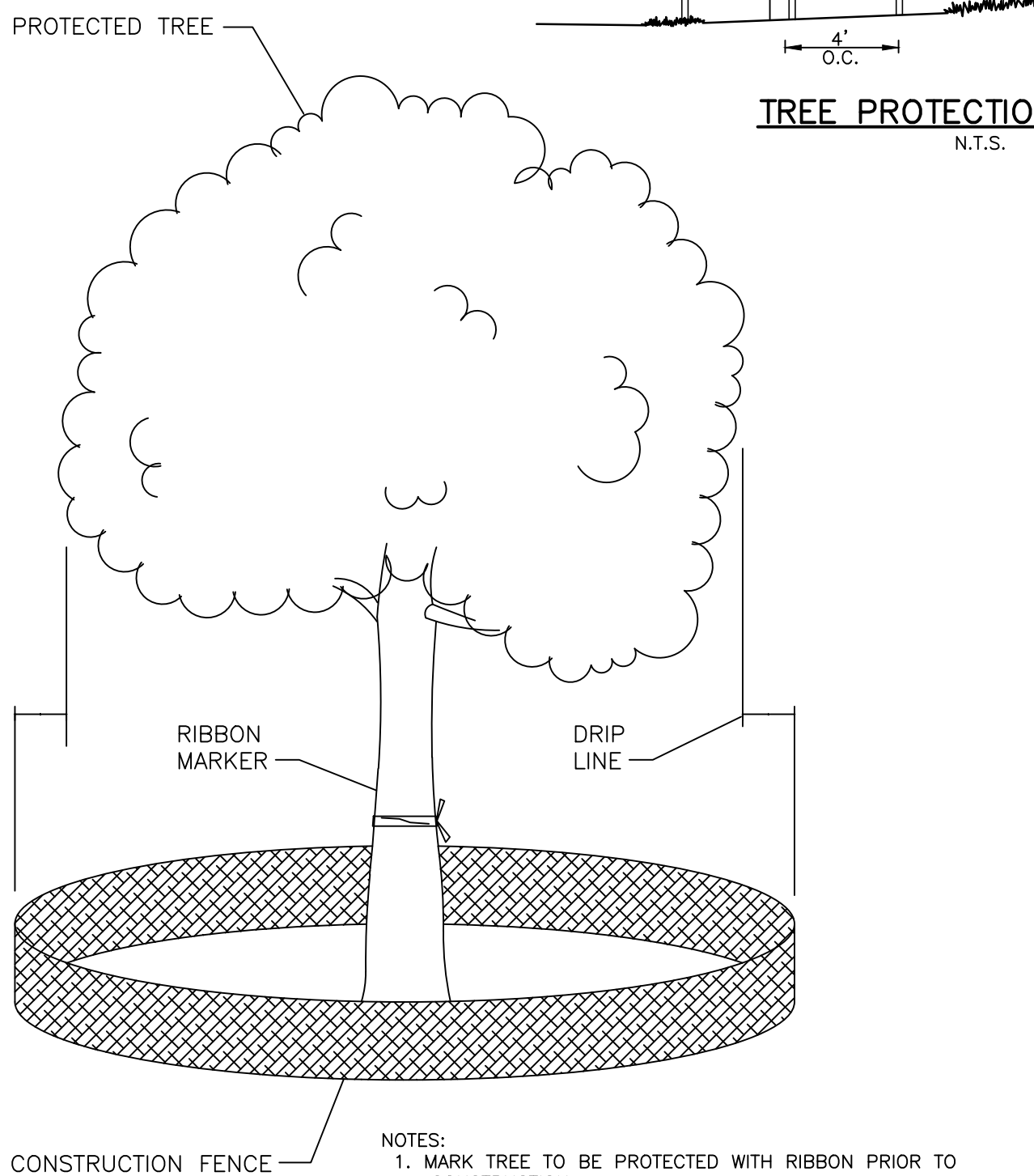
PLAN NTS (Plan view): This diagram shows a top-down view of the filter ring. It is a circular structure with a shaded outer ring and a white inner circle. The outer ring is labeled "2' X 2' X 36' WOODEN STAKES PLACED 5' O.C.". A line enters the ring from the top right, labeled "DIRECT CONCRETE WASHOUT WATER INTO FILTER RING". A curved line on the right side of the ring is labeled "24' DIAMETER COMPOST FILTER SOCK - 4' MIN. OVERLAP ON UPSLOPE SIDE OF FILTER RING". A north arrow is located at the bottom left of the diagram.

SPECIFICATIONS: The Department recommends the use of the Penn State publication "Erosion Control & Conservation Plantings on Noncropland" as the standard to use for the selection of species, seed specifications, mixtures, liming and fertilizing, time of seeding, and seeding methods. Specifications for these items may also be obtained from Penn DOT's Publication #408, Section 804 or by contacting the applicable county conservation district, upon selection of a reference, that reference should be used to provide all specifications for seeding, mulching, and soil amendments. The following specification will be used for this project:

ANCHOR METHOD: STAPLES
RATE OF ANCHOR MATERIAL APPL.: 2000 LB./ACRE
**SEEDING SEASON DATES: (FESCUE (MARCH 15-JUNE 1) & (AUGUST 1-OCTOBER 15)) (RYE-3/1 -

NOTES

1. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
2. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT FINISHED WITHIN THE SPECIFIED TIME FRAME WITHIN ONE YEAR MUST BE STABILIZED WITH THE SAME TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
3. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.
4. SEEDING SHALL BE COMPLETED PRIOR TO SEEDING AND MULCHING TO DETERMINE THE PROPER SOIL AMENDMENTS AND APPLICATION RATES FOR THE PROPOSED SEED MIXTURES, IF SOIL TESTS ARE NOT COMPLETED SOIL AMENDMENTS SHOULD BE ADDED AT THE RATES SPECIFIED BY THE SELECTED SEEDING REFERENCE ABOVE.
5. SEEDS WHICH MAY BE DAMAGED OR KILLED BY EXCESSIVE APPLICATION OF FERTILIZER OR APPLICATION TO PREVENT BEING BLOWN AWAY BY A TRACTOR DRAWN IMPLEMENT MAY BE USED TO "GRIMP" THE STRAW OR HAY INTO THE SOIL, ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR



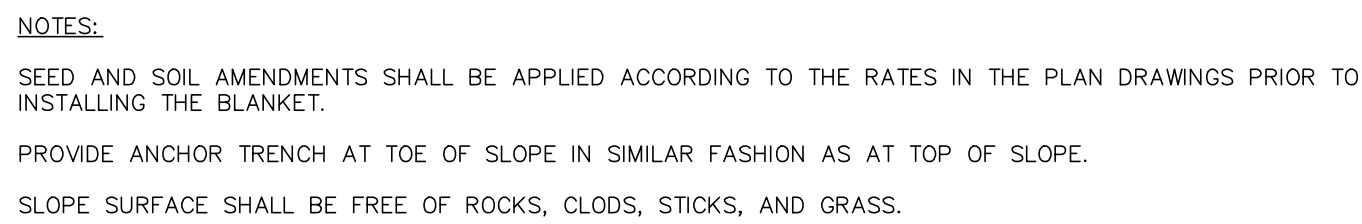
A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%, FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.



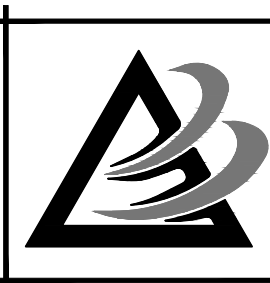
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

| | | |
|----------|------|----|
| | | |
| | | |
| | | |
| | | |
| | | |
| REVISION | DATE | BY |

| | | | |
|------|------|----------------|-----------------|
| SEAL | SEAL | MANAGER | |
| | | NEF _____ | |
| | | DESIGN NEF | CHKD. BY |
| | | DRAFT DPC | CHKD. BY |
| | | FILE MIK-03 | DATE 1/15/25 |
| | | NOTES | SCALE |



BURSICH
ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

ARDEN RESERVE, LLC
P.O. BOX 243
FAIRVIEW VILLAGE, PA 19409
(610) 539-8088

EROSION & SEDIMENT CONTROL DETAILS

1038 WINDY HILL ROAD
2 LOT SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

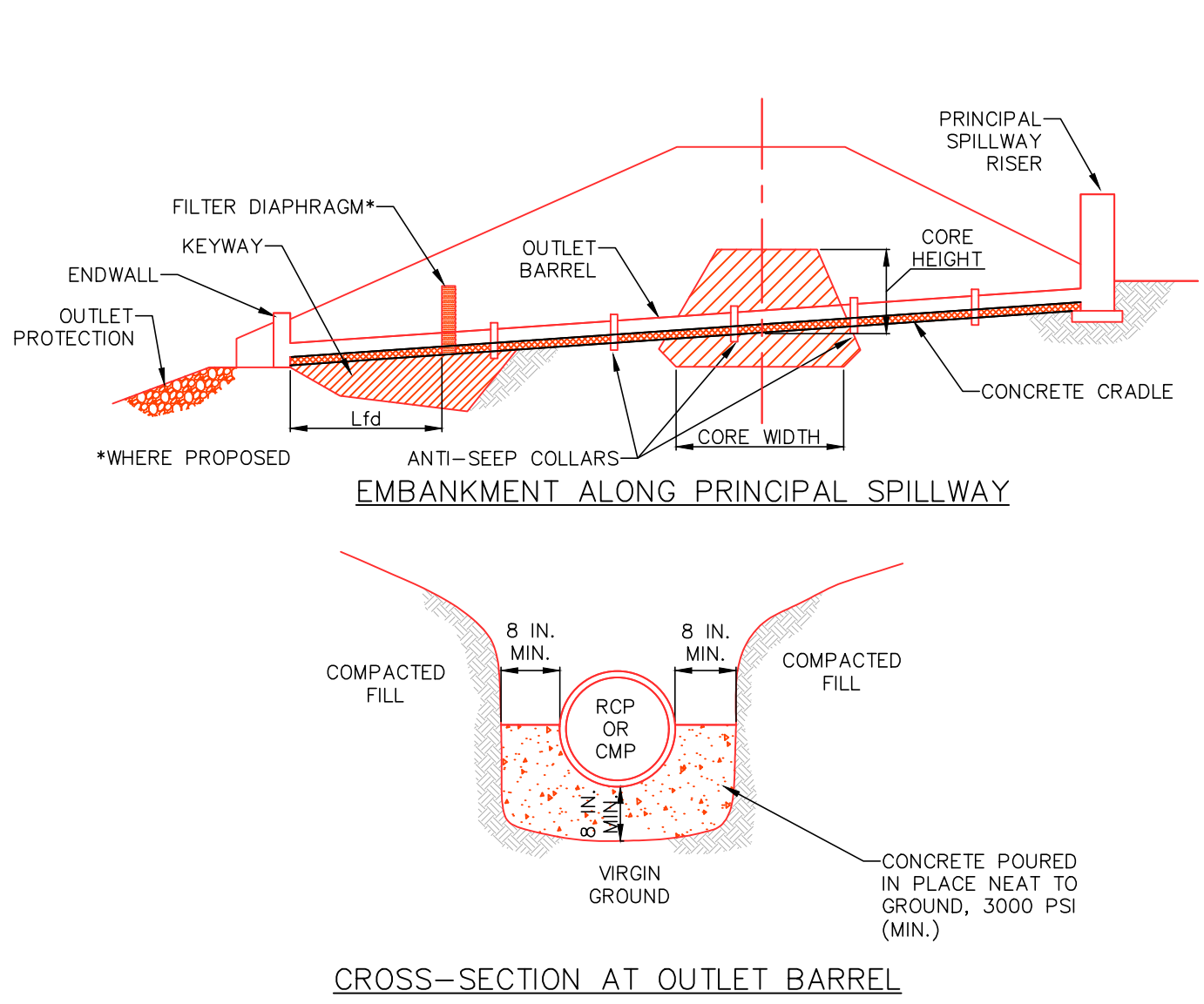
208161-01

SHEET NO.

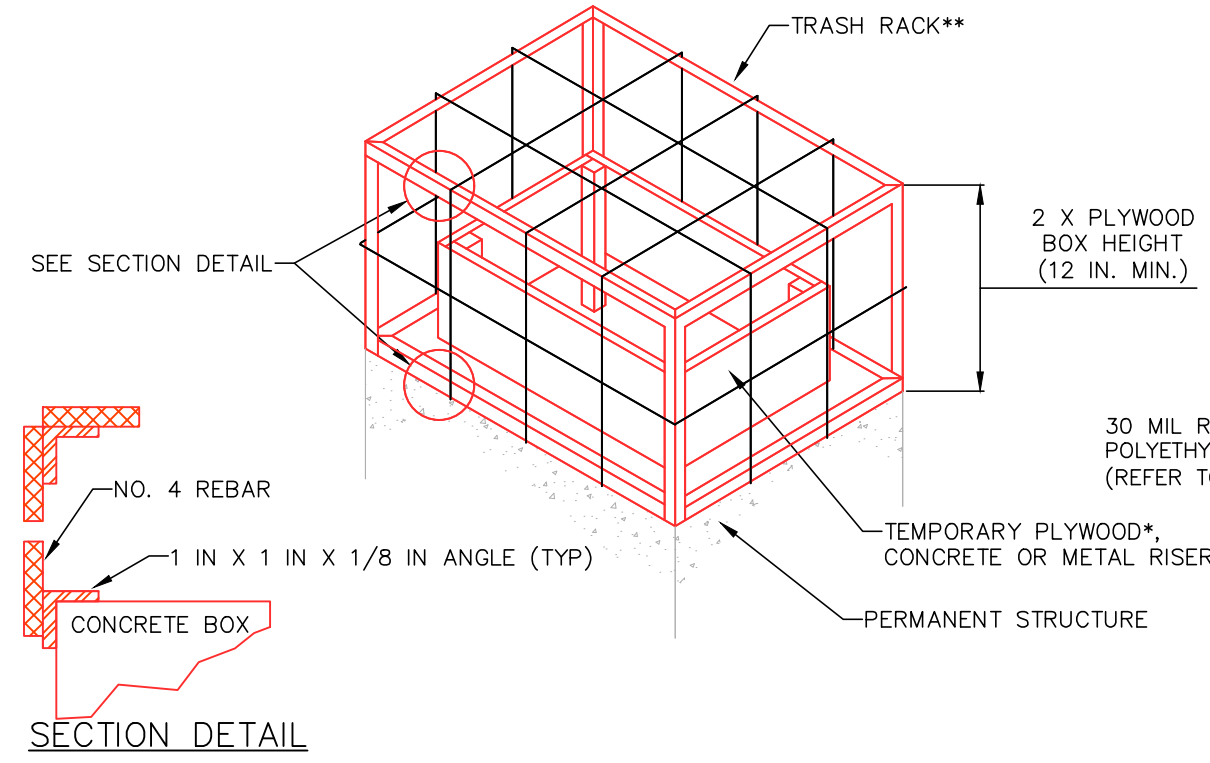
7 OF 12

DWG. NO.

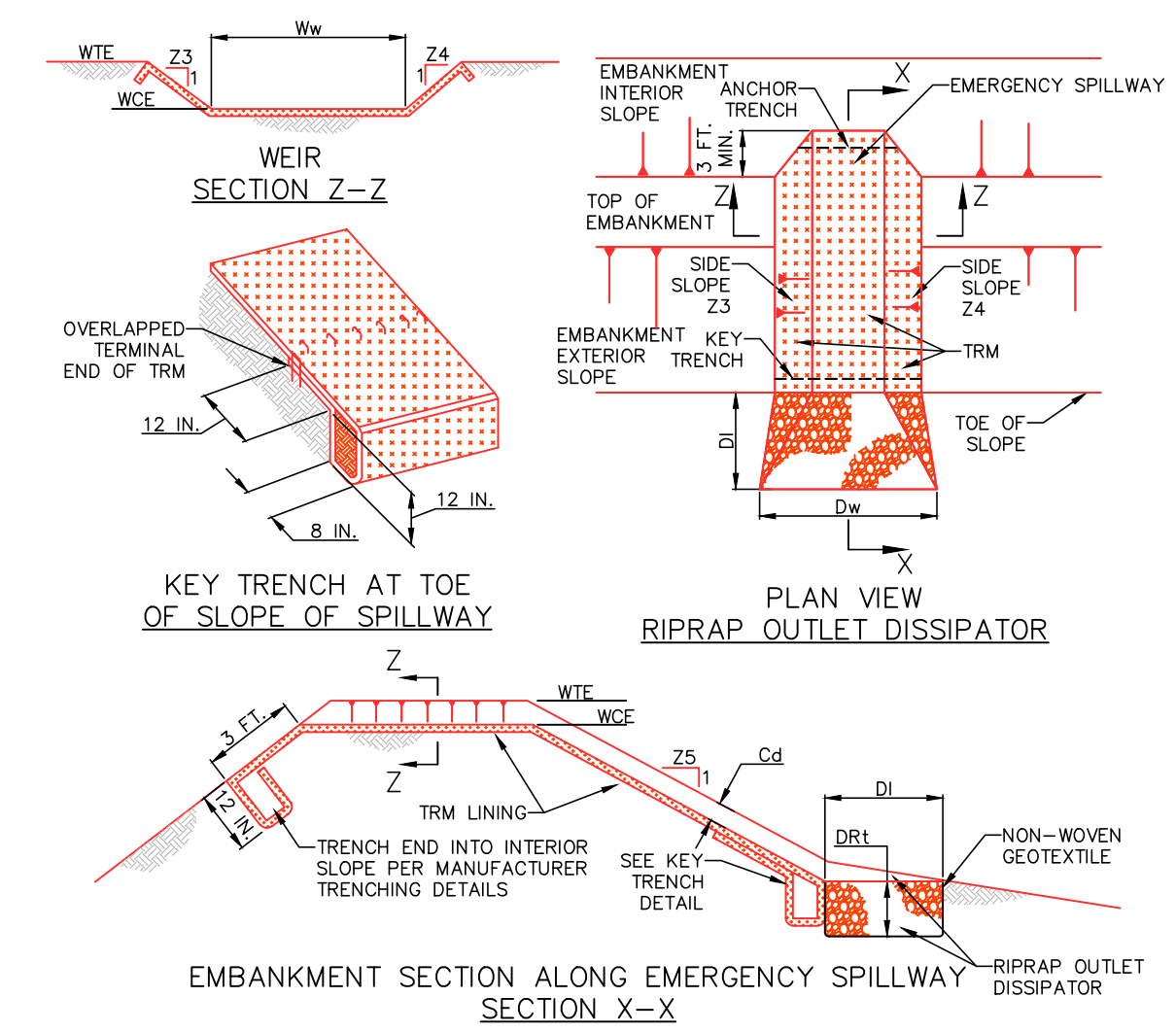
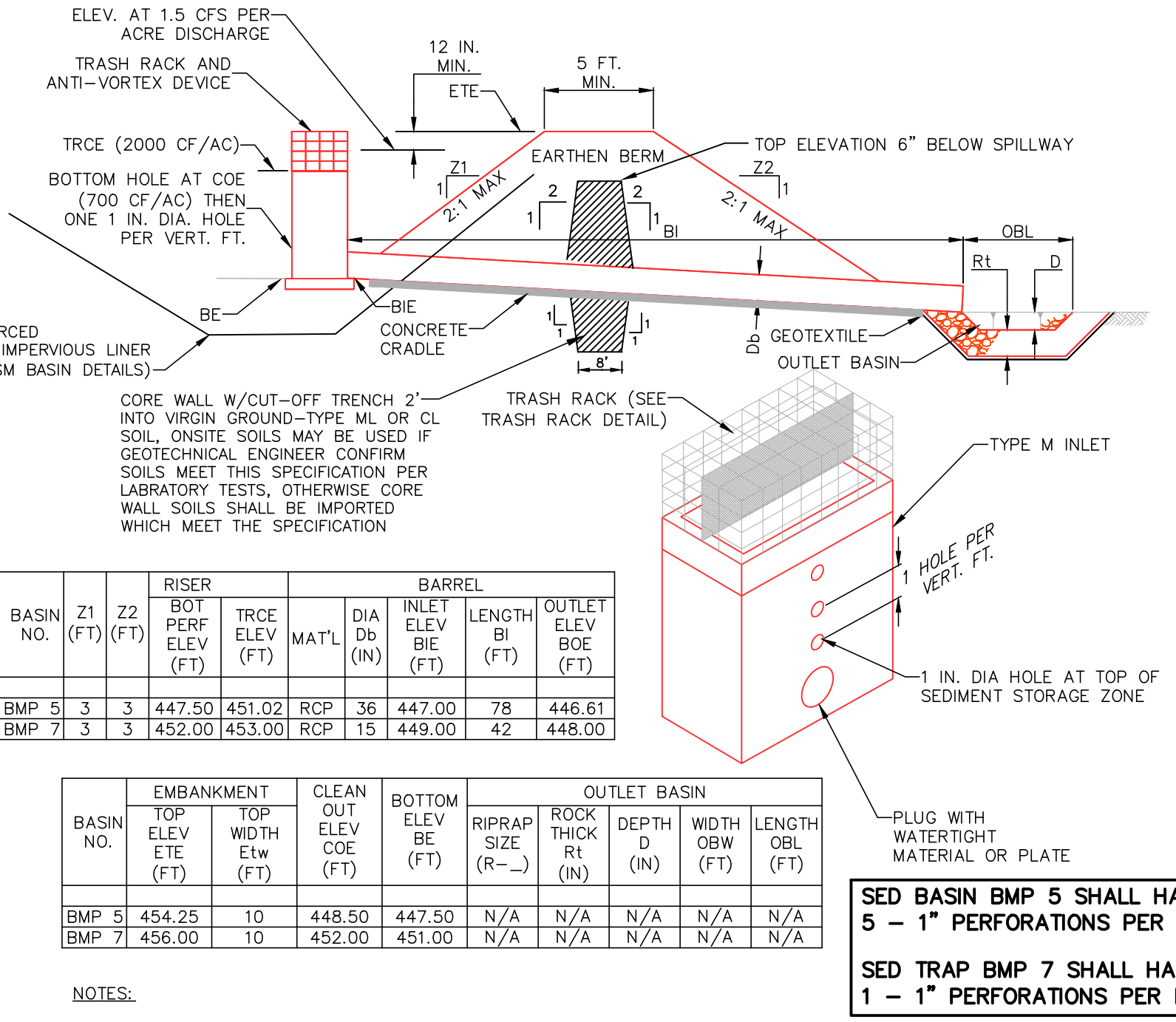
ES-02



NOTES:
A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SLEEP COLLARS AND/OR FILTER DIAPHRAGM.
ANTI-SLEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN.
FILTER DIAPHRAGM LOCATION (L1d) SHALL BE AS SHOWN IN FIGURE 7.8 OF THE PA DEP EROSION CONTROL MANUAL.
STANDARD CONSTRUCTION DETAIL #7-17
CONCRETE CRADLE FOR BASIN OR TRAP OUTLET BARREL
NOT TO SCALE



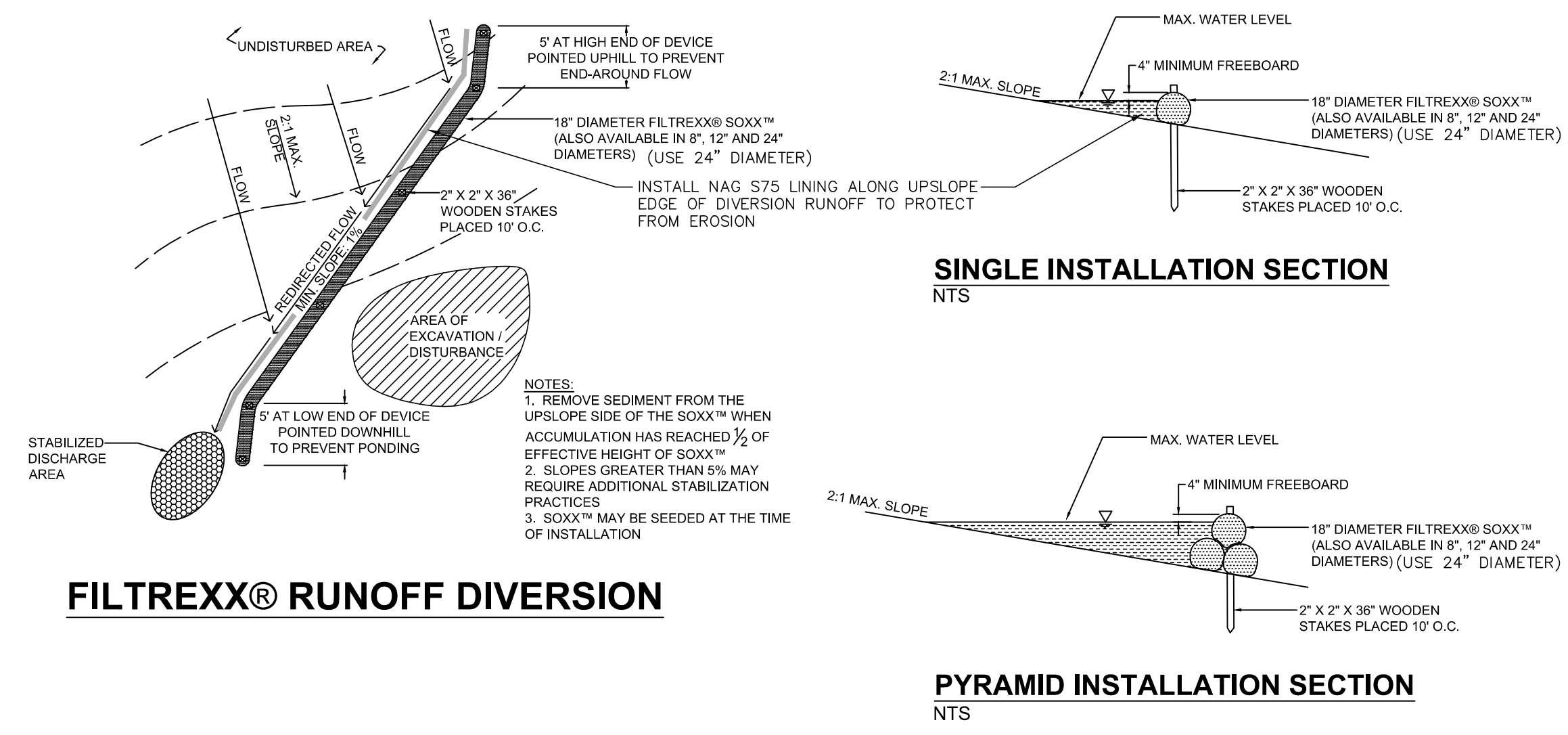
NOTES:
* 3/4 IN. PRESSURE TREATED PLYWOOD BOX WITH 2 IN. X 2 IN. PRESSURE TREATED CORNER SUPPORTS, SET INTO 1-1/2 IN. GRATE OFFSETS, CAULK ALL SEAMS TO FORM WATERTIGHT SEALS.
** TRASH RACK COMPOSED OF 1 IN. X 1 IN. X 1/8 IN. L (TYP.) AND #4 BARS (TYP.) WELDED TO THE ANGLES AND AT EACH INTERSECTION OF THE BARS; #4 BARS SPACED AT HALF THE DIAMETER OF THE BARREL MAX.
BOX SHALL BE BOLTED, STRAPPED, OR OTHERWISE SECURED TO THE PERMANENT RISER.
TOP OF TEMPORARY RISER EXTENSION SHALL BE AT LEAST AS HIGH AS SEDIMENT BASIN TEMPORARY RISER AND SHALL BE 6 IN. (MINIMUM) BELOW CREST OF EMERGENCY SPILLWAY.
ALL JOINTS SHALL BE WATER TIGHT.
CLOGGED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.
STANDARD CONSTRUCTION DETAIL #7-10
TEMPORARY RISER EXTENSION AND TRASH RACK FOR PERMANENT STRUCTURE
NOT TO SCALE



| BASIN NO. | WEIR | | | LINING | | | CHANNEL | | | DISSIPATOR | | | |
|-----------|---------|---------|-------------------|---------------------|---------------|----------|----------------|---------|---------------|----------------|---------------|-------------------|--------------------|
| | Z3 (FT) | Z4 (FT) | TOP ELEV WTE (FT) | CREST ELEV WCE (FT) | WIDTH Ww (FT) | TRM TYPE | STAPLE PATTERN | Z5 (FT) | DEPTH Cd (FT) | LENGTH D1 (FT) | WIDTH D2 (FT) | RIPRAP SIZE (R--) | RIPRAP THICK. (IN) |
| BMP 5 | 3 | 3 | 454.25 | 452.75 | 96 | NAG C350 | NAG | 3 | 1.5 | 15 | 96 | 3 | 9 |
| BMP 6 | 3 | 3 | 454.0 | 453.0 | 30 | NAG C350 | NAG | 3 | 1.0 | 15 | 30 | 3 | 9 |
| BMP 7 | 3 | 3 | 456.0 | 454.75 | 34 | NAG P300 | NAG | 3 | 1.25 | 15 | 34 | 3 | 9 |

NOTES:
HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY. RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR. THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

STANDARD CONSTRUCTION DETAIL #7-13
SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING
NOT TO SCALE

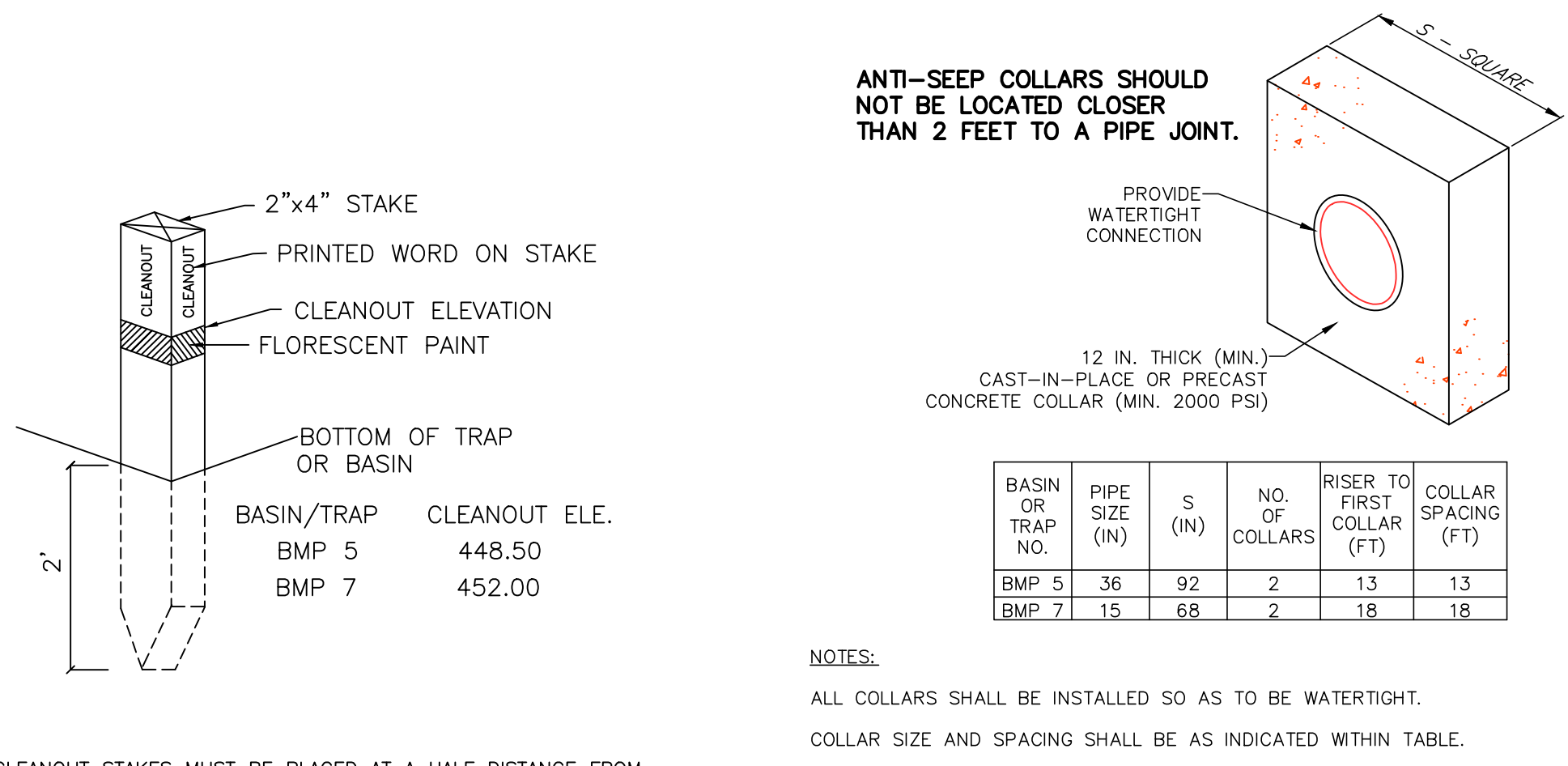


FILTREXX® RUNOFF DIVERSION

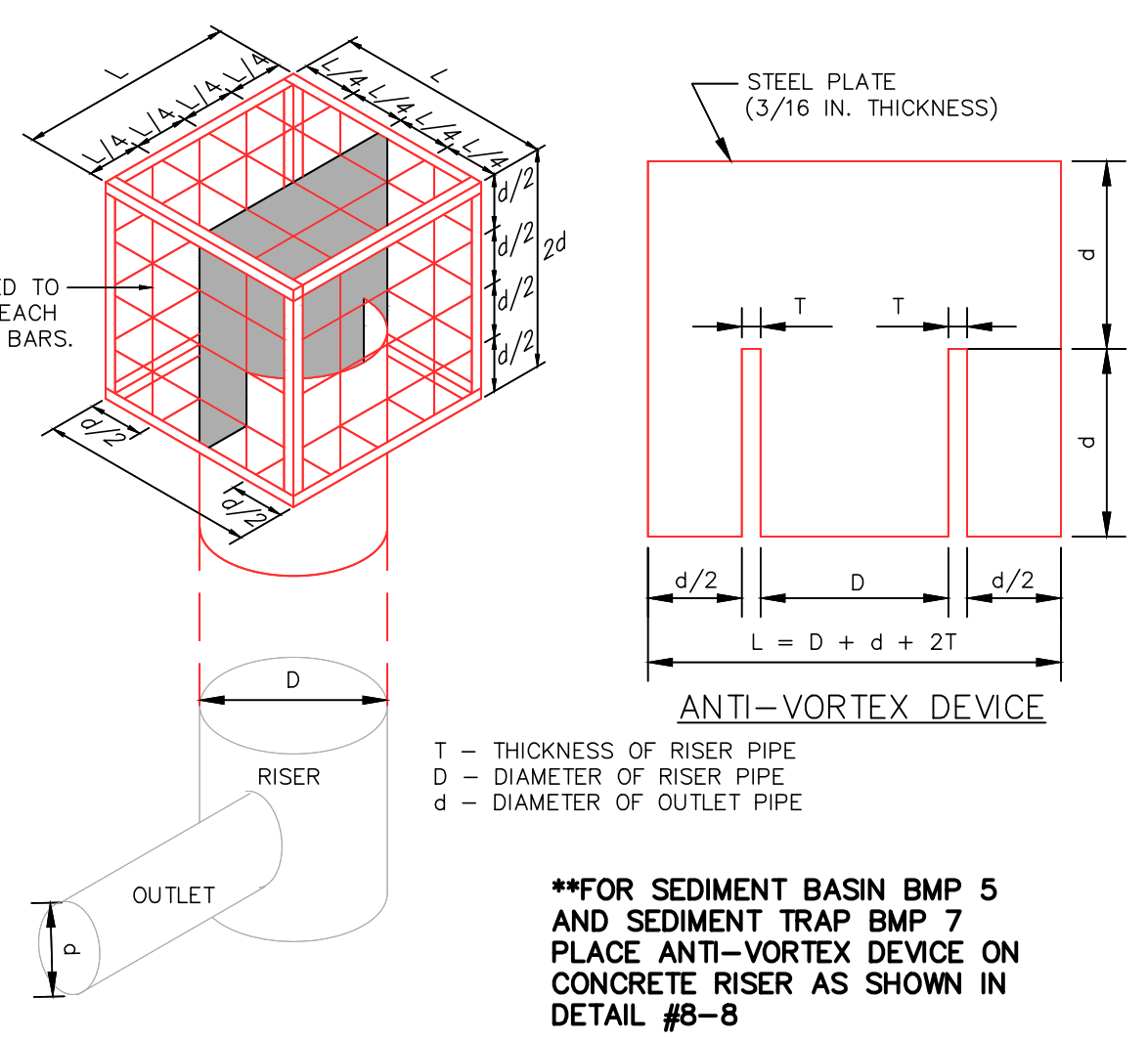
FILTREXX® RUNOFF DIVERSION SECTIONS

FILTREXX GROWING MEDIA SPECIFICATION

DESCRIPTION
COMPOSTED PRODUCTS USED FOR FILTREXX GROWINGMEDIA TM SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOSTED PRODUCTS SHALL BE PRODUCED USING AN AEROBIC COMPOSTING PROCESS MEETING USEPA CFR 503 REGULATIONS, INCLUDING TIME AND TEMPERATURE DATA INDICATING EFFECTIVE WEED SEED, PATHOGEN AND INSECT LARVAE KILL. THE COMPOSTED PRODUCTS SHALL BE FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USCC TMECC GUIDELINES FOR LABORATORY PROCEDURES:
SECTION
A. PH - 5.0-8.0 IN ACCORDANCE WITH TMECC 04.11- A, "ELECTROMETRIC PH DETERMINATIONS FOR COMPOST"
B. MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST METHODS FOR MOISTURE DETERMINATION.
C. GROWINGMEDIA TO BE USED WITH FILTREXX® SOXX™ WHERE SEEDING AND/OR LIVE STAKES ARE SPECIFIED, ON LOW GRADE SLOPES WHERE VEGETATION ESTABLISHMENT IS THE PRIORITY, OR WHERE RAINWATER ABSORPTION, WATER HOLDING CAPACITY, RUNOFF REDUCTION AND INFILTRATION ARE THE PRIORITY SHALL MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTION. EXAMPLES INCLUDE SOXX FOR RUNOFF DIVERSION, CHANNEL PROTECTION, BANK STABILIZATION, SEVERE SLOPE STABILIZATION, VEGETATED RETAINING WALLS, VEGETATED GABION, FILTRATION SYSTEM, COMPOST VEGETATED COVER, COMPOST EROSION CONTROL BLANKET™, COMPOST STORM WATER BLANKET™, COMPOST ENGINEERED SOIL, COMPOST BIORETENTION SYSTEM, GREEN ROOF GROWINGMEDIA.
PARTICLE SIZES - 100% PASSING A 2 IN (50MM) SIEVE, 99% PASSING A 1 IN (25MM) SIEVE, MINIMUM OF 60% PASSING A 1/2 IN (12.5MM) SIEVE IN ACCORDANCE WITH TMECC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION".
D. MATERIAL SHALL BE RELATIVELY FREE (<1% BY DRY WEIGHT) OF INERT OR FOREIGN MAN MADE MATERIALS.
E. MATERIAL FEEDSTOCKS SHALL NOT CONTAIN WOOD MATERIALS THAT HAVE BEEN TREATED OR PAINTED, CONTAIN PRESERVATIVES OR ADHESIVES, OR ARE COMPOSED OF ENGINEERED WOOD PRODUCTS.
F. A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SLEEP COLLAR FOR PERMANENT BASINS OR TRAPS
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #7-5
TRASH RACK AND ANTI-VORTEX DEVICE
NOT TO SCALE

| | | | | | | | | | | | | | | | |
|------------------------------------|--|--|--|----------------------|--|--|--|----------------------------|--|--|--|---|--|--|--|
| NO. | | | | REVISION | | | | DATE | | | | BY | | | |
| MANAGER | | | | NEF | | | | DESIGN | | | | NEF | | | |
| DRAFT | | | | DPC | | | | FILE | | | | MIK-03 | | | |
| NOTES | | | | SCALE | | | | 1/15/25 | | | | SCALE | | | |
| SEAL | | | | SEAL | | | | BURSICH ASSOCIATES | | | | CLIENT | | | |
| ARDEN RESERVE, LLC | | | | P.O. BOX 243 | | | | FAIRVIEW VILLAGE, PA 19409 | | | | (610) 539-8088 | | | |
| EROSION & SEDIMENT CONTROL DETAILS | | | | 1038 WINDY HILL ROAD | | | | 2 LOT SUBDIVISION | | | | WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA | | | |
| JOB NO. | | | | 208161-01 | | | | SHEET NO. | | | | 8 OF 12 | | | |
| DWG. NO. | | | | ES-03 | | | | | | | | | | | |

OFFSITE DISCHARGE

AN OFFSITE DISCHARGE ANALYSIS HAS BEEN COMPLETED FOR THE SITE AND ALL WATERSHEDS WILL HAVE A DECREASE IN STORMWATER FLOWS AND DISCHARGES FOLLOW EXISTING FLOW PATHS, THEREFORE THE APPLICANT HAS THE RIGHT TO DISCHARGE AND WILL NOT CAUSE A NUISANCE TO DOWNSLOPE PROPERTIES.

ASBUILT REQUIREMENTS

APPLICANT SHALL PROVIDE TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP FINAL AS-BUILT PLANS (SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL) OF ALL BMPS, CONVEYANCES, OTHER STORMWATER FACILITIES AND RELATED IMPROVEMENTS SHOWN IN THE FINAL APPROVED SWM SITE SITE.

REGULATORY APPROVALS REQUIRED

- NPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- EROSION AND SEDIMENT CONTROL PLAN LETTER OF ADEQUACY.

GENERAL NOTES

- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- ANY DAMAGE THAT OCCURS AS A RESULT OF THE BASIN OR TRAP DISCHARGE WILL BE REPAIRED IN A PERMANENT MANNER THAT IS SATISFACTORY TO THE MUNICIPALITY, CONSERVATION DISTRICT AND DOWN SLOPE LANDOWNER(S).
- ANY OFFSITE WASTE AND BORROW AREA MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE MCDD PRIOR TO BEING ACTIVATED.
- THE PCSM PLANS, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP.
- THE STORMWATER DESIGN HAS TAKEN INTO ACCOUNT AN ADDITIONAL 436 SQUARE FEET (0.01 ACRES) OF FUTURE IMPERVIOUS TO SUPPORT HOMEOWNERS INSTALLING SHEDS, PATIOS, ETC.

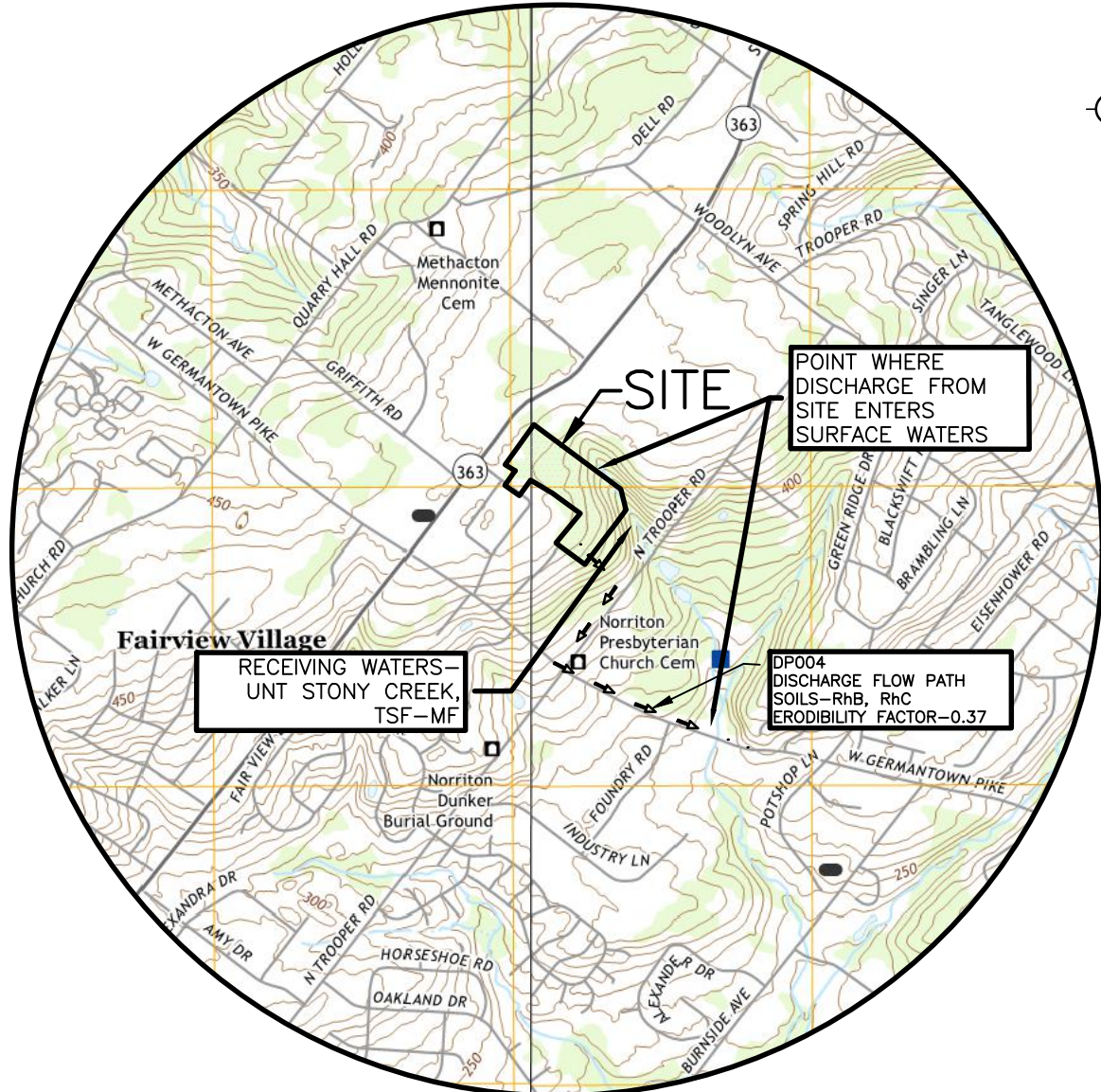
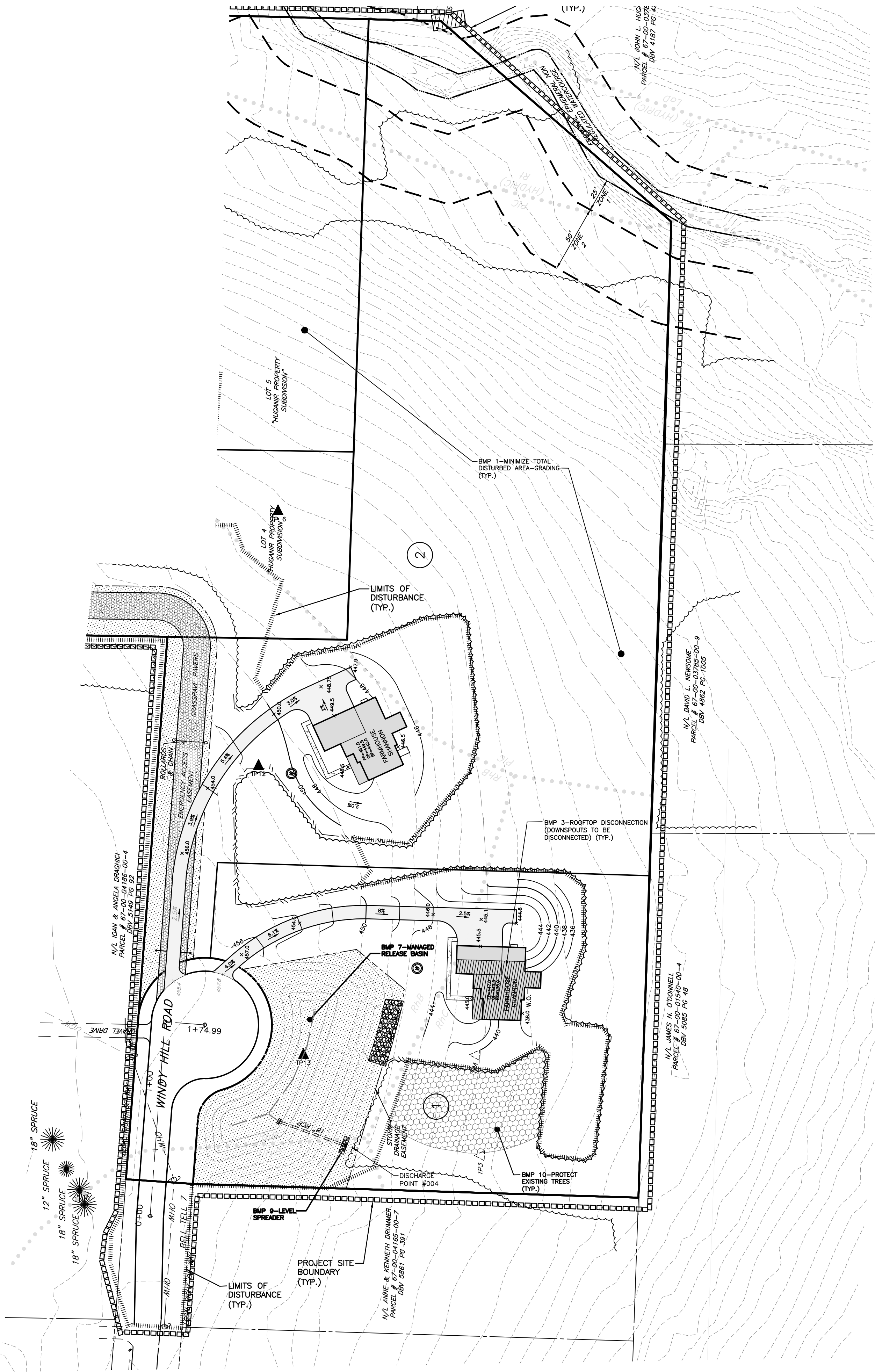
BMP 1-MINIMIZE TOTAL DISTURBED AREA-GRADING:
ALL AREAS OUTSIDE LIMITS OF DISTURBANCE & WITHIN LIMITS OF NPDES SHALL BE CONSIDERED MINIMIZE TOTAL DISTURBED AREA

CRITICAL STAGES (SEE SCHEDULE OF INSPECTIONS)

- BMP 1-MINIMIZE TOTAL DISTURBED AREA
- BMP 2-RE-VEGETATE & RE-FOREST DISTURBED AREAS, PART 2
- BMP 3-ROOFTOP DISCONNECTION
- BMP 4-DISCONNECTION FROM STORM SEWERS
- BMP 5-MANAGED RELEASE BASIN
- BMP 6-FOREBAY
- BMP 7-MANAGED RELEASE BASIN
- BMP 8-LEVEL SPREADER
- BMP 9-LEVEL SPREADER
- BMP 10-PROTECT EXISTING TREES

CRITICAL STAGES SCHEDULE OF INSPECTIONS

- MINIMIZE TOTAL DISTURBED AREA-GRADING (BMP 1)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE LIMITS OF DISTURBANCE ARE MARKED OUT TO KEEP CONTRACTORS WITHIN LIMITS OF DISTURBANCE.
 - CHECK TO ENSURE LIMITS OF DISTURBANCE WERE RESPECTED AND EXISTING TREES/VEGETATION REMAIN.
- RE-VEGETATE AND RE-FOREST DISTURBED AREAS, PART 2 (BMP 2)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - EXCAVATED HOLE AND INSTALLATION OF SOIL ADDITIVES AND FERTILIZER.
- CONFIRM TREE IS ADEQUATE SIZE PER LANDSCAPE SCHEDULE.
- TREE TUBES/STAKING AS INDICATED ON LANDSCAPE PLANTING DETAILS.
- MULCHING/STABILIZATION CONFIRMATION.
- ROOFTOP DISCONNECTION (BMP 3)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE ALL ROOFDRAINS ARE DISCONNECTED AND NO EROSION IS OCCURRING DOWNSLOPE OF DISCHARGE.
- DISCONNECTION FROM STORM SEWERS (BMP 4)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE IMPERVIOUS AREAS ARE GRADED TO ROUTE STORMWATER TO VEGETATED AREAS.
- MANAGED RELEASE BASIN (BMP 5 & 7)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - COMPACTION OF BERM, INSTALLATION OF CLAY CORE, RISER, OUTLET PIPE, CONCRETE CRADLE, ANTI-SEEP COLLARS, LINER, LEVEL SPREADER AND SPILLWAY LINING.
- STABILIZATION MEETING TO APPROVE CONVERSION FROM SEDIMENT FACILITY.
- CONFIRM NO TEARS ARE IN THE LINER FROM REMOVAL OF SILT, INSTALLATION OF PLANTING SOIL AND UNDERDRAIN.
- CONVERSION OF OUTLET STRUCTURE TO PERMANENT CONDITION.
- STABILIZATION CONFIRMATION.
- FOREBAY (BMP 6)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - COMPACTION OF BERM, INSTALLATION OF UNDERDRAIN AND SPILLWAY LINING INSTALLATION.
- REMOVAL OF SEDIMENT ACCUMULATED DURING CONSTRUCTION.
- STABILIZATION CONFIRMATION.
- LEVEL SPREADER (BMP 8&9)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - GEOTEXTILE INSTALLATION, STONE BEDDING, PERFORATED PIPE, ECB.
- STABILIZATION CONFIRMATION, ENSURE NO DOWNSLOPE EROSION.
- PROTECT EXISTING TREES (BMP 10)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CONFIRM TREE PROTECTION FENCE HAS BEEN INSTALLED BEFORE GENERAL EARTH DISTURBANCE ACTIVITIES OCCUR.
- CONFIRM PROTECTED TREES WERE NOT REMOVED.
- AFTER CONSTRUCTION IS COMPLETED THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF THE CRITICAL STAGES SHALL VERIFY THAT ALL E&S BMPS HAVE BEEN REMOVED AND PCSM BMPS HAVEN'T BEEN NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES AND ARE FUNCTIONING PROPERLY.



LOCATION MAP
SCALE: 1"=2000'

| IMPERVIOUS COVERAGE TABLE | | |
|---------------------------|------------------------|------------------------|
| LOT # | PROPOSED IMPROVEMENTS | FUTURE IMPROVEMENTS |
| 1 | 0.13 AC. (5,669 SF) | 0.01 AC. (436 S.F.) |
| 2 | 0.14 AC. (6,269 SF) | 0.01 AC. (436 S.F.) |

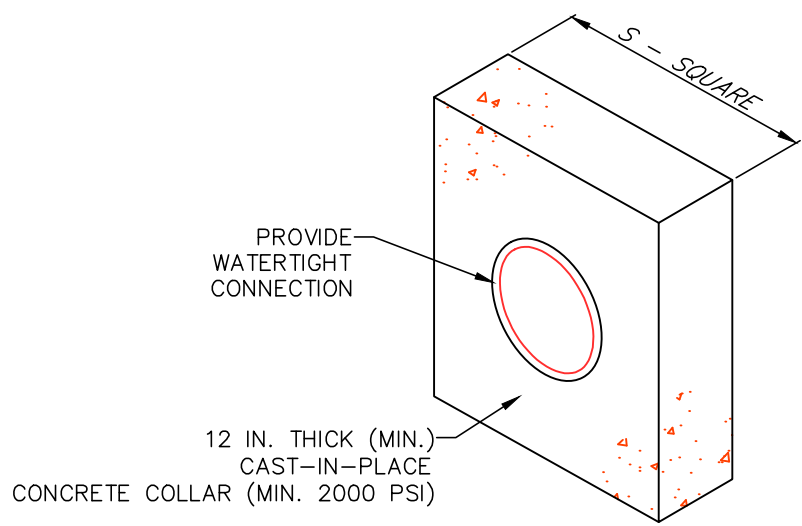
| EXISTING FEATURES LEGEND | | PROPOSED LEGEND | |
|---------------------------------------|--|---|--|
| SLANTED TEXT DENOTES EXISTING FEATURE | | VERTICAL TEXT DENOTES PROPOSED FEATURE | |
| SITE BENCHMARK | | BUILDING | |
| PROPERTY LINE | | ROAD CENTERLINE | |
| ADJACENT LINE | | DEPRESSED CURB | |
| LEGAL RIGHT OF WAY | | EDGE OF PAVING | |
| EASEMENT LINE | | CURB | |
| BUILDING/STRUCTURE | | STORMWATER PIPE | |
| WATERCOURSE | | CAN TYPE STORMWATER INLET | |
| CONCRETE CURB | | HEADWALL/ENDWALL | |
| EDGE OF PAVE | | RIP-RAP APRON | |
| EDGE OF DRIVE | | STORMWATER MANHOLE | |
| CONTOURS | | STORMWATER STRUCTURE IDENTIFIER | |
| SPOT ELEVATION | | INTERMEDIATE CONTOUR | |
| WOOD LINE | | INDEX CONTOUR | |
| TREES | | WOODS LINE | |
| STORM SEWER | | LOT NUMBER | |
| MAN TYPE INLETS | | FENCE | |
| SOILS | | MATCH LINE | |
| RIPRAP BUFFER | | EMERGENCY ACCESS | |
| OVERHEAD WIRES | | UNDERGROUND ELECTRIC TELECOMMUNICATIONS | |
| UTILITY POLE | | WATERSHED TIME OF CONCENTRATION | |
| | | INFLTRATION TEST PIT | |
| | | PROJECT SITE BOUNDARY | |
| | | LIMIT OF DISTURBANCE | |
| | | PLANTING SOIL | |
| | | DISCONNECT ROOF LEADERS | |

NPDES PERMIT NOTES

NPDES PERMIT PAC460747 ENCOMPASSES THE ENTIRE 'HUGANIR PROPERTY SUBDIVISION' AND WAS LAST APPROVED ON DECEMBER 8, 2024 AND IS SET TO EXPIRE DECEMBER 7, 2029. THE PERMIT BOUNDARY INCLUDES THE 2 LOTS WHICH ARE PART OF THE 1038 WINDY HILL SUBDIVISION, HOWEVER THEIR CONSTRUCTION WAS NOT INCLUDED IN THE APPROVED PERMIT. THEREFORE IN ORDER TO PROVIDE PERMIT COVERAGE FOR THE TWO PROPOSED LOTS AT 1038 WINDY HILL ROAD THE ORIGINAL HUGANIR PROPERTY SUBDIVISION NPDES PERMIT WILL BE MODIFIED TO INCLUDE THEIR CONSTRUCTION.

SOILS LEGEND

A8B-ABBOTTSTOWN SILT LOAM, 3-8 PERCENT SLOPES
L8D-LANSDALE LOAM, 15-25 PERCENT SLOPES
L8A-LAWRENCEVILLE SILT LOAM, 0-3 PERCENT SLOPES
P8C-PENN-LANSDALE COMPLEX, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8X-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Y-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Z-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT S



| BASIN OR TRAP NO. | PIPE SIZE (IN) | S (IN) | NO. OF COLLARS | RISE TO FIRST COLLAR (FT) | COLLAR SPACING (FT) |
|-------------------|----------------|--------|----------------|---------------------------|---------------------|
| BMP 5 | 36 | 92 | 2 | 13 | 13 |
| BMP 7 | 15 | 68 | 2 | 18 | 18 |

NOTES:

ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

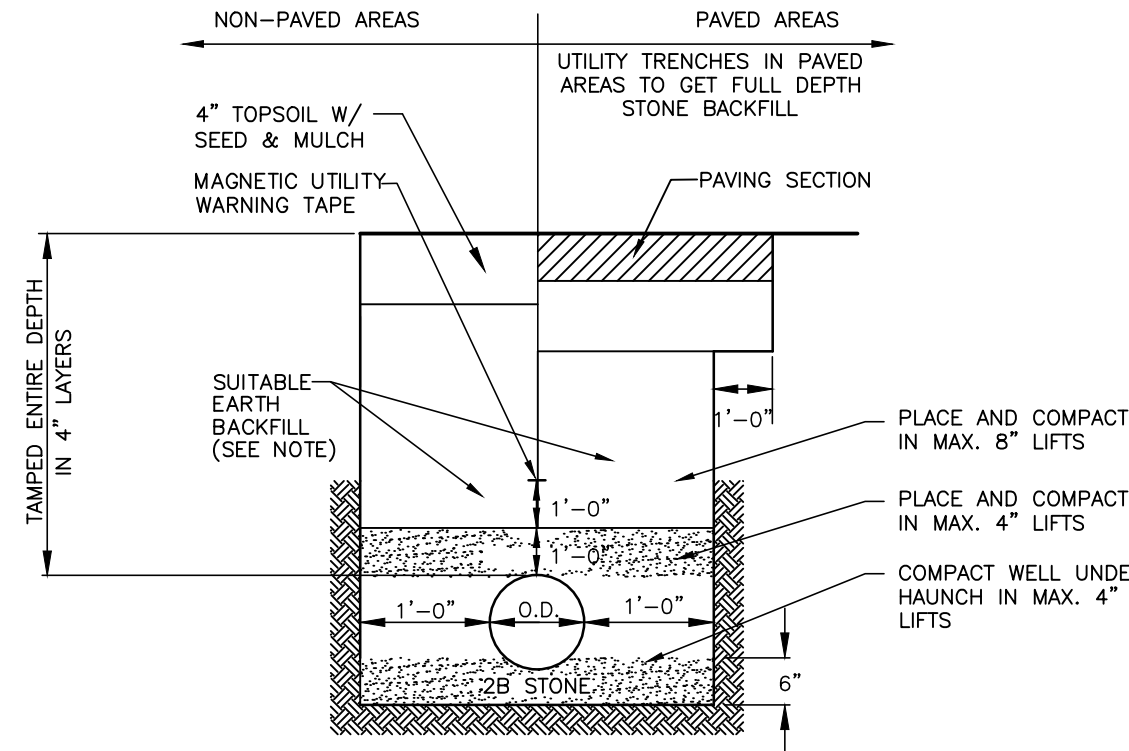
COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

ANTI-SEEP COLLARS AND THEIR CONNECTIONS TO THE PIPE, OR BARREL SHOULD BE WATERTIGHT

ANTI-SEEP COLLARS SHOULD NOT BE LOCATED CLOSER THAN 2 FEET TO A PIPE JOINT

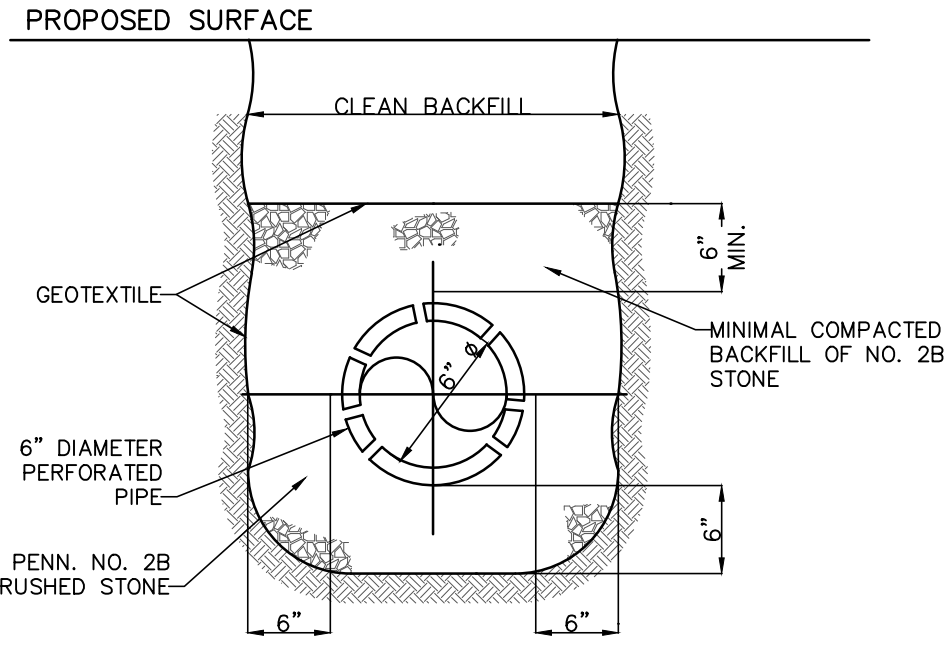
STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SEEP COLLAR FOR
PERMANENT BASINS OR TRAPS

NOT TO SCALE

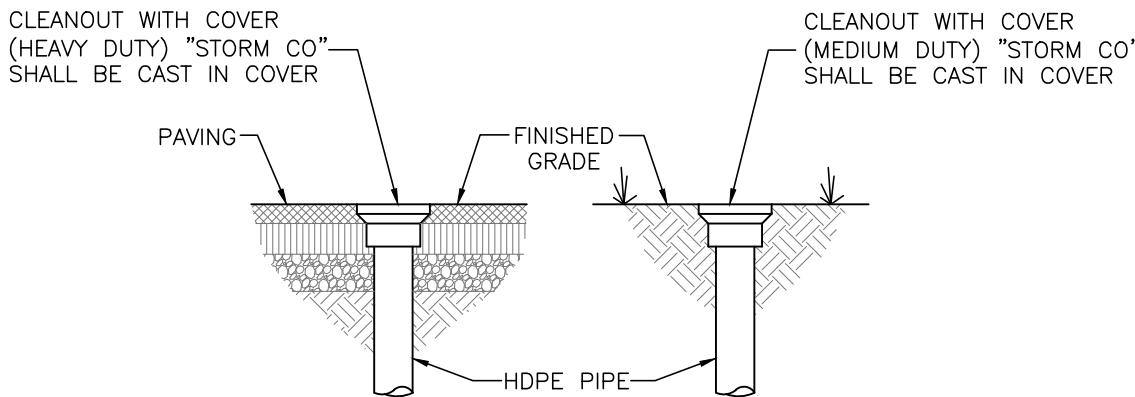


NOTE: COMPACTED 2A STONE BACKFILL FOR PIPES INSTALLED IN PAVED AREAS OR FIELD VERIFIED MONITORING AND COMPACTION CERTIFICATION WILL NEED TO BE PROVIDED BY THE DEVELOPER'S GEOTECHNICAL ENGINEER.

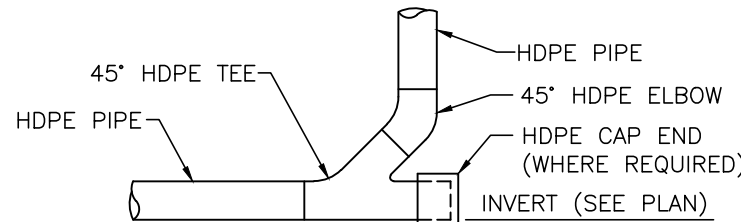
STORM SEWER TRENCH DETAIL
NO SCALE



BMP 5, 6 & 7 UNDERDRAIN DETAIL
NO SCALE



PAVED AREA LAWN AREA



STORM CLEANOUT DETAIL

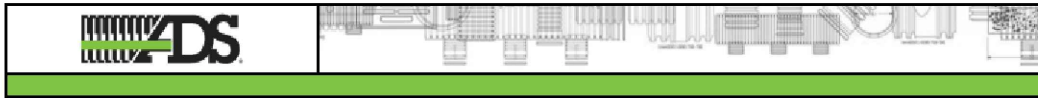
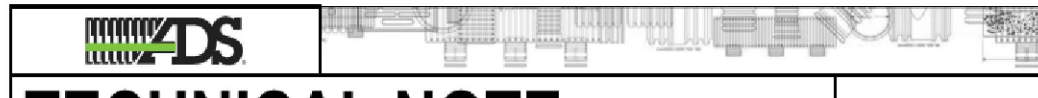
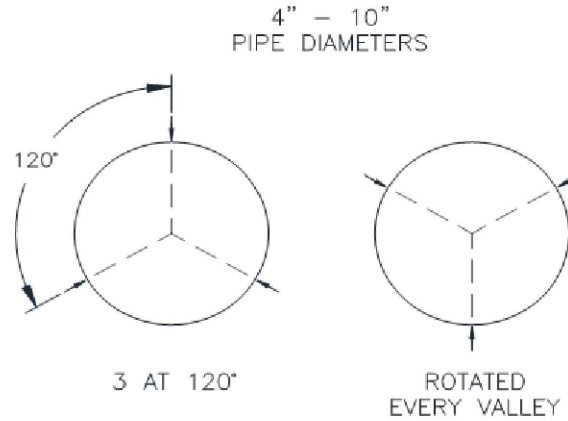


Figure 1

AASHTO Class II Perforation Patterns
Note: Actual pattern may vary by region, however all patterns must meet the AASHTO and ASTM minimum requirements for the open inlet area.



TECHNICAL NOTE

Dual Wall HDPE Perforation Patterns

TN 1.01

January 2015

Introduction

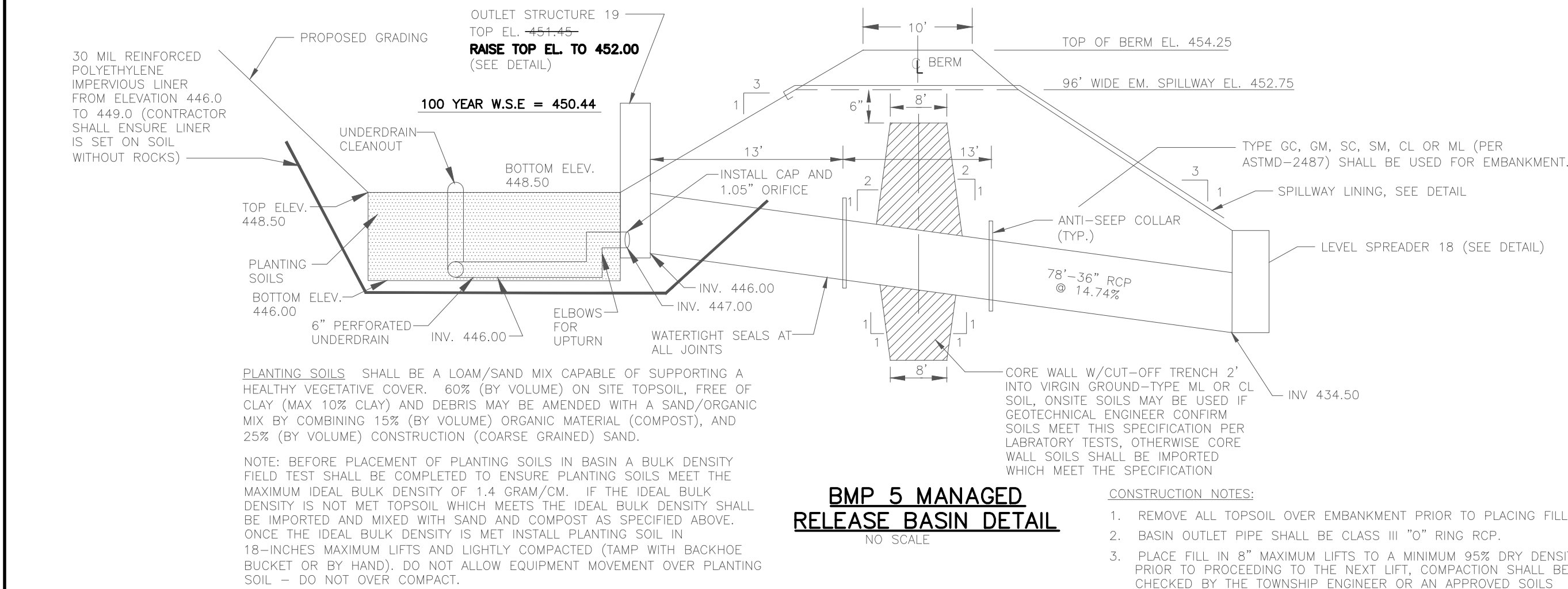
Perforated pipe plays an integral role in many applications of HDPE pipe. Generally, perforated pipe is used to accelerate the removal of subsurface water in soils or to allow storm water to percolate into the soil. Currently, two classifications of perforations are specified in the AASHTO material specifications for HDPE pipe: Class I and Class II. The Class II perforation pattern comes standard when perforated pipe is ordered. Class One perforated pipe has limited availability. Please check with a local representative to determine availability. Both classes are explained in more detail in the AASHTO materials specifications (M294 and M295). AASHTO M295 covers pipe diameters 3- through 10-inch (75 - 250 mm) while M294 covers 12-inch through 60-inch (300 - 1500 mm).

Standard Perforation Patterns

AASHTO Class II Perforation

The following terminology for perforations is derived from the applicable AASHTO specification. Differences between the specifications are covered in the table below. Class II perforations shall be located in the outside valleys of the corrugations, be circular and/or slotted and evenly spaced around the circumference and length of the pipe. The perforations shall be located in the outside valleys of the corrugations. The water inlet area shall be no less than 0.945 in²/ft (20 cm²/m) for pipe diameters 4- through 16-inch (100 - 250mm), 1.42 in²/ft (30 cm²/m) for pipe diameters 12- through 18-inch (300 - 450 mm) and 1.89 in²/ft (40 cm²/m) for pipe diameters larger than and equal to 24 inches (600 mm). Table 1 below represents ADS standard perforation patterns for AASHTO Class II.

| Nominal I.D. | Perforation Type | Maximum Slot Length or Diameter | Maximum Slot Width | Minimum Inlet Area | | | | |
|--------------|------------------|---------------------------------|--------------------|---------------------|--------------------|---|-----|----|
| in | mm | in | mm | in ² /ft | cm ² /m | | | |
| 4 | 100 | Slot | 0.075 | 22 | 0.125 | 3 | 1.0 | 24 |
| 6 | 150 | Slot | 0.075 | 22 | 0.125 | 3 | 1.0 | 24 |
| 8 | 200 | Slot | 0.150 | 30 | 0.125 | 3 | 1.0 | 24 |
| 10 | 250 | Slot | 0.150 | 30 | 0.125 | 3 | 1.0 | 24 |
| 12 | 300 | Circular | 0.315 | 8 | - | - | 2.0 | 40 |
| 15 | 375 | Circular | 0.315 | 8 | - | - | 1.5 | 30 |
| 18 | 450 | Circular | 0.315 | 8 | - | - | 1.5 | 30 |
| 24 | 600 | Circular | 0.315 | 8 | - | - | 2.0 | 40 |
| 30 | 750 | Circular | 0.375 | 8.5 | - | - | 2.0 | 40 |
| 36 | 900 | Circular | 0.375 | 8.5 | - | - | 2.0 | 40 |
| 42 | 1050 | Circular | 0.375 | 8.5 | - | - | 2.0 | 40 |
| 48 | 1200 | Circular | 0.375 | 8.5 | - | - | 2.0 | 40 |
| 60 | 1500 | Circular | 0.375 | 8.5 | - | - | 2.0 | 40 |



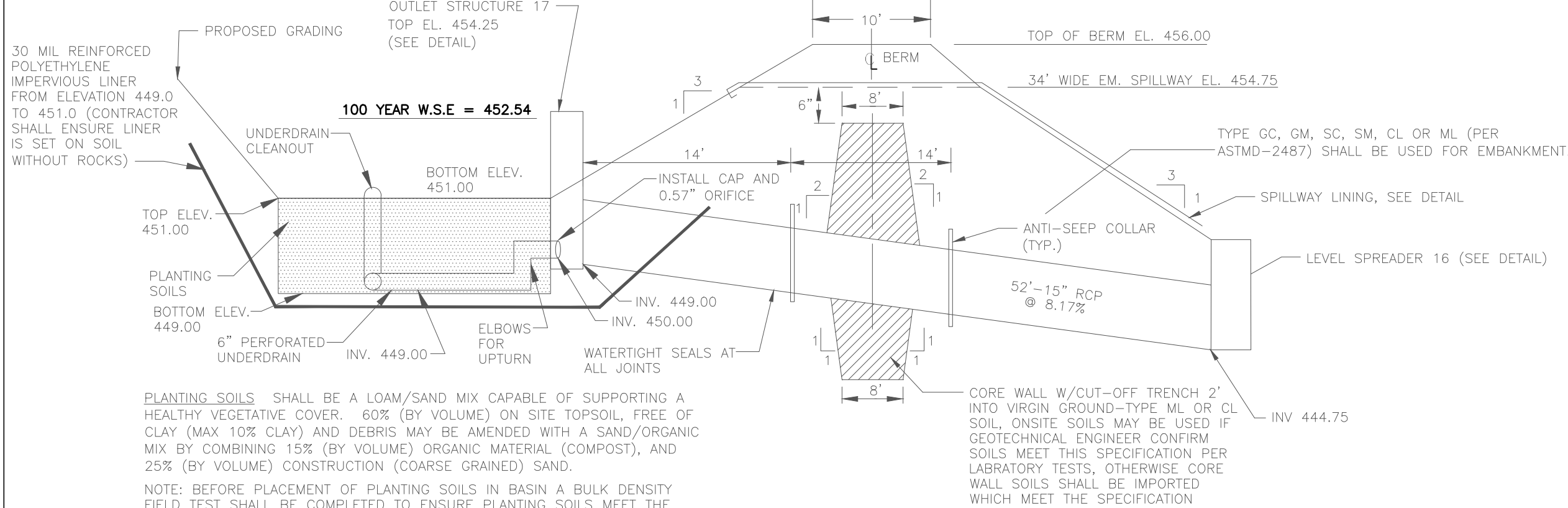
BMP 5 MANAGED
RELEASE BASIN DETAIL
NO SCALE

CONSTRUCTION NOTES:

1. REMOVE ALL TOPSOIL OVER EMBANKMENT PRIOR TO PLACING FILL.
2. BASIN OUTLET PIPE SHALL BE CLASS III "O" RING RCP.
3. PLACE FILL IN 8" MAXIMUM LIFTS TO A MINIMUM 95% DRY DENSITY. PRIOR TO PROCEEDING TO THE NEXT LIFT, COMPACTION SHALL BE CHECKED BY THE TOWNSHIP ENGINEER OR AN APPROVED SOILS ENGINEER WHO SHALL PROVIDE THE TOWNSHIP ENGINEER WITH A WRITTEN REPORT. COMPACTION TESTS SHALL BE PERFORMED USING THE MODIFIED PROCTOR METHOD IN ACCORDANCE WITH ASTM D-1577. COMPACTION TESTS SHALL BE RUN ON THE LEADING AND TRAILING EDGE AS WELL AS THE TOP OF THE BERM.
4. FURNISH & PLACE 8" MINIMUM TOPSOIL, SOIL SUPPLEMENTS, FORMULA "B" SEED, MULCH, PER PENN DOT 408.

OUTLET NOTES:

1. ALL WALL REINFORCEMENT TO BE ONE LAYER OF REINFORCEMENT BARS (0.12 IN/FT) MIN. EACH WAY.
2. SEE PENNDOT STANDARD RC-34 FOR ADDITIONAL DETAILS.
3. OWNER SHALL ENSURE THAT THE TOP OF GRATE IS FREE FROM ANY DEBRIS OR OBSTRUCTIONS AS NEEDED OR AFTER EVERY SUBSTANTIAL RAINFALL.
4. A 12" 2A STONE SUBBASE SHALL BE PLACED BELOW THE OUTLET STRUCTURE IN 4" MAXIMUM LIFTS.



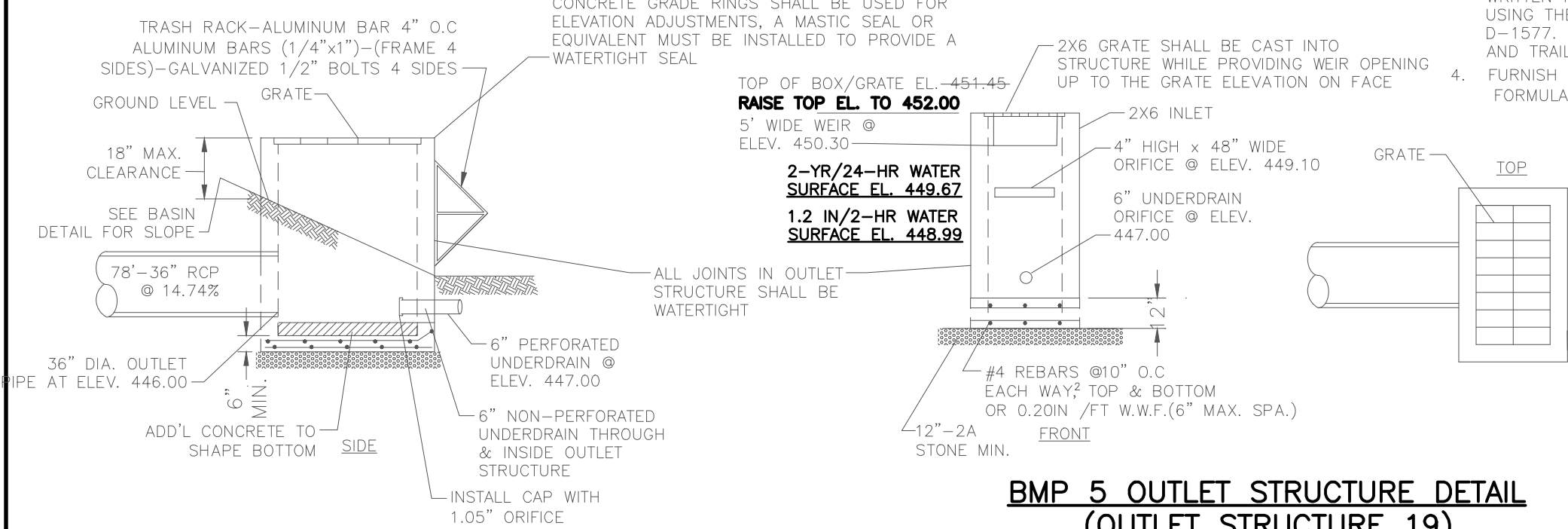
BMP 7 MANAGED
RELEASE BASIN DETAIL
NO SCALE

CONSTRUCTION NOTES:

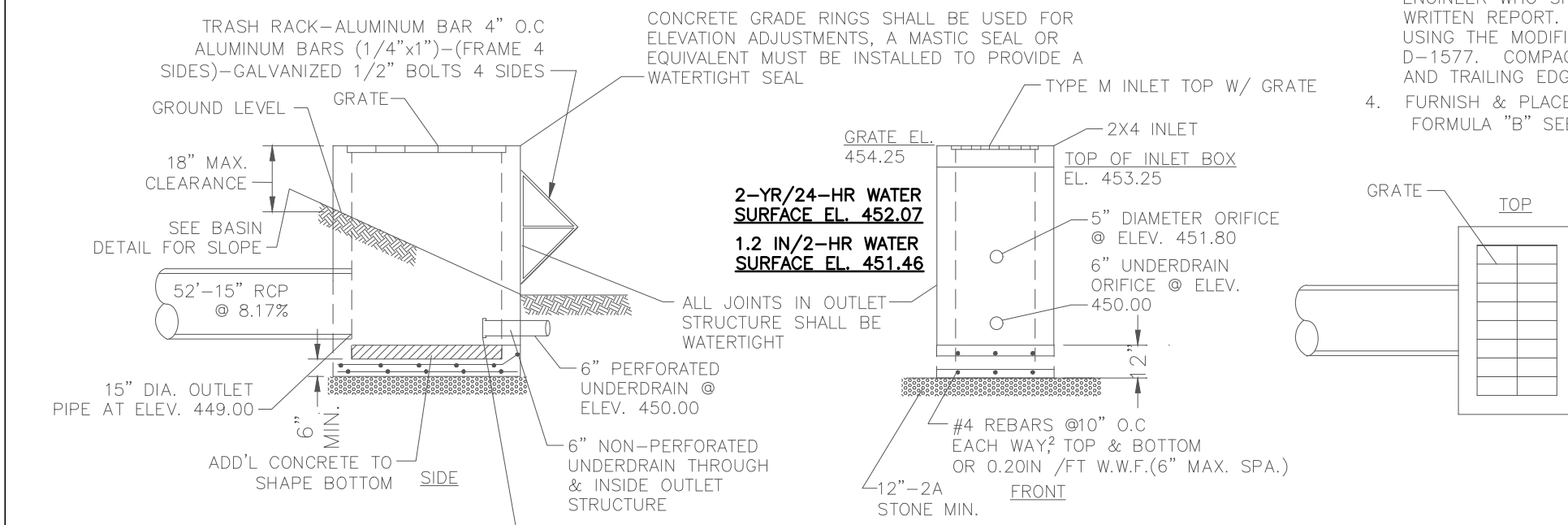
1. REMOVE ALL TOPSOIL OVER EMBANKMENT PRIOR TO PLACING FILL.
2. BASIN OUTLET PIPE SHALL BE CLASS III "O" RING RCP.
3. PLACE FILL IN 8" MAXIMUM LIFTS TO A MINIMUM 95% DRY DENSITY. PRIOR TO PROCEEDING TO THE NEXT LIFT, COMPACTION SHALL BE CHECKED BY THE TOWNSHIP ENGINEER OR AN APPROVED SOILS ENGINEER WHO SHALL PROVIDE THE TOWNSHIP ENGINEER WITH A WRITTEN REPORT. COMPACTION TESTS SHALL BE PERFORMED USING THE MODIFIED PROCTOR METHOD IN ACCORDANCE WITH ASTM D-1577. COMPACTION TESTS SHALL BE RUN ON THE LEADING AND TRAILING EDGE AS WELL AS THE TOP OF THE BERM.
4. FURNISH & PLACE 8" MINIMUM TOPSOIL, SOIL SUPPLEMENTS, FORMULA "B" SEED, MULCH, PER PENN DOT 408.

OUTLET NOTES:

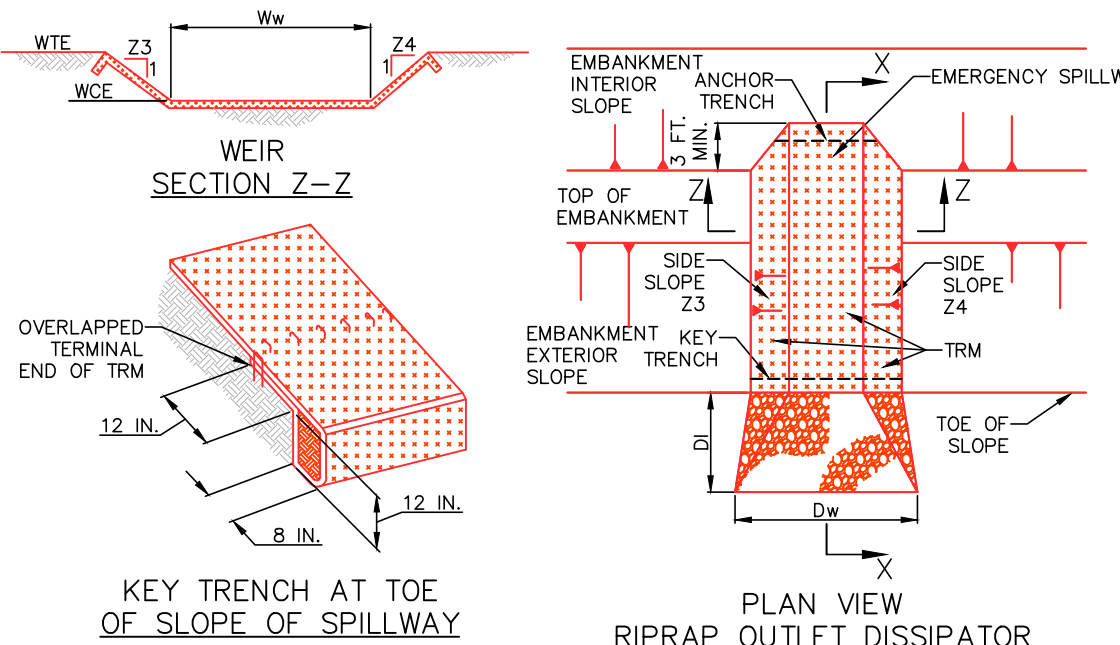
1. ALL WALL REINFORCEMENT TO BE ONE LAYER OF REINFORCEMENT BARS (0.12 IN/FT) MIN. EACH WAY.
2. SEE PENNDOT STANDARD RC-34 FOR ADDITIONAL DETAILS.
3. OWNER SHALL ENSURE THAT THE TOP OF GRATE IS FREE FROM ANY DEBRIS OR OBSTRUCTIONS AS NEEDED OR AFTER EVERY SUBSTANTIAL RAINFALL.
4. A 12" 2A STONE SUBBASE SHALL BE PLACED BELOW THE OUTLET STRUCTURE IN 4" MAXIMUM LIFTS.



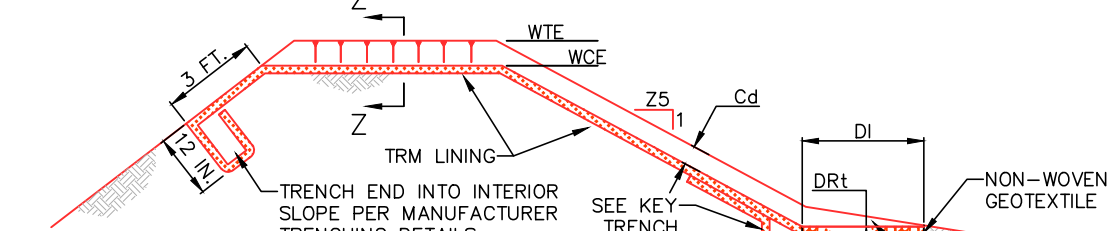
BMP 5 OUTLET STRUCTURE DETAIL
(OUTLET STRUCTURE 19)
NO SCALE



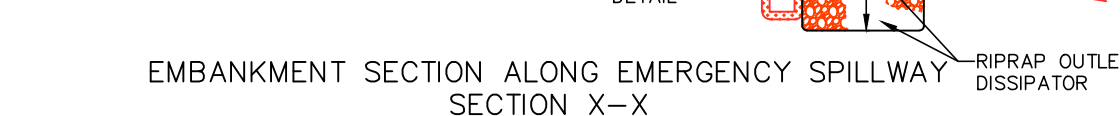
BMP 7 OUTLET STRUCTURE DETAIL
(OUTLET STRUCTURE 17)
NO SCALE



WEIR
SECTION Z-Z



KEY TRENCH AT TOE
OF SLOPE OF SPILLWAY



PLAN VIEW
RIPRAP OUTLET DISSIPATOR

| IN | WEIR | | | | | LINING | | | CHANNEL | | DISSIPATOR | | RIPRAP SIZE (R--) | RIPRAP SIZE (R--) |
|----|---------|---------|-------------------|---------------------|---------------|----------|----------------|---------|---------------|----------------|---------------|---|-------------------|-------------------|
| | Z3 (FT) | Z4 (FT) | TOP ELEV WTE (FT) | CREST ELEV WCE (FT) | WIDTH Ww (FT) | TRM TYPE | STAPLE PATTERN | Z5 (FT) | DEPTH Cd (FT) | LENGTH D1 (FT) | WIDTH Dw (FT) | | | |
| 5 | 3 | 3 | 454.25 | 452.75 | 96 | NAG C350 | NAG | 3 | 1.5 | 15 | 96 | 3 | | |
| 6 | 3 | 3 | 454.0 | 453.0 | 30 | NAG C350 | NAG | 3 | 1.0 | 15 | 30 | 3 | | |
| 7 | 3 | 3 | 456.0 | 454.75 | 34 | NAG P300 | NAG | 3 | 1.25 | 15 | 34 | 3 | | |

NOTES:
HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY. RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR. THE USE OF Baffles THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

STANDARD CONSTRUCTION DETAIL #7-13
SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING
NOT TO SCALE

| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

SEAL

SEAL

MANAGER

NEF

DESIGN

NEF

DRAFT

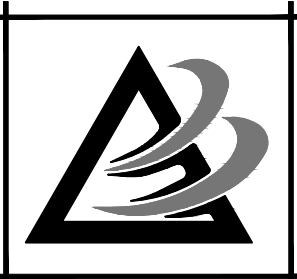
DPC

FILE

MIK-03

NOTES

SCALE



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

ARDEN RESERVE, LLC
P.O. BOX 243
FAIRVIEW VILLAGE, PA 19409
(610) 539-8088

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

1038 WINDY HILL ROAD
2 LOT SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

208161-01

SHEET NO.

11 OF 12

DWG. NO.

PC-02

January 15, 2025

Mr. Dan DeMeno, Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

RE: Waiver (Modification) Requests
1038 Windy Hill Road – 2 Lot Subdivision
Worcester Township, Montgomery Co., PA
Bursich Project No.: MIK-01 / 208161.01

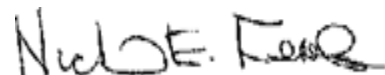
Dear Mr. DeMeno:

On behalf of Arden Reserve, LLC (Applicant) in coordination with the minor subdivision plans filed for the above referenced project, the following are the formal written modifications (i.e. “waiver”) requested from the requirements of the Worcester Township Subdivision and Land Development Ordinance – Chapter 130:

- §130-28.F.(7) – a waiver for replacement of all trees over 6” caliper in excess of the permitted 25% removal. The site is wooded, much of which will remain, and the disturbed areas provide the area needed to accommodate the dwelling, driveway, septic, well, and usable yard areas for each lot.
- §130-28.G.(5) – a waiver to allow the existing woods/vegetation to suffice to satisfy the perimeter landscape buffer requirements.

Should you have any questions or need further information, please feel free to contact me at 484-941-0427 or nfeola@vancleefengineering.com.

Very Truly Yours,
Van Cleef Engineering Associates, LLC



Sr. Project Manager

Cc: Michael Clement, Esq, Arden Reserve, LLC (via email only)

OFFICE LOCATIONS

www.vancleefengineering.com

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

February 28, 2025

Dan DeMeno, Manager
Worcester Township
1721 South Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Re: MCPC #21-0025-003
Plan Name: 1038 Windy Hill Road – 2 lot subdivision
(2 lots comprising 5.39 acres)
Situate: Windy Hill Road at Germantown Pike
Worcester Township

Dear Mr. DeMeno:

We have reviewed the above-referenced preliminary subdivision and land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on January 27, 2025. We forward this letter as a report of our review.

BACKGROUND

The applicant, Arden Reserve LLC, has submitted a preliminary plan proposing the development of a 5.39 acre tract for 2 detached homes in the R-100 Residential District. An adjacent tract, subdivided from the proposal being reviewed, was previously approved for 8 single-family detached homes which appear to be under construction. An access road from these 8 previously approved homes runs through the subject property, and will overlap with the driveway access for what is currently labelled Lot 2. Waivers have been requested for this development proposal to allow for the existing wooded areas on the site to serve as landscape buffers, and for the applicant to not have to replace all trees over 6" caliper that are removed during the development process. On-lot sewer and water service is proposed.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and township may wish to consider prior to final plan approval. Our comments are as follows:



REVIEW COMMENTS

SITE DESIGN

- 1) Landscaping. One of the waivers proposed for this site is for Section 130-28.F.7 for the replacement of trees over 6" in DBH. As was mentioned in our previous letter concerning the adjacent tract, the township may wish to consider other ways of allowing the applicant to comply with this requirement, such as allowing for trees to be planted elsewhere or to allow for a fee-in-lieu of planting the trees on the site.

TRANSPORTATION

- 1) Emergency Access Easement. The township should ensure that any necessary legal mechanisms are in place to allow for the emergency access driveway to overlap with the everyday driveway access for Lot 2.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve Worcester Township's planning objectives.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number #21-0025-003 on any plans submitted for final recording.

Sincerely,



Anne Leavitt-Gruberger, County Planning Manager
anne.leavitt-gruberger@montgomerycountypa.gov – 610-278-3727

c: Michael Clement, Wisler Pearlstine LLC, Applicant's Representative
Christian Jones, Assistant Township Manager

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan

ATTACHMENTS

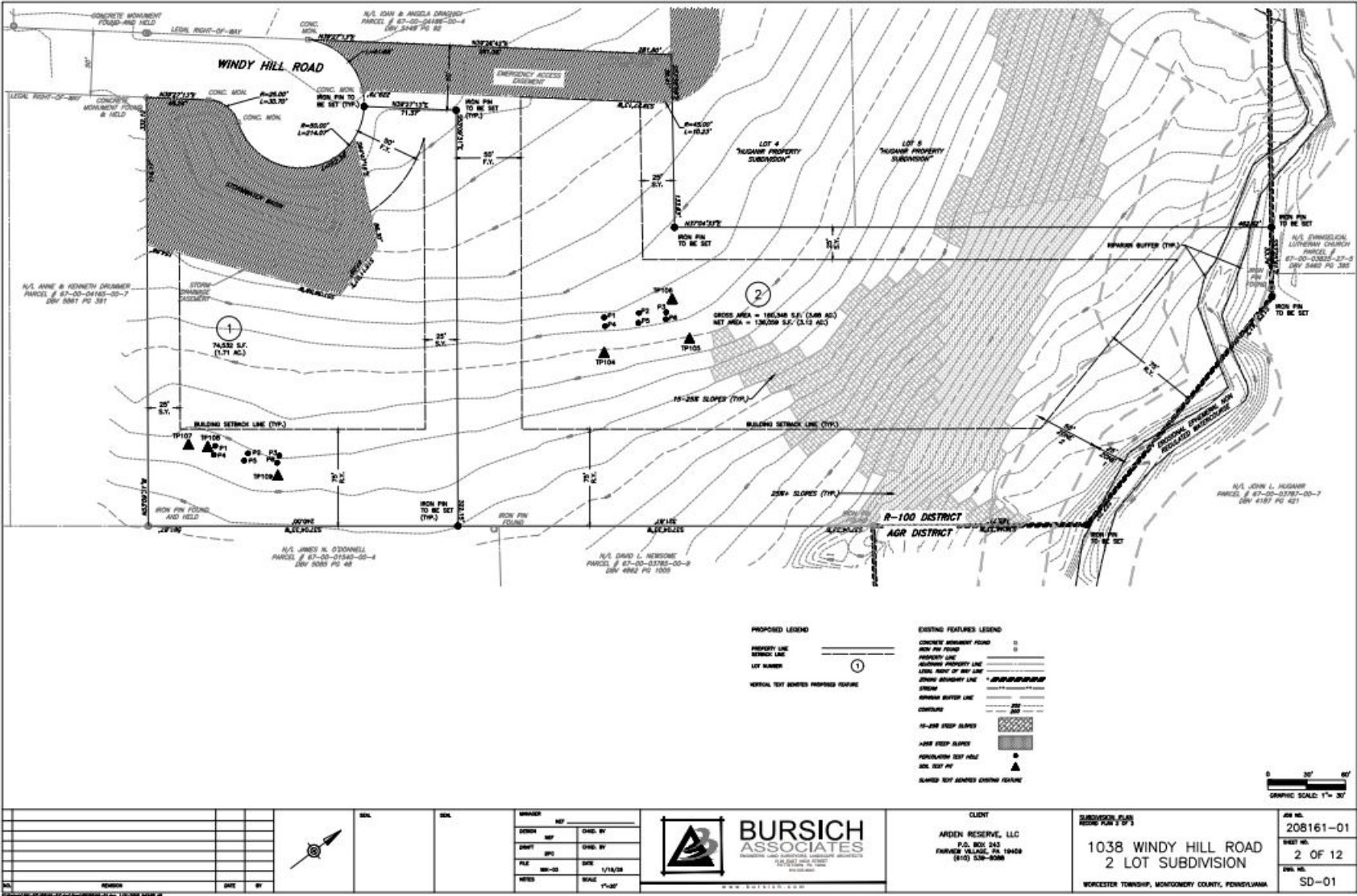


1038 Windy Hill Road - 2 Lot Subdivision
MCPC#210025003

Montgomery
County
Planning
Commission
Montgomery County Courthouse - Planning Commission
P.O. Box 217, Norristown, PA 19384-0217
(p) 610-278-3722 (f) 610-278-3941
www.montcopa.org/plncom
Aerial photography provided by Neamap

0 100 200 400 Feet







March 6, 2025

Mr. Dan Demeno
Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Attention: Christian R. Jones, Assistant Township Manager
Mr. Robert D'Hulster, Public Works Director

RE: **Traffic Review #1 – Minor Subdivision Plans**
1038 Windy Hill Road – Two single-family lots
Worcester Township, Montgomery County, PA
Project No. 313982-25-003

Dear Dan:

In response to the Township's request, Bowman Consulting Group (Bowman) has completed our initial traffic engineering review associated with the proposed subdivision to be located at 1038 Windy Hill Road in Worcester Township, Montgomery County, PA. It is our understanding that the proposed subdivision involves subdividing Parcel 67-00-04162-00-1 into two lots (Lots 1 and 2) with a single-family home proposed to be constructed on each lot. These two lots were shown as a single Lot #9 on the previously approved and recorded plans for the "Huganir Property Subdivision". Access to then subdivided Lots 1 and 2 will be provided via individual driveway connections to the existing, recently constructed cul-de-sac that was extended at the northern end of Windy Hill Road where an emergency access easement was then connected to/from the remaining 8 lots of the Huganir residential subdivision project that have access to Artmar Road.

The following documents were received and reviewed in preparation of our comments:

- Minor Subdivision Plans – 1038 Windy Hill Road, prepared by Bursich Associates, a division of Van Cleef Engineering, dated January 15, 2025.
- Waiver Request Letter – 1038 Windy Hill Road, prepared by Bursich Associates, a division of Van Cleef Engineering, dated January 15, 2025.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township and action by the applicant:

1. Access to Lot 2 is partially located within the emergency access easement for the adjacent residential development located on the Huganir property. Documentation and approval of this condition (i.e., access easement) between the applicant and the property owner of the emergency access easement to/from the Huganir subdivision (if different than the applicant) must be provided in subsequent submissions.

2. There is only one road, Windy Hill Road, that accesses West Germantown Pike and currently serves approximately 18 homes/businesses. The proposed development adds two additional homes that will be served by a single point of access to an adjacent roadway network. Therefore, we recommend that emergency access be available also to the proposed subdivision Lots 1 and 2, as well as other existing Windy Hill Road residents, through the emergency access easement comprised of grass pavers that extends to/from the adjacent residential development of 8 lots for the Hukanir property. A note should be added to the plans for the owner of future Lot 2 to notify them that emergency access to/from Windy Hill Road and the adjacent neighborhood also utilizes a portion of the Lot #2 driveway, since a portion of the driveway is contained within the emergency access easement.
3. Since access to the proposed two-lot subdivision is ultimately provided through the intersection of West Germantown Pike and Windy Hill Road, vehicle sight distances must be provided on the plan for a vehicle exiting Windy Hill Road and looking in both directions at 14.5 feet back from the edge of the closest travel lane on West Germantown Pike, as well as the sight distance looking ahead and to the rear for a vehicle making a left-turn from West Germantown Pike onto Windy Hill Road. It appears that the egressing sight distance looking to the left may be restricted due to an embankment and bush, and egressing sight distance looking to the right may be restricted due to a sign. The sight distances must be confirmed and if the clear and minimum safe stopping sight distance is physically prohibited due to the vegetation/signage along West Germantown Pike, it must be resolved to meet at least the minimum safe stopping sight distances for the posted speed in this area.
4. According to **Section 130-16.C(1)(a)[4]** of the **Subdivision and Land Development Ordinance** and the classification of the roadway in the Township, Windy Hill Road should have a cartway width of 32 feet, which may be reduced to as low as 28 feet when conditions may be unreasonable for this widening for a publicly maintained roadway. The plans currently show an approximate 20-foot cartway width along the Windy Hill Road site frontage, thereby not satisfying the ordinance requirement. The plans should be revised to show at least a 28-foot cartway width along the Windy Hill Road site frontage, or a waiver needs to be requested from this ordinance requirement and approved by the Board of Supervisors.
5. According to **Section 130-16.C(1)(a)[5][b][v]** of the **Subdivision and Land Development Ordinance**, cul-de-sacs shall not be more than 500 feet in length. The existing and recently constructed cul-de-sac at the end of Windy Hill Road is approximately 1,200 feet in length, thereby not satisfying the ordinance requirement. Possibly a waiver was granted under the original land development application for the Hukanir property residential subdivision along with the emergency access easement. While the approximate 1,200-foot-long cul-de-sac is now an existing condition, since the proposed two-lot subdivision is providing additional access to the cul-de-sac, we recommend that a waiver be requested from this ordinance requirement and approved by the Board of Supervisors for this application.
6. According to **Section 130-18.A** of the **Subdivision and Land Development Ordinance**, sidewalk should be provided along the site frontage of Windy Hill Road. The plans currently do not show any sidewalk along the Windy Hill Road site frontage, thereby not satisfying the ordinance requirement. The plans should be revised to show sidewalk along the Windy Hill Road site frontage, or a waiver will need to be requested from this ordinance requirement and approved by

the Board of Supervisors. We note for the Supervisors that there is no sidewalk provided along any section of Windy Hill Road between the cul-de-sac and West Germantown Pike.

The Board of Supervisors may decide to consider deferring this sidewalk obligation that is required of the applicant until such a time as may be required by the Township along the subject property, whether under present or future land ownership, and at no cost to Worcester Township. However, if the Board of Supervisors grants this waiver, we recommend to them and the Township Solicitor that the applicant then provide a contribution in an escrow to the Township in an amount similar to the cost to install said improvements to be used for similar improvements in the vicinity of the site or within the Township.

7. According to **Section 130-18.B** of the **Subdivision and Land Development Ordinance**, curbing should be provided along the site frontage of Windy Hill Road. The plans currently do not show any curbing along the Windy Hill Road site frontage, thereby not satisfying the ordinance requirement. However, a waiver was granted in the Worcester Township Board of Supervisors resolution 2022-22, dated December 21, 2022, for the Hukanir Property Subdivision Plan for final land development that waived the requirement for curbing to be installed along the extension of the cul-de-sac of Windy Hill Road. Therefore, a new or additional waiver may not be required. We also note for the Supervisors that there is no curbing located along any section of Windy Hill Road between the cul-de-sac and the southern side of the driveways for 1011 and 1012 Windy Hill Road where then curbing continues along both sides of Windy Hill Road to the curb radii with West Germantown Pike.
8. The Township Fire Marshal should review the proposed two-lot subdivision for accessibility and circulation needs of emergency apparatus along Windy Hill Road in their review of the plans. Ensure that any correspondence, including any review comments and/or approvals by the fire marshal, is included in subsequent submissions.
9. Additional details, including driveway radii and widths, should be provided on the plan to ensure compliance with **Section 130-17.B(3)** of the **Subdivision and Land Development Ordinance**.
10. The plans must be signed and sealed by a Professional Engineer licensed to practice in the Commonwealth of Pennsylvania that was in responsible charge of the work as required by **Section 130-35.1.A(2)(c)** of the **Subdivision and Land Development Ordinance**.
11. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area South, which has a corresponding impact fee of \$3,125 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. Based on Land Use Code 210 (Single-Family Detached Housing) in the Institute of Transportation Engineers publication, *Trip Generation, 11th Edition*, a single-family home on Lots 1 and 2 would generate **two "new" trips** during the weekday afternoon peak hour resulting in a **transportation impact fee of \$6,250**. These two new single-family residential lots are additional building lots that serve as an extension of land development from the Hukanir property residential subdivision.
12. Based on our review, the applicant should address the aforementioned comments and provide revised plans to the Township and our office for further review and approval recommendations. **The applicant's engineer must provide a response letter that describes how each specific**

review comment has been addressed, where each can be found in the plan set or materials, as opposed to general responses. This will aid in the detailed review and subsequent review timeframes.

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me, Michelle Eve, P.E., or Brian Jones, PTP, TOPS.

Sincerely,



Casey A. Moore, P.E.
EVP/Regional Manager - Transportation

CAM/MEE/BMJ

cc: John Evarts, P.E., CKS Engineers (Township Engineer)
Wendy Feiss McKenna, Esq. (Township Solicitor)
Michael Clement, Esq., Wisler Pearlstine, LLP (Applicant's Attorney)
Nicholas Feola, P.E., Bursich Associates, A Division of Van Cleef Engineering (Applicant's Engineer)

V:\313982 - Worcester Twp PA\313982-25-003 (TRA) - 1038 Windy Hill Road\Engineering\Submissions\2025-01-27 Subdivision Plans\Review\2025-03-06 Review Letter #1 - 1038 Windy Hill Road (finalized).docx



CKS Engineers
4259 West Swamp Road, Suite 410
Doylestown, PA 18902
P: 215.340.0600
www.cksengineers.com

March 20, 2025
Ref: #7201-175

Township of Worcester
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: Dan DeMeno, Township Manager

Reference: 1038 Windy Hill Road
Parcel No. 67-00-04162-00-1
Two-Lot Subdivision Plan Review
Worcester Twp. LD

Dear Dan:

Our office is in receipt of your request for review of a two-lot subdivision plan for the above-referenced site. The submission consists of 12 sheets prepared by Bursich and Associates dated January 15, 2025.

Also included with this submission is a Post Construction Stormwater Report dated January 2025, a Subdivision and Land Development Application, an application form to the Montgomery County Planning Commission, and a signed Township Extension of Time form.

The applicant proposes the subdivision of an existing 5.39-acre parcel in the R-100 Residential Zoning District to create two lots as follows: Lot 1, 74,532 sf and Lot 2, 160,348 sf. The proposed dwellings are to be served by private (well) water service and private sanitary sewage disposal (on-lot systems).

The subject parcel was Lot 9 of the previously approved "Huganir property" subdivision. The site contains an existing stormwater basin and an emergency access for the subdivision. The Applicant proposes to construct a single-family detached dwelling on each lot with access to Windy Hill Road.

We offer the following comments for consideration by the Township:

I. **ZONING ORDINANCE**

The following comments are based upon the Worcester Township Zoning Ordinance (ZO):

1. As per Section 150-203.A, no part of any detention basin shall occupy more than 25% of the required yard area measured as to linear dimension or surface area. The plans must be revised to show the percentage of detention basin in the yard area.

2. All manufactured parts of any detention basin shall be screened by evergreen plantings so as to be not visible from off of the property. No plantings at the basin are shown. (Section 150-203.D)
3. In calculating the lot area, the following shall be excluded: (Section 150-9)
 - a. Any access portion of a lot with a width dimension of less than 70 feet.
 - b. Any area within a floodplain.

These areas should be indicated on the Lot Table for Lot 2 as shown on Sheet 4 and the net lot area for Lot 2 may need to be adjusted accordingly.

4. Floodplain areas based upon floodplain soils shall be considered part of the Floodplain Conservation District and subject to the requirements of the Zoning Ordinance. Rt – Rowland soils is a floodplain soil. (Section 150-135.C.1.b)
5. Up to one half of any required yard setback area on an individual lot may extend into the Floodplain Conservation District. (Section 150-138.A.1) The rear yard setback for Lot 2 should be revised if more than one half the rear yard is within the Floodplain Conservation District.
6. The Riparian Corridor should be labeled on the plans. Buildings and any other type of permanent structure are prohibited within the Riparian Corridor Conservation District. (Section 150-146.8A). The rear yard setback for Lot 2 should be revised.

II. **SUBDIVISION AND LAND DEVELOPMENT ORDINANCE**

The following comments are based upon the Worcester Township Subdivision and Land Development Ordinance (SLDO):

1. We note the following waivers have been requested by the Applicant:
 - a. From Section 130-28.F.(7) requiring replacement of all trees over 6" caliper in excess of the permitted 25% removal.
 - b. From Section 130-28.G.(5) to allow the existing woods/vegetation to suffice to satisfy the perimeter landscape buffer requirements.
2. The Supervisors shall require the subdivider, developer, or builder to obtain from the Montgomery County Department of Health certificates of approval of the type and construction methods to be employed in the installation of the individual water supply system and approval of the sewage disposal facilities. (Section 130-14.F&G)
3. Building setback lines shall be measured from the nearest side of an easement to the proposed building. (Section 130-22.B.1) The front yard setback on Lot 1 and the side yard of Lot 2 should be revised.

4. The minimum driveway paving width of 10 feet should be dimensioned on the plans. (Section 130-17.B.3)
5. Nothing shall be permitted to be placed or put within the area of an easement. (Section 130-22.B.2)

We note the driveway for Lot 2 is relocated within an emergency access easement. A note must be added to the plan indicating the parking or storage of vehicles is prohibited in the portion of driveway in the access easement.

6. It should be determined if an easement should be shown for the basin discharge within Lot 1. (Section 130-22.B.3)
7. The locations of existing wells on adjacent properties should be located to verify that the proposed absorption fields are not closer than 100 feet uphill from the well. (Section 130-26.B.2.d)
8. Sheet 3 indicates an approximate location of 100' x 100' existing tree survey area on the adjacent Lot 5 of the previous "Huganir" subdivision. The Township should determine if this survey area can be used to determine the existing trees that are proposed to be removed on Lots 1 and 2. (Section 130-28.E) As noted above, a waiver has been requested to not replace the calculated 84 caliper inches of trees that would be removed over the allowable 25% of woodland disturbance.
9. Basin landscaping from the approved "Huganir" subdivision should be incorporated into the landscape requirements shown on Sheet 5. (Section 130-28.G.7)

III. **GRADING, STORMWATER MANAGEMENT, AND EROSION AND SEDIMENTATION CONTROL**

The following comments are based upon the requirements of Worcester Township's Stormwater Management Ordinances (SMO):

1. The "Huganir Property" subdivision has an approved stormwater management plan and a PADEP NPDES permit which includes the previously single Lot 9. However, no construction was proposed except for the proposed stormwater basin on this lot. The Applicant proposes to modify the permit to include the proposed improvement to these two lots.
2. A revised Stormwater Management report has been included with this submission which indicates that the only change necessary to account for the subdivision is raising the top of grate elevation of the outlet structure for Basin 001-1.

No provisions have been made to revise the outlet structures on these plans as proposed in the stormwater report.
3. We recommend raising the proposed dwelling unit elevation on Lot 1 to be higher than the surface water within the basin.

4. The location of sump pumps and rood drain discharge must be shown on the plans.
5. Due to the basement floor elevation of the lot which is below the basin bottom elevation, this office has concerns regarding subsurface flow to the basement. The engineer must analyze this condition to ensure that proper design of sump pump and foundation drains is adequate.
6. The outlet pipe for BMP 7 is shown as 15" RCP on Sheet 11; however, all plan views indicate this pipe to be 18" RCP. This discrepancy should be corrected.
7. The BMP 7 outlet structure detail shown on Sheet 11 refers to level spreader 16 detail. No detail has been provided.

IV. **GENERAL CONSIDERATIONS**

1. Sheet 1 indicates Sheets 1, 2, 10, 11 and 12 are to be recorded. The zoning data notes and waivers shown on Sheet 4 should also be placed on one of the record plans.
2. We note that the Emergency Access Easement is also shown as a basin access easement on the approved "Huganir" plans. This should be labeled on the plans. In addition we recommend that the proposed driveway for Lot 2 be relocated out of this access easement.
3. The bearings along the common property line of Lot 2 and Parcel #67-00-04186-00-4 should be verified. Two different bearings are shown along this lot line.
4. All references to Chester County on Sheet 9 should be corrected to Montgomery County.

The above represents all comments on this initial plan submission. The Applicant's engineer should review these comments and make appropriate revisions to the plan as required. Please do not hesitate to contact me if you have any questions or need further assistance on this project.

Very truly yours,
CKS ENGINEERS
Township Engineers



John W. Evarts, P.E.

JWE/klk

cc: Wendy F. McKenna, Esq., Township Solicitor (via email)
Casey Moore, P.E., Township Traffic Engineer (via email)
Arden Reserve, LLC (via email)
Michael Clement, Esquire (via email)
Bursich and Associates (via email)
File



January 31, 2025

Worcester Township
1721 S. Valley Forge Road
Worcester, PA 19490

Attention: Dan Demeno, Manager

Reference: Meadowood – Health Center Expansion
Land Development Application

Dear Dan:

The Meadowood team would like to once again thank the Township staff for their guidance as we negotiate the land development approvals process. This letter will serve as a transmittal of the plans and documents that are required in conjunction with that task. We have attached:

1. 14 sets of plans dated January 31, 2025.
2. The signed application.
3. The application fee in the amount of \$7,133.50.
4. The escrow fee in the amount of \$16,500.00.

We do not believe that there are any waivers necessary from the Township's subdivision and land development ordinance at this time. Obviously, we will await a thorough review by your professional team and ready ourselves to answer any questions or thoughts that may be revealed.

The design has been fairly well thought-out. I do point out to John Evarts the complications regarding utility relocation. We are currently working with PECO with regard to gas, North Penn Water Authority regarding the water lines, and our internal mechanical and electrical design engineers for the connections to the building and our building systems. We acknowledge our obligation to provide stormwater management for the increase in impervious cover in this area of our campus. We are proposing the installation of an

January 31, 2025

Worcester Township

Attention: Dan Demeno, Manager

Reference: Meadowood – Health Center Expansion
Land Development Application

underground seepage bed to surround a section of our storm sewer collection system to serve this purpose. We have not completed this design as we are awaiting design information from our professionals with regard to other utility connections that may conflict with our storm system design. These components of the plan will be completed with the first revision of the set that speaks to any questions that may raise.

We look forward to seeing you soon.

Sincerely,

Timothy P. Woodrow, P.E.

President

Woodrow & Associates, Inc.

Cc: Paul Nordeman, MHA, President & CEO – Meadowood Corporation
Marlon Back, Vice President, Facilities Services – Meadowood Corporation
John Evarts, PE, Township Engineer – CKS Engineers
Wendy F. McKenna, Esq., Township Solicitor – Robert L. Brant & Associates
Kate Harper, Esq. – Timony Knox, LLP

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

APPENDIX

SUBDIVISION AND LAND DEVELOPMENT APPLICATION

Date of Application: _____ Fee Paid: _____ W.T.P.C File No _____

Application for:

Preliminary Review ✓

Final Review

1.) Property: Address 3205 Skippack Pike
Location/Parcel Number 67-00-03185-00-6, 67-00-01099-00-4, 67-00-0396-00-4, 67-00-03199-00-1

2.) Owner of record of land: Name The Meadowood Corp. Tel. # 610-584-3607
Address: 3205 Skippack Pike, Worcester, PA 19490 Email pnordeman@mwood.org

3.) Applicant: Name SAME Tel. # _____
Address _____ Email _____

4.) Agent or Attorney, (if any): Name Catherine M. Harper, Esq. Tel # 215-646-6000
400 Maryland Drive
Address Ft. Washington, PA 19034 Email charper@timoneyknox.com

5.) Registered Engineer or Surveyor: Name Woodrow & Assoc., Inc Tel # 215-542-5648
1108 N Bethlehem Pk, Suite 5
Address Lower Gwynedd, PA 19002 Email twoodrow @woodrowinc.com

6.) Name of Subdivision or Development: Meadowood Campus - Health Care Northeast Expansion

7.) Where deed is recorded: Book No. 5752 Page No. 111

8.) No. of Lots or Dwelling Units: Eight personal units and fifteen (15) skilled care beds

9.) Average Lot Size: N/A

10.) Density (dwelling units per acre): N/A

11.) Total Area to be developed ~~or subdivided~~: _____

*Gross 131.087 Acres **Net 118.2056 Acres

Area in flood plain (if any) _____

12.) Water Supply: Public system ✓ On lot system _____

13.) Sewage System: Public system ✓ On lot system _____

14.) List of all Encumbrances:

| <u>Amount</u> | <u>Name & Address of Person/Firm</u> | <u>Bk.No.</u> | <u>Pg. No</u> |
|---------------|--|---------------|---------------|
| | | | |
| | | | |
| | | | |

15.) Zoning classification of subject land: _____

WTPC File # _____

16.) Explanatory statement of plan to be reviewed: _____
New Health Care Building addition

17.) Linear feet of new streets: 0

18.) Copy of all restrictions, covenants, etc. If any, under which lots are to be sold.

Attached _____

None ☒

19.) Statement fixing period requested for completion of all items in Paragraph 18 above:

N/A

20.) Improvements to be made by applicant to subject land with approximate estimate of cost of each:

| | <u>Unit Cost</u> | <u>No. of Units</u> | <u>Total</u> |
|--------------------------------------|------------------|---------------------|--------------|
| a. Curbs..... | _____ | _____ | _____ |
| b. Sidewalks..... | _____ | _____ | _____ |
| c. Widening of Existing Streets..... | _____ | _____ | _____ |
| d. Park Land..... | _____ | _____ | _____ |
| e. Street Lighting..... | _____ | _____ | _____ |
| f. Storm Drainage..... | _____ | _____ | _____ |
| g. Water Supply & Fire Hydrants.... | _____ | _____ | _____ |
| h. Sewage Disposal..... | _____ | _____ | _____ |
| i. Monuments..... | _____ | _____ | _____ |
| j. Landscaping..... | _____ | _____ | _____ |
| k. Etc. | _____ | _____ | _____ |

21.) A copy of the description of the land as set forth in the deed shall be attached.

Signature of Owner Paul Nordenman

Date: 1/30/25

* Gross Area – area calculated to center of street

** Net Area – area calculated to the right of way. Net areas are to be used for density and land area requirements.

| Land Development, Non-residential | | |
|--|---|---------------------|
| base application fee | $32670/1000 \times 50 = \$1633.50 + 5500 = \7133.50 | App fee \$ 5,500.00 |
| additional fee per 1,000 sq. ft. of gross floor area | | \$ 50.00 |
| escrow | | \$ 16,500.00 |

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

EXTENSION OF TIME

Date: _____

Attn: Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Dear Township Manager:

RE: SUBDIVISION PLAN/LAND DEVELOPMENT PLAN OF _____
Meadowood Campus - Health Care Addition

On _____, I (we) submitted the referenced plan for official filing.

Please be advised that notwithstanding any contrary provision of the Pennsylvania Municipalities Planning Code or the Worcester Township Subdivision and Land Development Ordinance, this letter will serve as notice to Worcester Township that the requirement that action be taken on this Plan within ninety (90) days, is hereby waived, without limitation as to time.

This waiver is granted to permit us to make such adjustments or revisions to the Plan as may be required during the Plan review process.

If we ever deem it necessary to limit the time of the subdivision or land development review process, we may revoke this extension of time in writing, sent certified mail, return receipt requested, and the Township shall be obligated to render a decision on our plans within sixty (60) days after the date on which the written revocation notice was received.

If the township determines that insufficient progress is being made towards concluding the subdivision or land development review process, the Township may revoke this extension of time in writing, sent regular mail and certified mail, return receipt requested. For purposes of this provision, the Township's written notice shall be deemed received, if sent regular mail and certified mail, on the date of the written receipt on the certified mail return receipt, or, three (3) days after the date indicated on the Township's notification letter in the event the certified mail is return as "refused", "unclaimed", or is otherwise returned without indication of receipt, if addressed as follows (or to a subsequent address specifically provided to the Township by us for the purpose of notice):

At any time sixty (60) days after our receipt of such notice from the Township, we understand that the Township may take (but shall not be obligated to take) such action with regard to our plans as the Township deems necessary and appropriate.

We further understand that nothing herein shall be construed to prevent us from offering, and the Township from accepting, additional extensions of time in the future, but neither party shall be obligated to do so by the terms of the Agreement.

Very truly yours,

By: Paul Nordeman
Signature
Paul Nordeman, CEO/President
Print Name, Title

Date: _____

Accepted by:

Chairman, Board of Supervisors

Attest:

Manager/Secretary

APPROVAL CERTIFICATIONS:

OWNER'S CERTIFICATE

I, _____, HEREBY CERTIFY THAT I AM AUTHORIZED TO ACT ON BEHALF OF MEADOWOOD CORPORATION AND THAT SAID CORPORATION DOES HEREBY CONSENT TO THE APPROVAL OF THIS PLAN THAT HAS BEEN GRANTED AND THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED.

CORPORATE SEAL

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THIS, THE _____ DAY OF _____, 2025, BEFORE ME, THE UNDERSIGNED OFFICER, A NOTARY PUBLIC, PERSONALLY APPEARED PAUL NORDMAN, KNOWN TO ME OR SATISFACTORILY PROVEN TO BE THE PRESIDENT / CEO OF THE MEADOWOOD CORPORATION, AND AS SUCH OFFICER, BEING DULY AUTHORIZED TO DO SO, EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF THE CORPORATION BY HIMSELF / HERSELF AS SUCH OFFICER FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

(NOTARY PUBLIC) _____

(MY COMMISSION EXPIRES ON) _____

TOWNSHIP ENGINEER CERTIFICATE

REVIEWED BY THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF WORCESTER CERTIFYING THAT THIS PLAN CONFORMS TO THE TOWNSHIP SUBDIVISION & LAND DEVELOPMENT REGULATIONS ON THIS _____ DAY OF _____, 2025.

TOWNSHIP ENGINEER _____

PLANNING COMMISSION CERTIFICATE

RECOMMENDED FOR APPROVAL BY THE TOWNSHIP PLANNING COMMISSION OF THE TOWNSHIP OF WORCESTER ON THIS _____ DAY OF _____, 2025.

SECRETARY (ATTEST) _____

BOARD OF SUPERVISORS CERTIFICATE

APPROVED BY THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORCESTER ON THIS _____ DAY OF _____, 2025.

SECRETARY (ATTEST) _____

SURVEYOR'S CERTIFICATION

I, **KEITH A. HOUSER**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY MADE BY MYSELF OR UNDER MY SUPERVISION AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS SHOWN ARE CORRECT.

SIGNATURE: SV-07510 LIC. No: _____ DATE: _____

ENGINEER'S CERTIFICATION

I, **TIMOTHY P. WOODROW**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS PLAN WAS PREPARED BY MYSELF OR UNDER MY SUPERVISION AND THAT SAID PLAN COMPLIES WITH ALL ORDINANCES AND REGULATIONS OF THE TOWNSHIP.

SIGNATURE: 030735-E LIC. No: _____ DATE: _____

RECORDER OF DEEDS

RECORDED THIS _____ DAY OF _____, 2025, IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, PENNSYLVANIA IN PLAN BOOK _____, PAGE NUMBER _____.

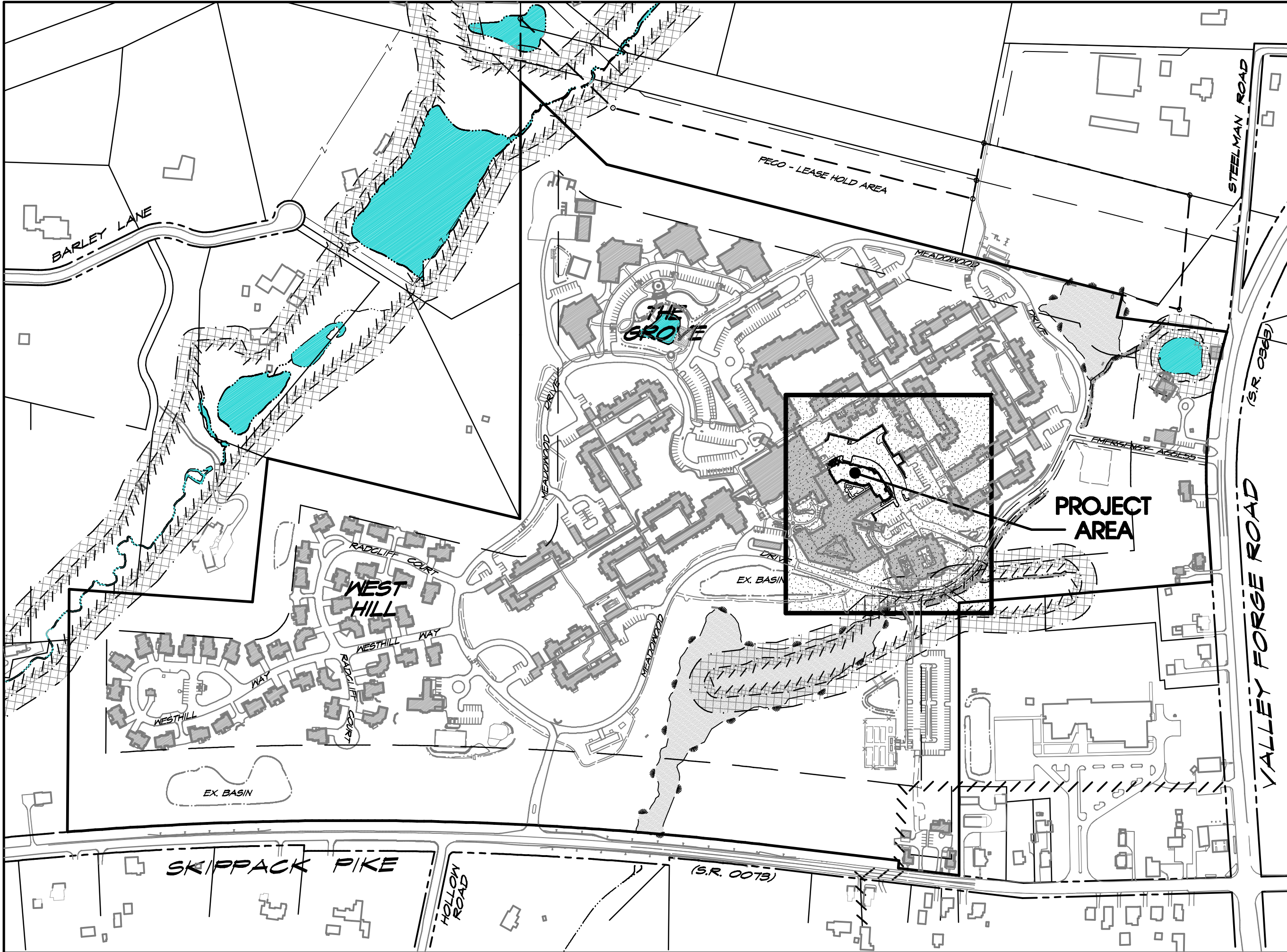
RECORDER OF DEEDS: _____

MCPC No.: _____

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date: _____

For the Director
Montgomery County Planning Commission



SITE LAYOUT

Image provided by Nearmap. Flight date: March 11, 2024.

PROJECT SHEET INDEX

| SHEET No.: | SHEET DESCRIPTION: | SHEET No.: | SHEET DESCRIPTION: |
|------------|---|------------|---|
| 1 of 17 | COVER – INDEX SHEET | 10 of 17 | PROJECT CONSTRUCTION DETAILS 'A' |
| 2 of 17 | RECORD PLAN – OVERALL TRACT | 11 of 17 | PROJECT CONSTRUCTION DETAILS 'B' |
| 3 of 17 | EXISTING FEATURES PLAN – OVERALL TRACT | 12 of 17 | EROSION & SEDIMENT CONTROL PLAN |
| 4 of 17 | EXISTING FEATURES & DEMOLITION – PROJECT AREA | 13 of 17 | EROSION & SEDIMENT CONTROL SPECIFICATIONS & NOTES |
| 5 of 17 | PROJECT AREA LAYOUT PLAN | 14 of 17 | EROSION & SEDIMENT CONTROL DETAILS |
| 6 of 17 | PROJECT AREA IMPROVEMENTS PLAN | 15 of 17 | DRAINAGE AREA BOUNDARY – PRE-DEVELOPMENT |
| 7 of 17 | PROJECT AREA UTILITIES PLAN | 16 of 17 | DRAINAGE AREA BOUNDARY – POST-DEVELOPMENT |
| 8 of 17 | PROJECT AREA LANDSCAPING PLAN | 17 of 17 | DRAINAGE AREA BOUNDARY – DESIGN SUB-AREAS |
| 9 of 17 | PROFILE SHEET – CROSS-LOT PROFILES | | |

Preliminary Plan approval GRANTED per Resolution #2025-____, dated _____, 2025
Final Plan approval granted per Resolution #2025-____, dated _____, 2025

HEALTH CARE NORTHEAST EXPANSION

for

MEADOWOOD SENIOR LIVING

TOWNSHIP of WORCESTER – MONTGOMERY COUNTY – PENNSYLVANIA

| CAMPUS AREA SCHEDULE | | | |
|------------------------------|--|-------------------------|--|
| PROJECT TRACT AREA SCHEDULE: | Block 28 Unit 28 – 3205 Skippack Pk | 124.6160 Acres | |
| | Block 28 Unit 66 – PECO Lease Hold Area | 12.8761 Acres | |
| | GROSS PROJECT AREA: [1] | 137.4921 Acres | |
| | Legal/Ultimate Right-of-Way | -0.9507 Acres | |
| | Right-of-Way of Overhead Utility | -12.8761 Acres | |
| EXISTING BUILDING: | Existing Easements (San., Water) | -1.0199 Acres | |
| | Floodplains, Wetlands, Lands Covered by Water | -5.9696 Acres | |
| | DEVELOPABLE AREA: | 116.6758 Acres | |
| BUILDING COVERAGE: [2] | Existing LIFE CARE Buildings | 7.8746 Acres | |
| | Existing WEST HILL Homes | 2.4729 Acres | |
| | Existing GROVE Buildings | 1.2338 Acres | |
| | Existing Accessory Buildings | 1.4945 Acres | |
| | EXISTING BUILDING: | (11.21 %) 13.0758 Acres | |
| PROPOSED BUILDING: | | +0.1881 Acres | |
| | TOTAL PROPOSED AREA: | (11.37 %) 13.2639 Acres | |
| SITE DENSITY: | Apartments | 260 Units | |
| | ILLU (West Hill=40/Grove=52) | 92 Units | |
| | McLean Memory Care | 20 Units | |
| | Skilled Beds (113/2) [1] | 57 Units | |
| | EXISTING DWELLING UNITS: | 429 Units | |
| PROPOSED: | 1st Floor Personal Care | 8 Units | |
| | 2nd Floor Skilled Beds (16/2) | 8 Units | |
| | 3rd Floor Skilled Beds (15/2) | 7 Units | |
| TOTAL PROPOSED UNITS: | | 23 Units | |
| | POST-DEVELOPMENT TOTAL UNITS: | 452 Units | |
| IMPERVIOUS COVERAGE: [2] | Total Building Area: | 13.0758 Acres | |
| | Conc. Walks/Paths/Decks/Patios: | 5.0638 Acres | |
| | Site Asphalt Paving: | 12.4021 Acres | |
| | Asphalt (Pervious) Trail Area: | 0.8183 Acres | |
| | Stone Parking/Maint. Yard: | 1.3500 Acres | |
| EXISTING IMPERVIOUS: | | (28.04 %) 32.7100 Acres | |
| | PROPOSED IMPERVIOUS: | +0.1092 Acres | |
| TOTAL PROPOSED AREA: | | (28.13 %) 32.8192 Acres | |
| | [1] 2 Non-Independent Beds = 1 Dwlg. Unit | | |
| | [2] Building & Impervious ratio are based on Developable Area. | | |

| SITE ZONING DATA SCHEDULE | | | |
|---|--|---|----------------|
| EXISTING/PROPOSED SITE USE: RESIDENTIAL LIFE CARE FACILITY (USE APPROVED per CONDITIONAL USE – Z.O. Section 150-11.E(7)) | | | |
| ZONING DISTRICT: LRD – LAND PRESERVATION DISTRICT (SECTION 150-110.10) (AGR REQUIREMENTS USED PER Z.O. SECTION 150-110.11) | | | |
| ORDINANCE ITEM | SECTION No.: | REQUIREMENT: | PROVIDED: |
| MINIMUM LOT AREA | 150-11.E(7) | 75 Acres | 137.4921 Acres |
| MINIMUM LOT WIDTH | 150-12.B(1) | 250 Ft. | >250 Ft. |
| MINIMUM FRONT YARD: | 150-13.B(2) | 250 Ft. | >250 Ft. |
| MINIMUM SIDE YARD: | 150-13.B(2) | 125 Ft. | >125 Ft. |
| MINIMUM REAR YARD: | 150-13.B(2) | 125 Ft. | >125 Ft. |
| MINIMUM PARKING SETBACK: | 150-16.B(2) | 100 Ft. | >100 Ft. [2] |
| MAXIMUM BUILDING HEIGHT | 150-15 | 35 Ft. | 42.0 Ft. |
| MAXIMUM IMPERVIOUS: BUILDING | 150-11.E(7) | 15 % | 11.37 % |
| TOTAL LOT | 150-11.E(7) | 40 % | 28.01 % |
| PARKING SPACE QTY. (EXCLUDES WEST HILL CARRIAGE HOMES) | | | |
| | 150-153.B(3) | 1/Every 3 Beds + 1/Employee on 2 Largest Shifts | |
| Ex. Apartments | 260 Apts @ 2 Beds Ea.= | 173 Required | 173+ Spaces |
| Ex. Health Care Beds | 113 Beds= | 37 Required | 37+ Spaces |
| Ex. Grove Units | 52 Apts @ 2 Beds Ea.= | 35 Required | 35+ Spaces |
| Ex. Employees | 1/Employee on 2 largest shifts= | 100 Required | 100+ Spaces |
| PR. HEALTH CARE ADDITION | 31 Beds= | 10 Required | 10+ Spaces |
| TOTAL | | 355 Spaces | 701 Spaces [1] |
| [1] Provided Parking Space Count: | | | |
| EXISTING: | 493 Lot + 137 Carport + 36 Handicapped + 52 Garage = | 718 Spaces | |
| PROPOSED: | 476 Lot + 137 Carport + 36 Handicapped + 52 Garage = | 701 Spaces | |
| | NET PARKING CHANGE = | -17 Spaces | |
| [2] VARIANCE GRANTED for proposed building height of 42.0 Ft. at the January 21, 2025 Zoning Hearing Board meeting. | | | |

WAIVER LIST (Requested):

- The following list of the Waivers from the Worcester Township Subdivision & Land Development Ordinance (SLDO), GRANTED per Resolution #2025-____, Granting Preliminary Approval of Health Care Northeast Expansion – Meadowood Senior Living dated _____, 2025:
- -
 -
 -
 - 130-28.E(1): Existing Tree Survey: To allow existing tree survey only for impacted project area.
 - 130-28.G(4): Street Trees: To allow existing trees along frontage to satisfy this requirement for both the existing Skippack Pike and Valley Forge Road frontages.
 - 130-28.G(6)(b): Not more than 15 parking spaces shall be placed in a continuous row w/o an intervening raised planting island of at least 10' in width.
 - 130-33.C: To allow use of Aerial Photograph to fulfill requirements of showing existing features within 400-Ft. of the project tract.

REVISIONS

PLAN NORTH

KEITH A. HOUSER
REGISTERED PROFESSIONAL
LAND SURVEYOR
No. 03875-E

TIMOTHY P. WOODROW
REGISTERED PROFESSIONAL
ENGINEER
No. 03875-E

PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611
A Ready To-Go Map of Pennsylvania

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 67-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

150' 0' 300'
Scale In Feet (1" = 300')
© COPYRIGHT 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN – HEALTH CARE NORTHEAST EXPANSION
COVER – INDEX SHEET
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP – MONTGOMERY COUNTY – PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Meridian Street
Philadelphia, PA 19102
Phone: (215) 542-6648 Web: www.Woodrowinc.com

Layer List:
D21-01_Cover

Job No:
00-0606 D21

Plan Date:
JAN. 31, 2025

Sheet No:
1 of 17

GENERAL PLAN NOTES

BASE EXISTING FEATURES AND SURVEY NOTES:

- The boundary information illustrated on this plan was taken from a plan entitled ALTA/NSPS - Land Title Survey for Meadowood as prepared for The Meadowood Corp. as prepared by Woodrow & Assoc., Inc., Lower Gwynedd, PA, dated October 12, 2018, last revised October 17, 2018. Bearings shown reflect a -05 Deg. 33 Min. 05 Sec. clockwise rotation from the above referenced plan to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
- Boundary information updated per Subdivision - Land Development Plan prepared by Woodrow & Assoc., Inc. dated December 16, 2019 (as amended) to include Parcel B, C & D.
- The base existing features and project topography illustrated on this plan was compiled from Aerial Survey data prepared by FROMAPS, Inc., Bensalem, PA (Feb 2005). Additional field survey has been performed in target on-site project locations to verify and reflect accurate information.
- The site benchmark is on existing sanitary sewer manhole located in the existing Loop Road directly in front of the Sanitary Sewer Pump Station having a rim elevation of 248.19 and floor elevation of 235.58.
- This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum.
 - Aerial imagery provided by Neopmap, Inc. for the subject project limits. Aerial imagery from Flight dated FEB. 17, 2020, updated February 24, 2024.
 - ALTA/ACSM Survey Plan prepared for Meadowood Life Care Community, by Urwiler & Walter, Inc., dated 02/03/2005, last revised 02/08/2005, Project No. 04155.
 - Wetlands & Waters illustrated on this plan were field mapped by Penna Trail Environmental, Hatfield, PA during the month of March 2018, updated by Cherry Ridge Consulting, LLC, Sciota, PA during the month of March 2023.
 - There are no identifiable Flood Plain areas within the project site as illustrated on Community Panel Number 421818-0253.6 (March 2, 2016) of the Flood Insurance Rate Map, prepared by the Federal Emergency Management Administration for the Township of Worcester, Pennsylvania.
 - All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
 - Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. Information pertaining to: size, location, depth, etc. of subsurface utilities is approximate in nature and has been obtained as an aid for the project design. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied guarantee that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
 - All of the stormwater management facilities, including the conveyance system and stormwater basins are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
 - All of the sanitary sewer facilities (gravity only), including the main conveyance system and building laterals are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
 - A "Blanket Utility Easement" in favor of North Penn Water Authority, over the existing water main that runs the perimeter of the Meadowood Drive loop driveway and is recorded in Deed Book 6109, Page 1481.

PRIOR APPROVALS

The Meadowood Property has been subject to several previously implemented Land Development applications and approvals as noted below:

- Conditional Use Order for the Development of the West Hill Cottages and the Laurel House Healthcare Expansion. Conditional Use approved on April 30, 2001.
- Resolution #02-05 for the Development of the West Hill Cottages (Phase 1) and the Laurel House Healthcare Expansion (Phase 2). Approval for Phase 1 dated March 20, 2002.
- Resolution #08-04 for the Development of the West Hill Cottages (Phase 1) and the Laurel House Healthcare Expansion (Phase 2). Approval for Phase 2 dated January 16, 2008.
- Resolution #2015-31 for the Development of the Schultz Community Center & Courtyard Expansion. Approval dated November 18, 2015.
- Resolution #2017-11 for the Development of the Schultz Community Center - Office Suite Additions at Meadowood (aka Marketing Suite Additions).
- ZHB Application #2017-12 for Variance from 150-15, to allow the (4) Buildings at the Grove to be 3-Stories, with Bldg 3 to be 38'-6" in height, and Bldg 4 to be 37'-10" in height.
- Resolution #2018-02 for Final Land Development Approval of The Grove at Meadowood. Approval dated June 20, 2018.
- Re-Zoning of 3103 Skippack Pike (Parcel C) from R-100 Residential District to LPD Land Preservation District. Nov. 20, 2019.
- Resolution #2020-12 for the Consolidation of Parcel(s) A, B, C, & D and the installation of two Emergency Generators.
- Conditional Use Order for the crossing of the Riparian Corridor with a new Access Drive to Victory Garden site. Conditional Use approved March 20, 2019 (CUA #2019-01).
- Variance from 20 150-13.B(2) to encroach 20' into the required Side Yard setback & from 20 150-146.8 to encroach not more than 40' into required Riparian Corridor. Granted by the Zoning Hearing Board at their 03/09/20 meeting (#2020-04).
- Special Exception to allow a roadway & pedestrian crossing in the Flood Plain Conservation Overlay District under 20 150-138.A(4)(b). Granted by the Zoning Hearing Board July 14, 2020 per Order No. 2020-07.
- Conditional Use Order for installation of a Pedestrian Bridge crossing the Riparian Corridor and modification of the Access Drive to the proposed Parking Lot. Conditional Use approved Sept. 16, 2020 (CUA #2020-01).
- Resolution #2021-21 for the Final Land Development Approval of new Memory Care Facility. Approval dated May 19, 2021.

SITE ZONING DATA SCHEDULE

| EXISTING/PROPOSED SITE USE: RESIDENTIAL LIFE CARE FACILITY (USE APPROVED PER CONDITIONAL USE - Z.O. Section 150-11.E(7)) | | | |
|---|---------------------------------|--|----------------|
| ZONING DISTRICT: LPD - LAND PRESERVATION DISTRICT (SECTION 150-110.10) (AGR REQUIREMENTS USED PER Z.O. SECTION 150-110.11) | | | |
| ORDINANCE ITEM | SECTION No.: | REQUIREMENT: | PROVIDED: |
| MINIMUM LOT AREA | 150-11.E(7) | 75 Acres | 137,492 Acres |
| MINIMUM LOT WIDTH | 150-12.B(1) | 250 Ft. | >250 Ft. |
| MINIMUM FRONT YARD: | 150-13.B(2) | 250 Ft. | >250 Ft. |
| MINIMUM SIDE YARD: | 150-13.B(2) | 125 Ft. | >125 Ft. |
| MINIMUM REAR YARD: | 150-13.B(2) | 125 Ft. | >125 Ft. |
| MINIMUM PARKING SETBACK: | 150-16.B(2) | 100 Ft. | >100 Ft. |
| MAXIMUM BUILDING HEIGHT: | 150-15 | 35 Ft. | 42.0 Ft. [2] |
| MAXIMUM IMPERVIOUS: | | | |
| BUILDING | 150-11.E(7) | 15 % | 11.37 % |
| TOTAL LOT | 150-11.E(7) | 40 % | 28.01 % |
| PARKING SPACE QTY. (EXCLUDES WEST HILL CARRIAGE HOMES) | | | |
| | 150-153.B(3) | 1/Every 3 Beds + 1/Employee on 2 Largest Shifts | |
| Ex. Apartments | 260 Apts @ 2 Beds Ea.= | 173 Required | 173+ Spaces |
| Ex. Health Care Beds | 113 Beds= | 37 Required | 37+ Spaces |
| Ex. Grove Units | 52 Apts @ 2 Beds Ea.= | 35 Required | 35+ Spaces |
| Ex. Employees | 1/Employee on 2 largest shifts= | 100 Required | 100+ Spaces |
| PR. HEALTH CARE ADDITION | 31 Beds= | 10 Required | 10+ Spaces |
| TOTAL | | 355 Spaces | 701 Spaces [1] |

[1] Provided Parking Space Count:
EXISTING: 463 Lot + 137 Corport + 36 Handicapped + 52 Garage = 718 Spaces
PROPOSED: 476 Lot + 137 Corport + 36 Handicapped + 52 Garage = 701 Spaces
NET PARKING CHANGE = -17 Spaces

[2] VARIANCE GRANTED for proposed building height of 42.0 Ft. at the January 21, 2025 Zoning Hearing Board meeting.

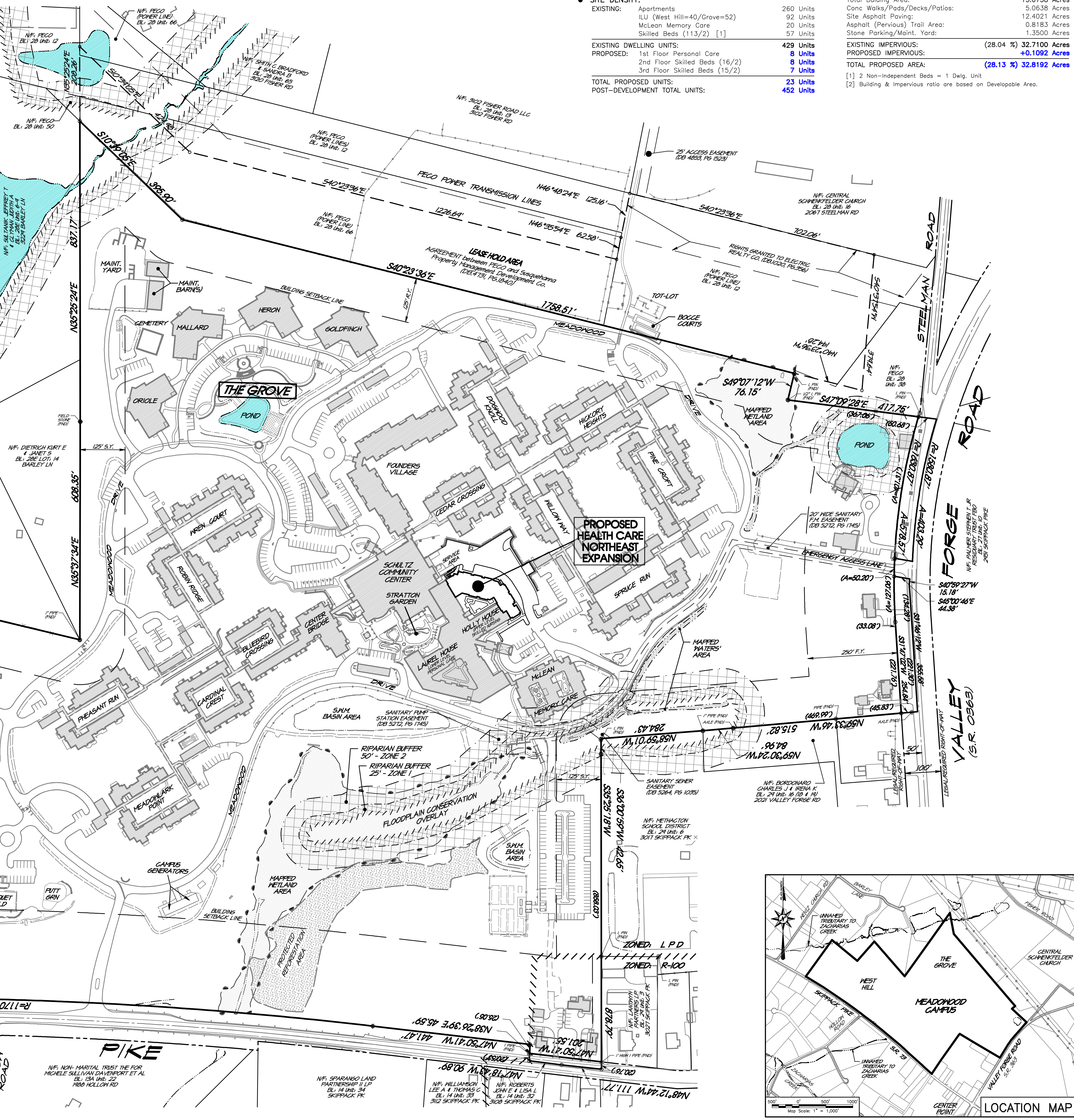
WAIVER LIST (Requested):

The following list of the Waivers from the Worcester Township Subdivision & Land Development Ordinance (SUDO), GRANTED per Resolution #2025-___ Granting Preliminary Approval of Health Care Northeast Expansion - Meadowood Senior Living dated _____, 2025:

-
-
-
-
- 130-28.E(1): Existing Tree Survey: To allow existing tree survey only for impacted project area.
- 130-28.G(4): Street Trees: To allow existing trees along frontage to satisfy this requirement for both the existing Skippack Pike and Valley Forge Road frontages. Not more than 15 parking spaces shall be placed in a continuous row w/o an intervening raised planting island of at least 10' in width.
- 130-28.G(6)(b):
- 130-33.C: To allow use of Aerial Photograph to fulfill requirements of showing existing features within 400'-ft. of the project tract.

PLAN LEGEND

- Tract Boundary Line
- Legal Right-of-Way Line
- Existing Roadway Centerline
- Zoning District Boundary
- Riparian Buffer Limit
- Mapped "Wetland" Limits
- Mapped "Waters" Limits

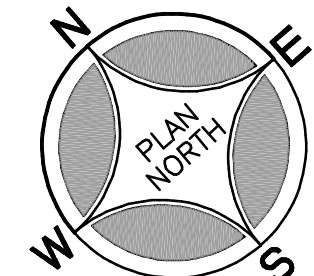


CAMPUS AREA SCHEDULE

| PROJECT TRACT AREA SCHEDULE: | | | |
|---|----------------|---------------|--|
| Block 28 Unit 28 - 3205 Skippack Pk | 124.6160 Acres | | |
| Block 28 Unit 66 - PECO Lease Hold Area | 12.8761 Acres | | |
| GROSS PROJECT AREA: [1] | 137.4921 Acres | | |
| Legal/Ultimate Right-of-Way | -0.9507 Acres | | |
| Right-of-Way of Overhead Utility | -12.8761 Acres | | |
| Existing Easements (San., Water) | -1.0199 Acres | | |
| Floodplains, Wetlands, Lands Covered by Water | -5.9696 Acres | | |
| DEVELOPABLE AREA: | 116.6758 Acres | | |
| BUILDING COVERAGE: [2] | | | |
| Total Building Area: | | 7.8746 Acres | |
| Existing LIFE CARE Buildings | | 2.4729 Acres | |
| Existing WEST HILL Homes | | 1.2338 Acres | |
| Existing GROVE Buildings | | 1.4945 Acres | |
| Existing Accessory Buildings | | | |
| EXISTING BUILDING: | (11.21 %) | 13.0758 Acres | |
| PROPOSED BUILDING: | | +0.1881 Acres | |
| TOTAL PROPOSED AREA: | (11.37 %) | 13.2639 Acres | |
| IMPERVIOUS COVERAGE: [2] | | | |
| Total Building Area: | | 13.0758 Acres | |
| Conc. Walks/Pads/Decks/Patios: | | 5.0638 Acres | |
| Site Asphalt Paving: | | 12.4021 Acres | |
| Asphalt (Pervious) Trail Area: | | 0.8183 Acres | |
| Stone Parking/Maint. Yard: | | 1.3500 Acres | |
| EXISTING IMPERVIOUS: | (28.04 %) | 32.7100 Acres | |
| PROPOSED IMPERVIOUS: | | +0.1092 Acres | |
| TOTAL PROPOSED AREA: | (28.13 %) | 32.8192 Acres | |

[1] 2 Non-Independent Beds = 1 Dwlg. Unit
[2] Building & Impervious ratio are based on Developable Area.

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

A Public Utility System for Emergency Services

Parcel Information:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
Worcester, PA 19380

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
Worcester, PA 19380

Scale in Feet (1" = 150')

© COPYRIGHT 2025 WOODROW & ASSOCIATES, INC.

ALL RIGHTS RESERVED

Worcester, PA 19380

Phone: (215) 546-6666

Web: www.woodrowinc.com

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

Worcester, PA 19380

GENERAL PLAN NOTES

BASE EXISTING FEATURES AND SURVEY NOTES:

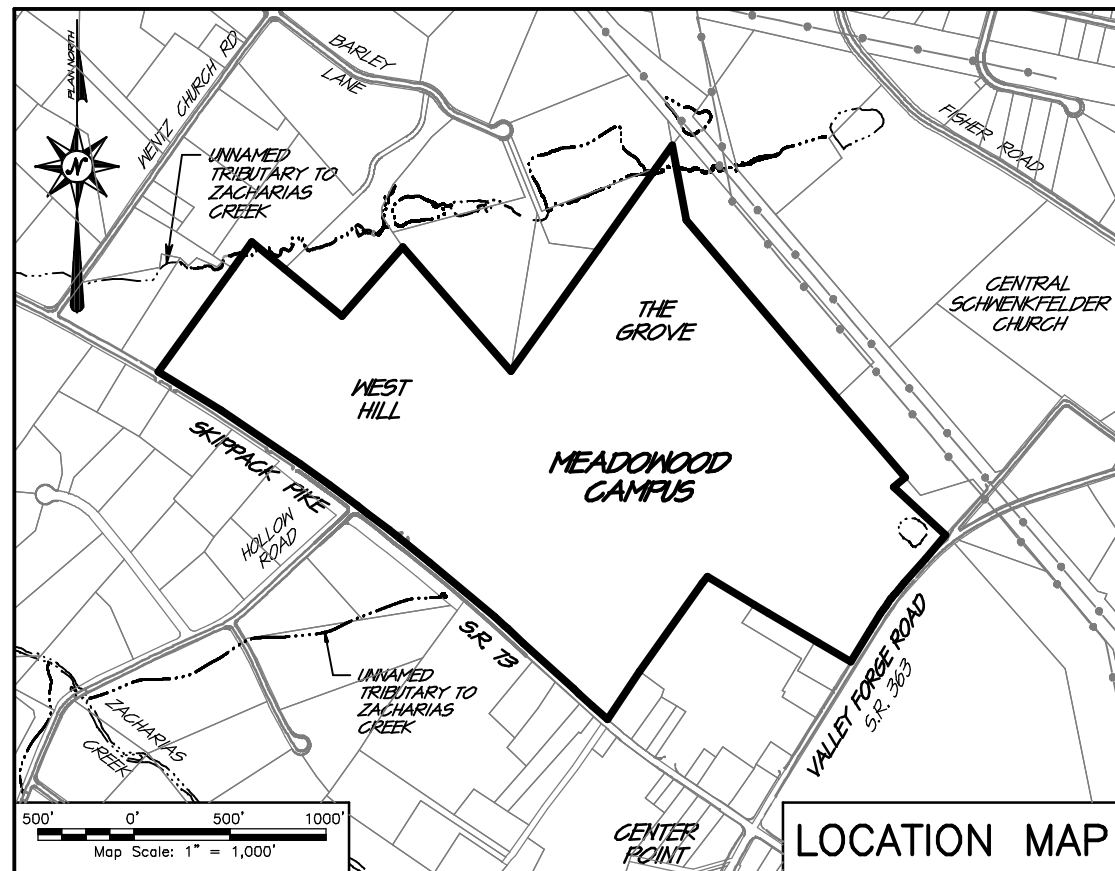
- The boundary information illustrated on this plan was taken from a plan entitled ALTA/NSPS - Land Title Survey for Meadowood as prepared for the Meadowood Corp. as prepared by Woodrow & Assoc., Inc., Lower Gwynedd, PA. Plan dated October 12, 2018, last revised October 17, 2018. Bearings shown reflect a -05 Deg. 33 Min. 05 Sec. clockwise rotation from the above referenced plan to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis. Boundary information updated per Subdivision - Land Development Plan prepared by Woodrow & Assoc., Inc. dated December 16, 2019 (as amended) to include Parcel S, C & D.
- The base existing features and project topography illustrated on this plan was compiled from Aerial Survey data prepared by FROMAPS, Inc., Bensalem, PA (Feb 2005). Additional field survey has been performed in target on-site project locations to verify and reflect accurate information.
- The site benchmark is an existing sanitary sewer manhole located in the existing Loop Road directly in front of the Sanitary Sewer Pump Station having a rim elevation of 249.19 and floor elevation of 235.58.
- This plan was prepared utilizing the following references:
 - a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - b. Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>), unless otherwise noted.
 - c. Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum.
 - d. Aerial imagery provided by Neoramp, Inc. for the subject project limits. Aerial imagery from Flight dated FEB. 17, 2020, updated February 24, 2024.
 - e. ALTA/ACSM Survey Plan prepared for Meadowood Life Care Community, by Urwiler & Walter, Inc., dated 02/03/2006, last revised 02/08/2006, Project No. 04155.
- Wetland & Waters illustrated on this plan were field mapped by Penna Trail Environmental, Hatfield, PA during the month of March 2018, updated by Cherry Ridge Consulting, LLC, Sciota, PA during the month of March 2023.
- There are no identifiable Flood Plain areas within the project site as illustrated on Community Panel Number 421919-0253.6 (March 2, 2016) of the Flood Insurance Rate Map, prepared by the Federal Emergency Management Association for the Township of Worcester, Pennsylvania.
- All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
- Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. Information pertaining to: size, location, depth, etc. of subsurface utilities is approximate in nature and has been obtained as an aid for the project design. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
- All of the stormwater management facilities, including the conveyance system and stormwater basins are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
- All of the sanitary sewer facilities (gravity only), including the main conveyance system and building laterals are to be owned and maintained by the Meadowood Corporation. Any repairs needed, as may be determined by Township inspection, are to be at the sole cost of the Meadowood Corporation.
- A "Blanket Utility Easement" in favor of North Penn Water Authority, over the existing water main that runs the perimeter of the Meadowood Drive loop driveway and is recorded in Deed Book 6109, Page 1481.

PROJECT SOILS DATA

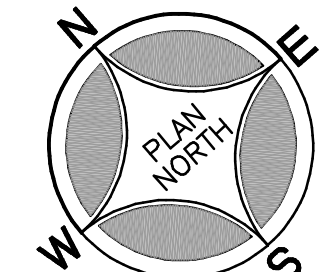
| Soils Type: | Slopes: | Depth to Restrictive Feature: | Depth to Water Table: | Hydrologic Soil Group: |
|--|------------------|--|-----------------------|------------------------|
| Abb Abbottstown silt loam | 3 to 8 percent | 18-22" to fragipan 40-60" to lithic bedrock | 6 to 18" | D |
| Ba Bowmansville-Knaurs silt loam | N/A | 72-99" to lithic bedrock | 0 to 18" | C/D (Twp Alluvial) |
| Psd Penn-Klinesville channery silt loam | 15 to 25 percent | 20-40" to lithic bedrock | > 80" | B |
| Rek Readington silt loam | 0 to 3 percent | 20-36" to fragipan 40-70" to lithic bedrock | 18 to 36" | C |
| ReB Readington silt loam | 3 to 8 percent | 20-36" to fragipan 40-70" to lithic bedrock | 18 to 36" | C |
| ReC Readington silt loam | 8 to 15 percent | 20-36" to fragipan 40-70" to lithic bedrock | 18 to 36" | C |
| Rhc Reaville silt loam | 8 to 15 percent | 20-40" to lithic bedrock | 6 to 36" | D |
| Rt Rowland silt loam | terrace | 60-99" to lithic bedrock | 12 to 36" | C (Twp Alluvial) |
| RwB Rowland silt loam | 3 to 8 percent | 60-99" to lithic bedrock | 18 to 36" | C (Twp Alluvial) |
| UryB Urban land-Readington complex | 0 to 8 percent | 10-100" to lithic bedrock | 18 to 36" | C |
| UusB Urban land-Urbenthorpe shale and sandstone complex | 0 to 8 percent | 10-99" to lithic bedrock | > 80" | A |

PLAN LEGEND

| | | | |
|--|----------------------------------|--|---------------------------------|
| | Tract Boundary Line | | Existing Index Contour |
| | Legal Right-of-Way Line | | Existing Soil Series Limits |
| | Existing Roadway Centerline | | Existing Drive / Paving Limit |
| | Zoning District Boundary | | Existing Vegetation Limit |
| | Floodplain Conservation District | | Existing Storm Sewer Piping |
| | Riparian Buffer Limit | | Existing Sanitary Sewer Piping |
| | Mapped Wetland Limit | | Existing Gas Main |
| | Mapped Waters Limit | | Existing Water Main / Service |
| | | | Existing Underground Telephone |
| | | | Existing Overhead Utility Wires |



REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

Parcel Information:

THE MEADOWOOD CORPORATION
TP: 67-00-03185-00-6
Block 28 Unit 26
DB: 6370 Page 2199-2208
3205 SKIPPAK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

Scale in Feet (1" = 150')

© COPYRIGHT 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION

EXISTING FEATURES PLAN

OVERALL TRACT

MEADOWOOD SENIOR LIVING

Worcester Township - Montgomery County - Pennsylvania

WOODROW & ASSOCIATES, INC.

Municipal / Civil Consulting Engineers

1108 North Main Street, Suite 200, Worcester, PA 19380
Phone: (215) 546-6666 Web: www.woodrowinc.com

Layer List:

D21-03_ExFea

Job No:

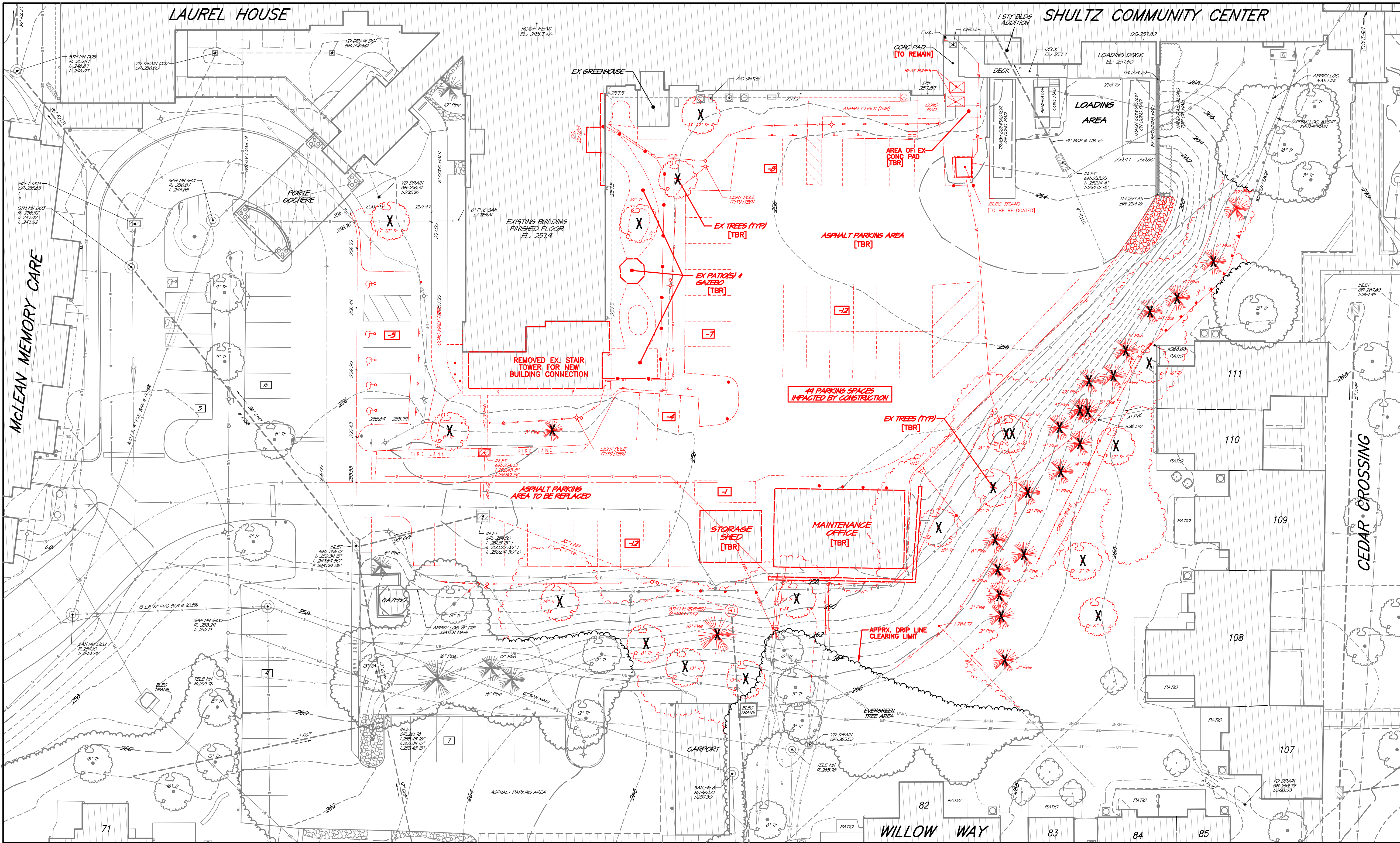
00-0606 D21

Plan Date:

JAN. 31, 2025

Sheet No:

3 of 17



GENERAL PLAN NOTES

Refer to plan sheet 2 "RECORD PLAN - OVERALL TRACT" for all "BASE EXISTING FEATURES and SURVEY NOTES".

EXISTING FEATURES and DEMOLITION NOTES:

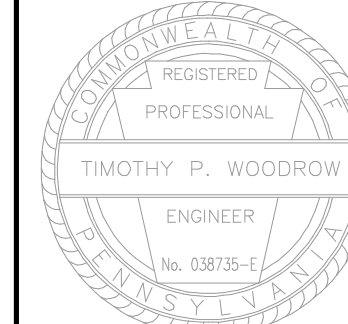
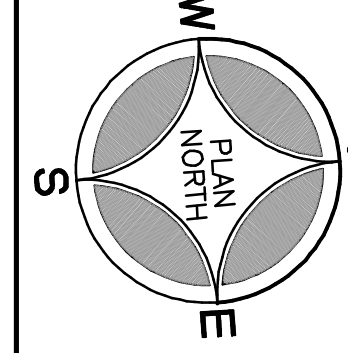
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Demolition, general site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the Erosion and Sedimentation control measures are in place and functional as described on the (NPDES) Erosion & Sediment Control Plan.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.

SOILS DATA WITHIN PROPOSED LIMIT OF DISTURBANCE

| Soils Type: | Slopes: | Depth to Restrictive Feature: | Depth to Water Table: | Hydrologic Soil Group: |
|---|----------------|-------------------------------|-----------------------|------------------------|
| Urban land - UuB shale and sandstone complex | 0 to 8 percent | 10'-99" to lithic bedrock | More than 80" | A |

| PLAN LEGEND | |
|-------------|--------------------------------|
| | Roadway / Driveway Centerline |
| | Existing Grade Contour |
| | Existing Vegetation Limit |
| | Existing Storm Sewer Piping |
| | Existing Sanitary Sewer Piping |
| | Existing Gas Main |
| | Existing Water Main / Service |
| | Existing Underground Telephone |
| | ITEM TO BE REMOVED |

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

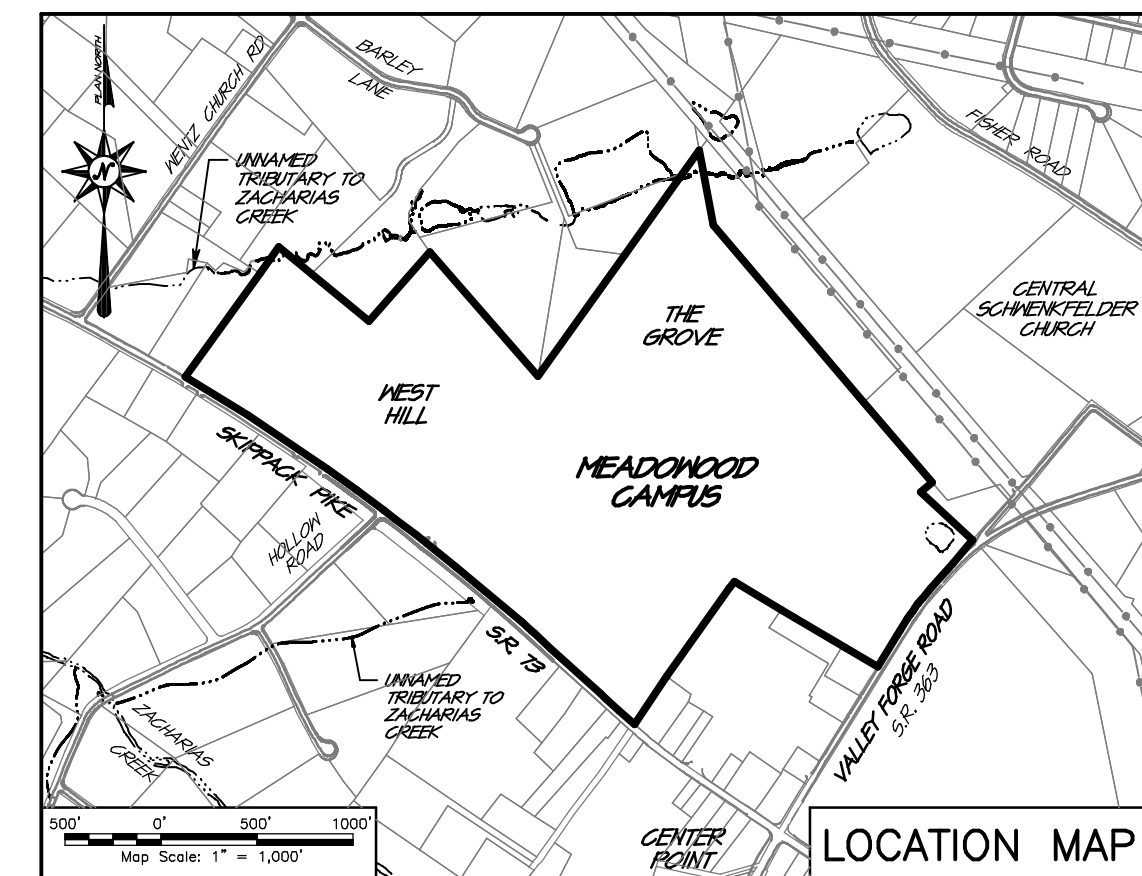
Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

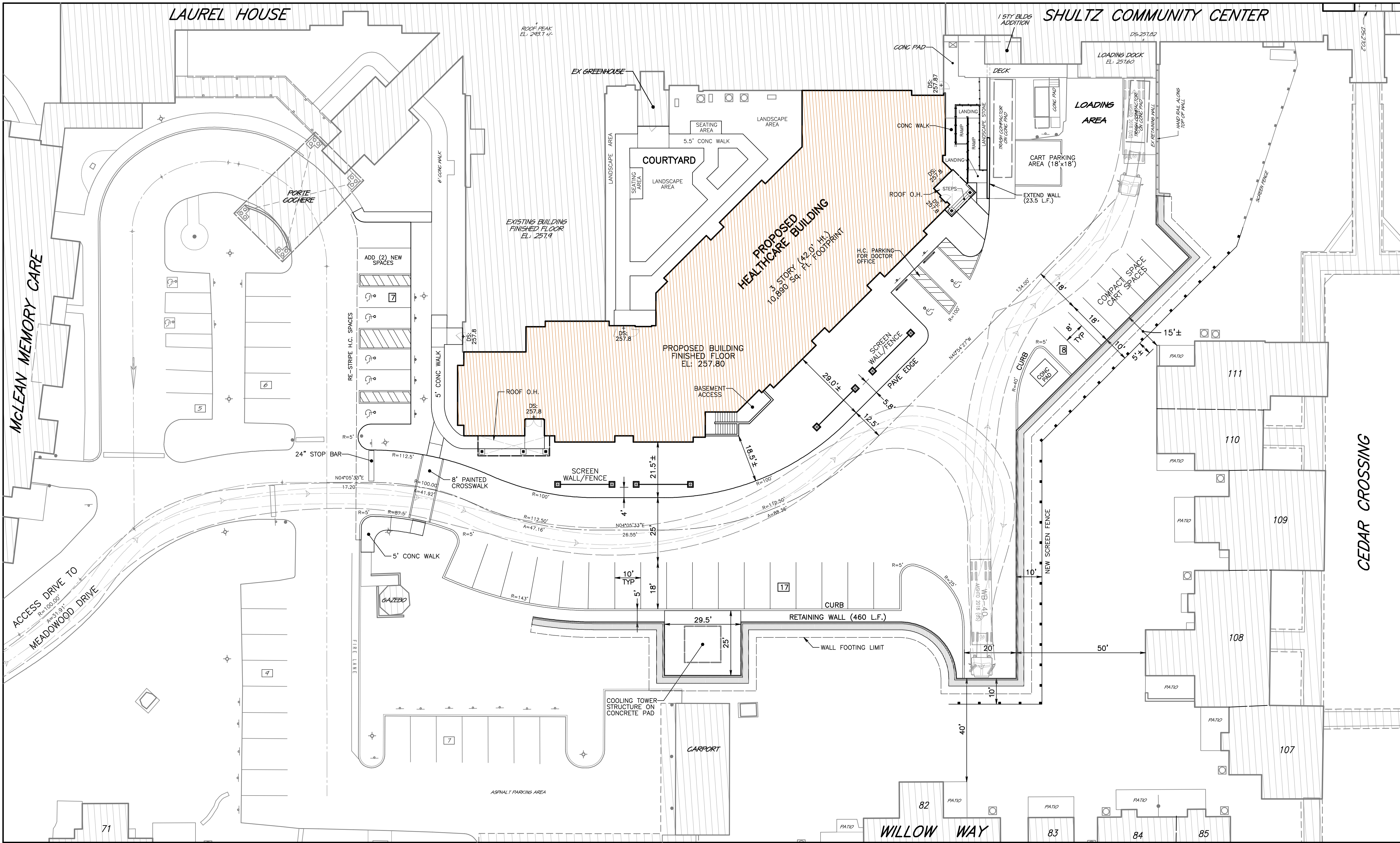
Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19490

Scale In Feet (1" = 20')
© COPYRIGHT 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
EXISTING FEATURES & DEMOLITION - PROJECT AREA
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Merkle Road, Suite 100, Worcester, PA 19402
Phone: (215) 542-6648 Web: www.woodrowinc.com

Layer List:
D21-04_Demo
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:
4 of 17





GENERAL PLAN NOTES

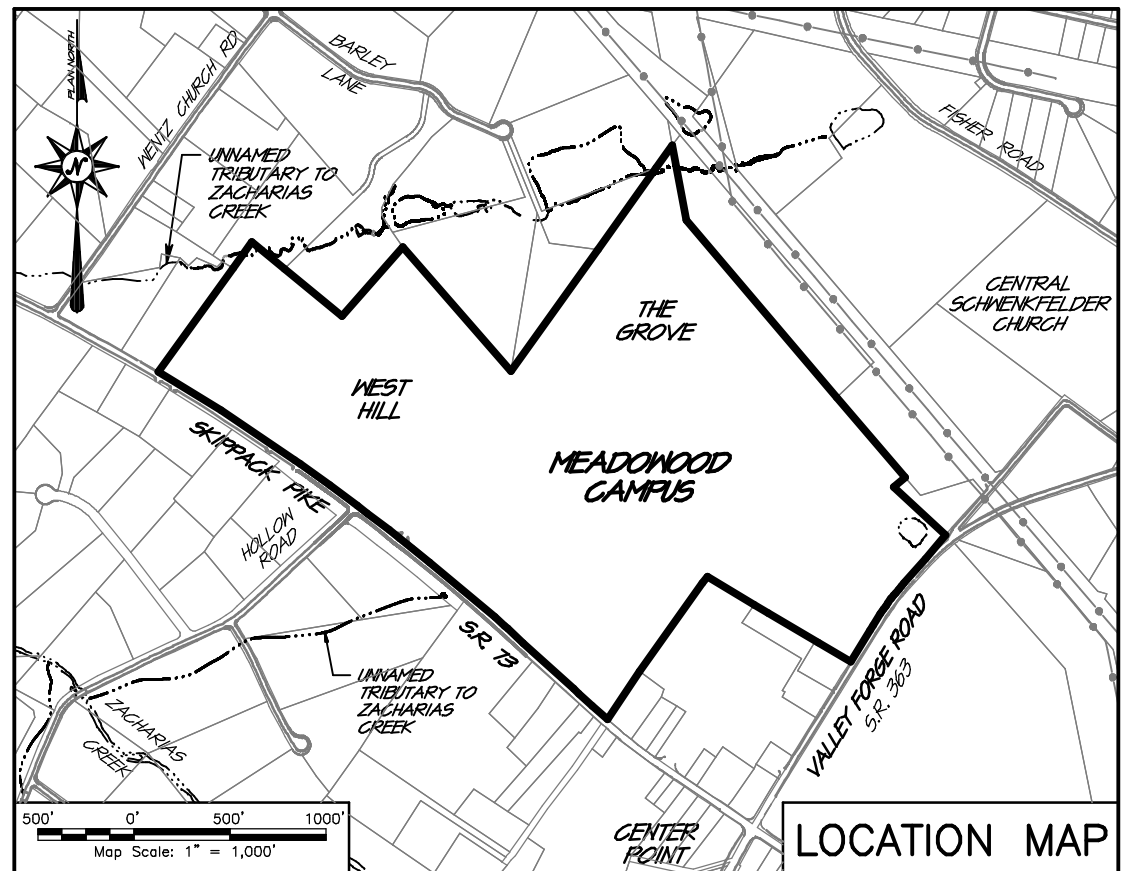
Refer to plan sheet 2 "RECORD PLAN - OVERALL TRACT" for all "BASE EXISTING FEATURES and SURVEY NOTES".

BASE DEVELOPMENT NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Demolition, general site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the Erosion and Sedimentation control measures are in place and functional as described on the (NPDES) Erosion & Sediment Control Plan.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et. seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- TRAFFIC CONTROL SIGNAGE:
Building driveway & access signage to be provided by Meadowood subject to submission and approval of Worcester Township prior to installation.
- Contractor to ensure compliance with ADA regulations.
- This project shall be served by public sanitary sewer by Worcester Township and water services by North Penn Water Company.

DEVELOPMENT IMPERVIOUS SCHEDULE

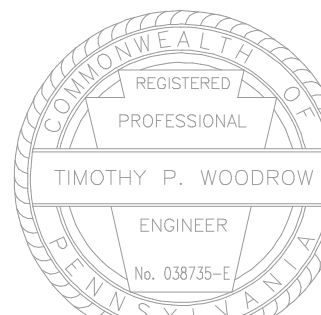
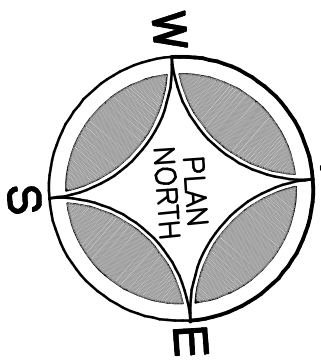
| IMPERVIOUS ITEM: | EXISTING DEMO: | NEW CONSTRUCTION: | NET DEVELOPMENT: |
|----------------------|-------------------|-------------------|------------------|
| BUILDING FOOTPRINT: | -3,177 Sq. Ft. + | 11,370 Sq. Ft. | = +8,193 Sq. Ft. |
| CONC / PADS / WALKS: | -2,078 Sq. Ft. + | 3,317 Sq. Ft. | = +1,239 Sq. Ft. |
| ASPHALT PAVING: | -27,314 Sq. Ft. + | 22,637 Sq. Ft. | = -4,677 Sq. Ft. |
| TOTALS: | -32,569 Sq. Ft. + | 37,324 Sq. Ft. | = +4,755 Sq. Ft. |



PLAN LEGEND

--- Roadway / Driveway Centerline

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 011

A Priority Jurisdiction of the Commonwealth of Pennsylvania

Parcel Information:

THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

Scale In Feet (1" = 20')

© COPYRIGHT 2025 WOODROW & ASSOCIATES, INC.

ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION

PROJECT AREA LAYOUT PLAN

MEADOWOOD SENIOR LIVING

WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.

MUNICIPAL / CIVIL CONSULTING ENGINEERS

1108 North Meridian Street, Suite 100, Worcester, PA 19380

Phone: (215) 542-6648 Web: www.woodrowinc.com

Layer List:

D21-05_Layout

Job No:

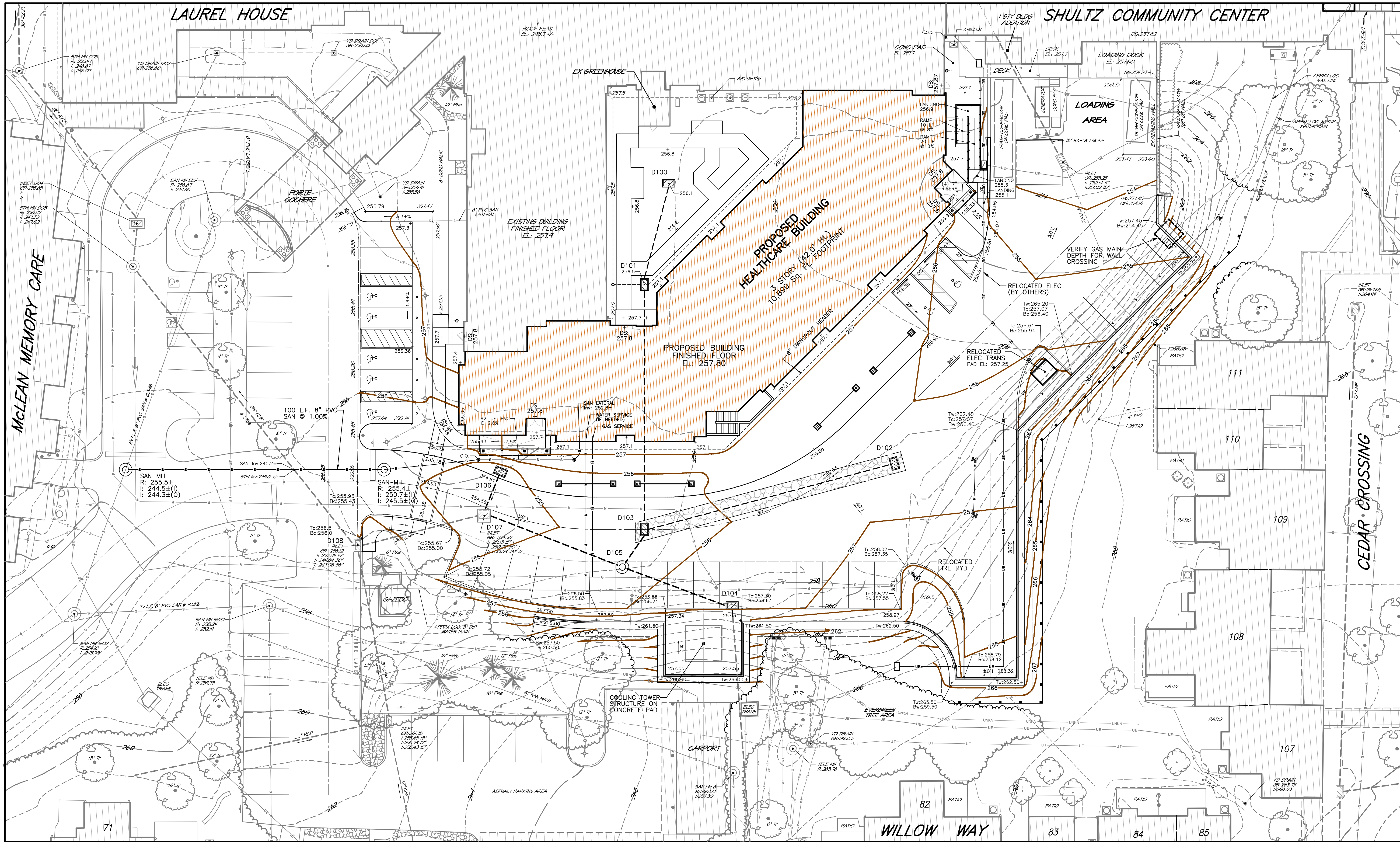
00-0606 D21

Plan Date:

JAN. 31, 2025

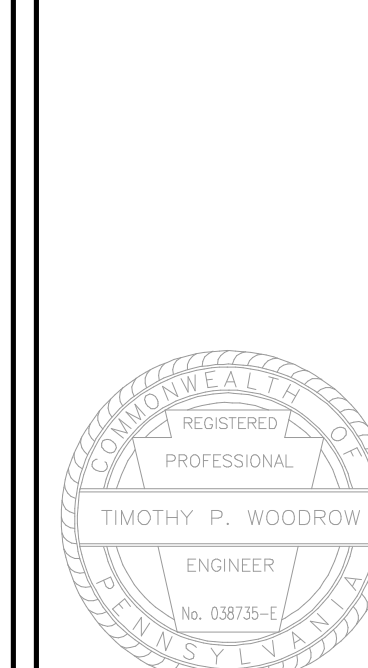
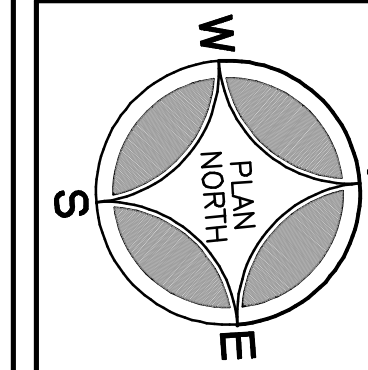
Sheet No:

5 of 17



| PLAN LEGEND | |
|-------------------------------|--------------------------|
| Roadway / Driveway Centerline | |
| | Ex Grade Contour |
| | Ex Vegetation Limit |
| | Ex Storm Sewer Piping |
| | Ex Sanitary Sewer Piping |
| | Ex Gas Main / Service |
| | Ex Water Main / Service |
| | Ex Underground Telephone |
| | Ex SPOT ELEVATION |
| | PR SPOT ELEVATION |
| | PR GRADE CONTOUR |
| | PR STORM PIPING |

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 67-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
PO Box 670
Worcester, PA 15490

Scale In Feet (1" = 20')
© COPYRIGHT 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

GENERAL PLAN NOTES

Refer to plan sheet 2 "RECORD PLAN - OVERALL TRACT" for all "BASE EXISTING FEATURES AND SURVEY NOTES".
Refer to plan sheet 3 "LAYOUT PLAN - MEMORY CARE FACILITY" for all "BASE DEVELOPMENT NOTES".

BASE CONSTRUCTION DESIGN NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
- Contractor to ensure compliance with ADA regulations.
- This project shall be served by public sanitary sewer by Worcester Township and water services by North Penn Water Authority.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except lawns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township only or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- The proposed finished grading shown on this plan has been based on the proposed building(s) finished floor elevations and has been used to design the storm water management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Township and the Project design engineers.

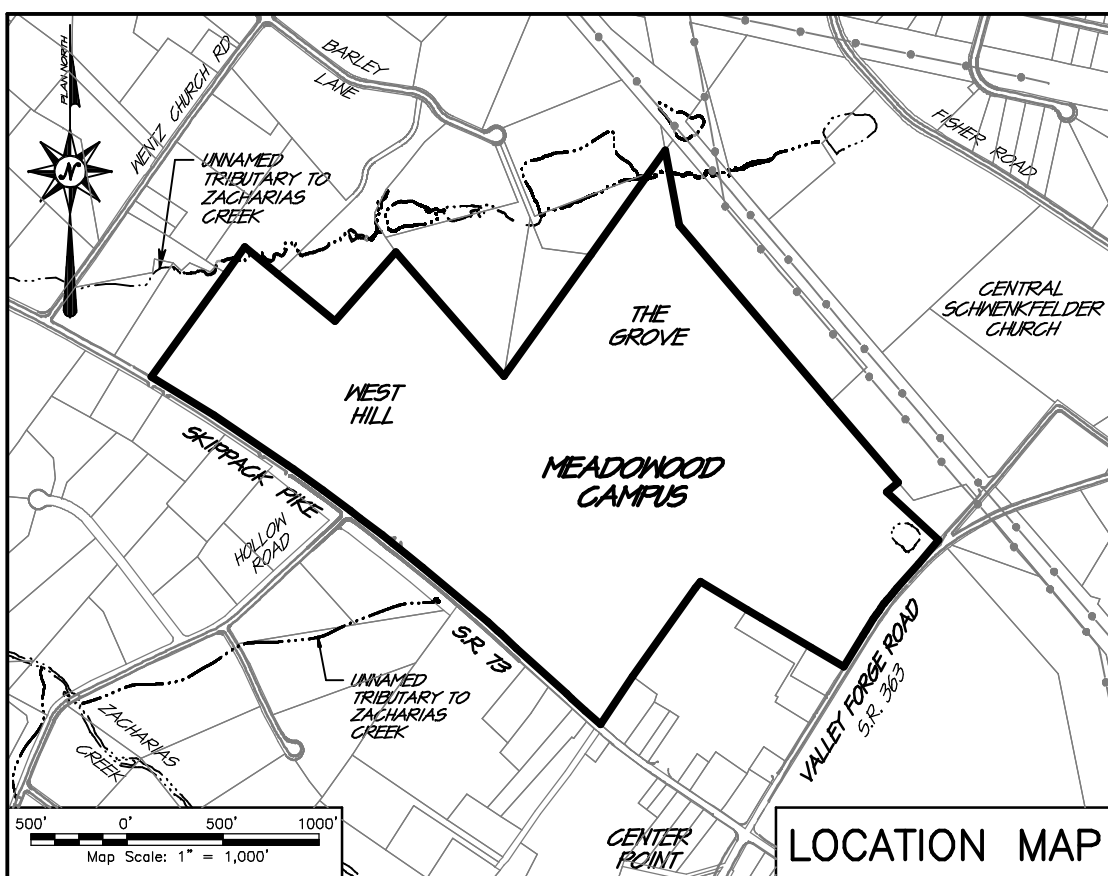
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557; moisture content at time of placement shall be no more than 2% above nor 3% below optimum; contractor shall submit a compaction report prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
- Erosion control matting shall be provided on all earth slopes at 3:1 or greater.

STORMWATER STRUCTURE SCHEDULE

| | | | |
|--|---|--|--|
| Structure ID: D100 Type: YARD DRAIN Loc: COURTYARD Gr: 256.10 Inv: 253.10 (15" Ø) | Structure ID: D103 Type: STD M INLET Loc: PARKING AREA Gr: 255.49 Inv: 252.26 (15" Ø) Inv: 252.03 (36" Ø) Inv: 251.86 (18" Ø) | Structure ID: D105 Type: STM MH Loc: PARKING AREA Rim: 255.73 Inv: 251.78 (18" Ø) Inv: 250.67 (30" Ø) Inv: 250.50 (30" Ø) | Structure ID: D107 Type: EX INLET Loc: DRIVEWAY Gr: 254.50 I: 251.13 (New I) I: 250.22 (EX I) I: 250.09 (EX Ø) |
| Structure ID: D101 Type: YARD DRAIN Loc: COURTYARD Gr: 256.50 Inv: 254.33 (8" Ø) Inv: 252.90 (15" Ø) Inv: 252.73 (15" Ø) | Structure ID: D104 Type: STD C INLET Loc: LAWN AREA Gr: 256.56 Inv: 250.90 (30" Ø) | Structure ID: D106 Type: STD INLET Loc: PARKING AREA Gr: 254.90 Inv: 252.73 (8" Ø) Inv: 249.69 (30" Ø) Inv: 251.90 (18" Ø) | Structure ID: D108 Type: EX INLET Loc: DRIVEWAY Gr: 256.12 Inv: 252.39 (15" Ø) Inv: 249.08 (36" Ø) |

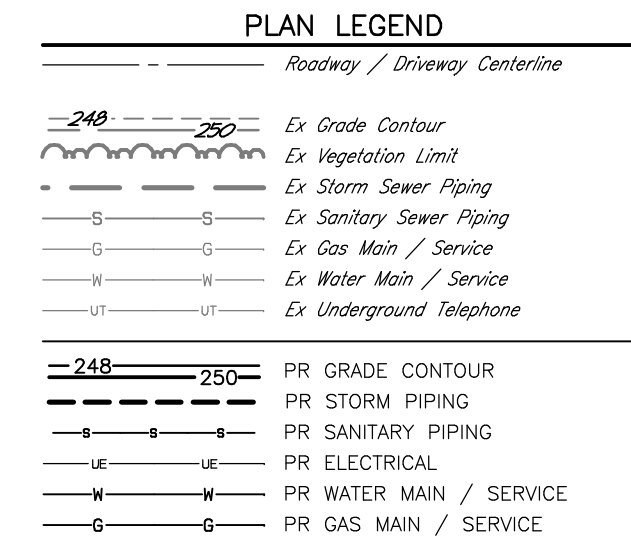
STORMWATER PIPE SCHEDULE

| Structure (Fr) | Structure (To) | Length (L.F.) | Size (Dia.) | Material | Slope (%) |
|----------------|----------------|---------------|-------------|-----------------|-----------|
| D100 | D101 | 40 | 15" | H.D.P.E. | 0.50 |
| D101 | D103 | 94 | 15" | H.D.P.E. | 0.75 |
| D102 | D103 | 100 | 36" | H.D.P.E. (PERF) | 0.00 |
| D103 | D105 | 16 | 18" | H.D.P.E. | 0.50 |
| D104 | D105 | 45 | 18" | H.D.P.E. | 0.50 |
| D105 | D106 | 57 | 30" | H.D.P.E. | 0.50 |
| D106 | D107 | 18 | 18" | H.D.P.E. | 4.28 |
| D107 | D108 | 50 | 30" | C.M.P. | 0.80 |

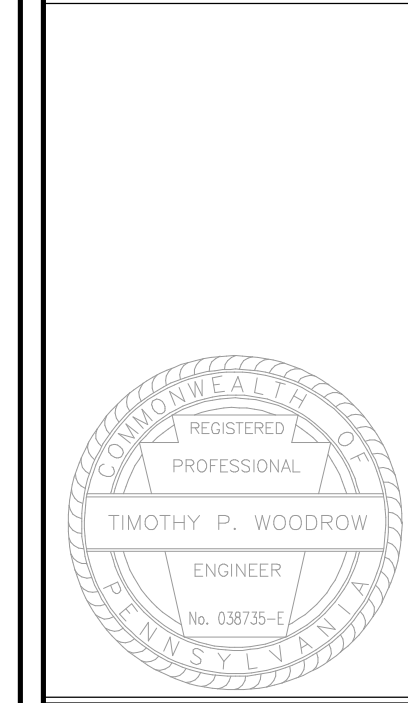
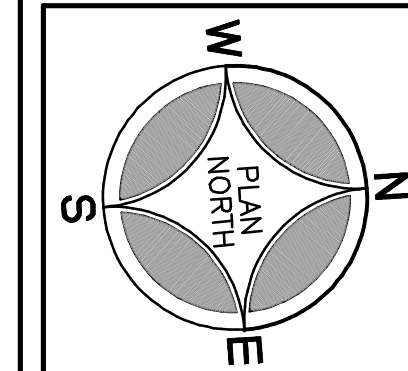


PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
PROJECT AREA IMPROVEMENTS PLAN
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1168 North Lincoln Avenue
Phone: (610) 515-5492 Fax: (610) 515-5493
Web: www.woodrowinc.com

Layer List:
D21-06_Grading
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025



| REVISIONS | | DATE | REVISIONS |
|-----------|--|------|-----------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |
| 9 | | | |
| 10 | | | |
| 11 | | | |
| 12 | | | |
| 13 | | | |
| 14 | | | |
| 15 | | | |
| 16 | | | |
| 17 | | | |
| 18 | | | |
| 19 | | | |
| 20 | | | |
| 21 | | | |
| 22 | | | |
| 23 | | | |
| 24 | | | |
| 25 | | | |
| 26 | | | |
| 27 | | | |
| 28 | | | |
| 29 | | | |
| 30 | | | |
| 31 | | | |
| 32 | | | |
| 33 | | | |
| 34 | | | |
| 35 | | | |
| 36 | | | |
| 37 | | | |
| 38 | | | |
| 39 | | | |
| 40 | | | |
| 41 | | | |
| 42 | | | |
| 43 | | | |
| 44 | | | |
| 45 | | | |
| 46 | | | |
| 47 | | | |
| 48 | | | |
| 49 | | | |
| 50 | | | |
| 51 | | | |
| 52 | | | |
| 53 | | | |
| 54 | | | |
| 55 | | | |
| 56 | | | |
| 57 | | | |
| 58 | | | |
| 59 | | | |
| 60 | | | |
| 61 | | | |
| 62 | | | |
| 63 | | | |
| 64 | | | |
| 65 | | | |
| 66 | | | |
| 67 | | | |
| 68 | | | |
| 69 | | | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
| 74 | | | |
| 75 | | | |
| 76 | | | |
| 77 | | | |
| 78 | | | |
| 79 | | | |
| 80 | | | |
| 81 | | | |
| 82 | | | |
| 83 | | | |
| 84 | | | |
| 85 | | | |
| 86 | | | |
| 87 | | | |
| 88 | | | |
| 89 | | | |
| 90 | | | |
| 91 | | | |
| 92 | | | |
| 93 | | | |
| 94 | | | |
| 95 | | | |
| 96 | | | |
| 97 | | | |
| 98 | | | |
| 99 | | | |
| 100 | | | |



PROJECT SERIAL NUMBER FOR DESIGN:

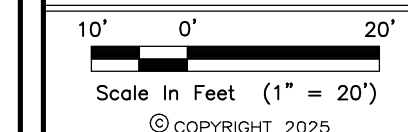
Pennsylvania 811

Parcel Information:
**THE MEADOWOOD
 CORPORATION**
 TP: 67-00-03185-00-6
 Block 28 Unit 28
 DB: 6370 Page 2199-2208
 3205 SKIPPACK PIKE

137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

**THE MEADOWOOD
CORPORATION**
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19490




WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN — HEALTH CARE NORTHEAST EXPANSION

PROJECT AREA
LANDSCAPING PLAN

MEADOWOOD SENIOR LIVING

WORCESTER TOWNSHIP — MONTGOMERY COUNTY — PENNSYLVANIA

 **WOODROW & ASSOCIATES, INC.**
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike, Suite 600 • Lower Gwynedd • PA 19002
Tel: 610-366-0000 • Fax: 610-366-0001 • E-Mail: info@woodrow.com

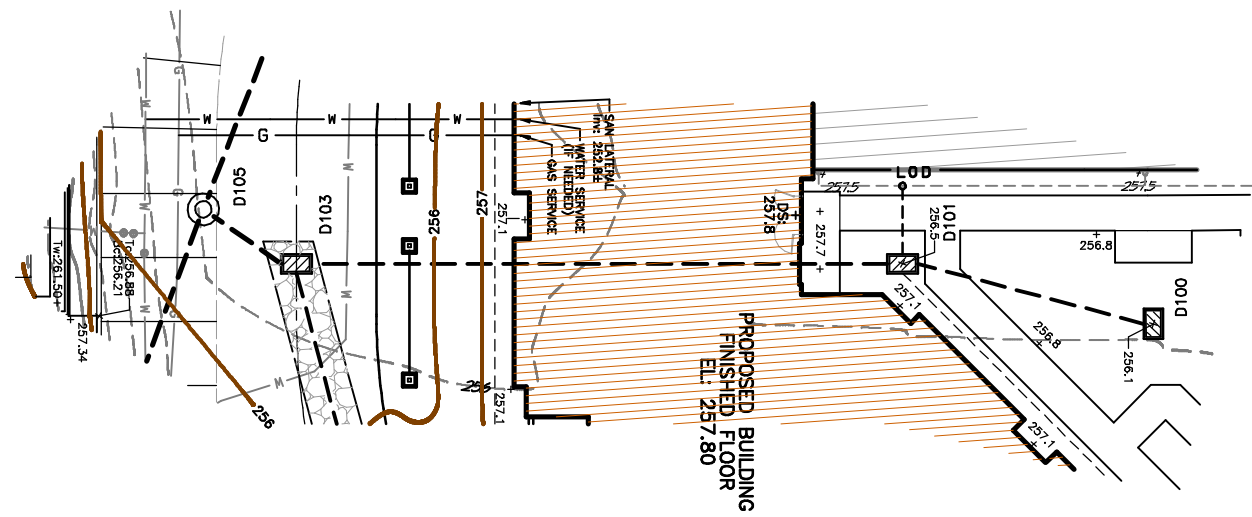
Layer List:
D21-08_Land

Job No:
00-0606 D21

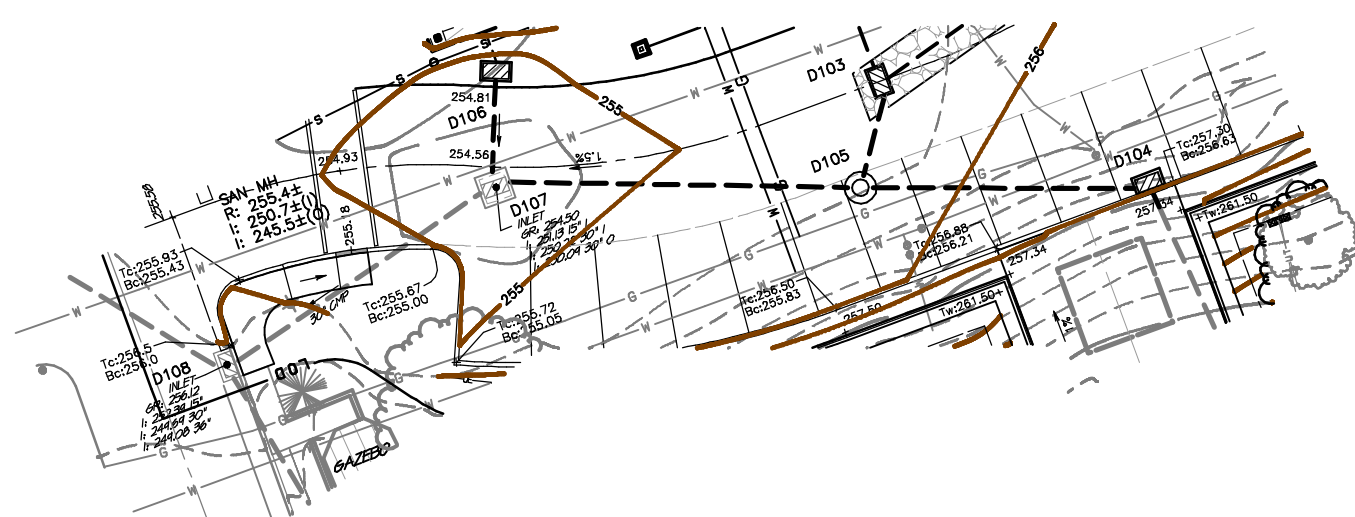
Plan Date:
JAN. 31, 2025

Sheet No: **8 of 17**

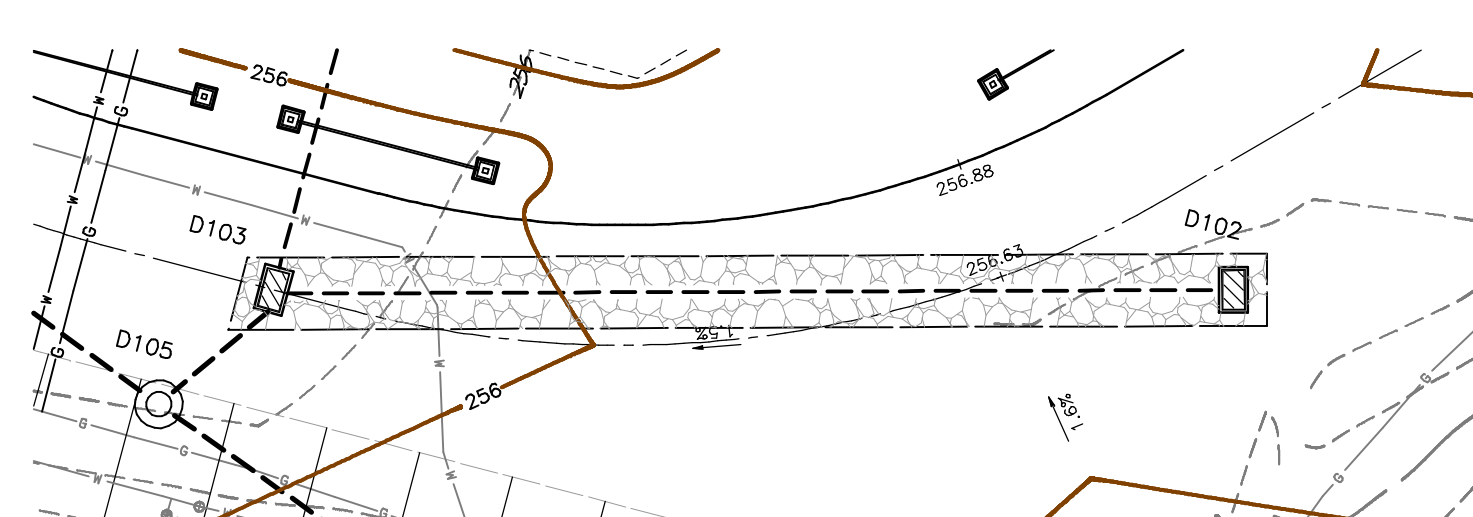
Print Date: Jan 31, 2025 07:29:00 Print Scale: 1" = 20.00'
File Name: C:\2025\00-0606\00-0606.dwg



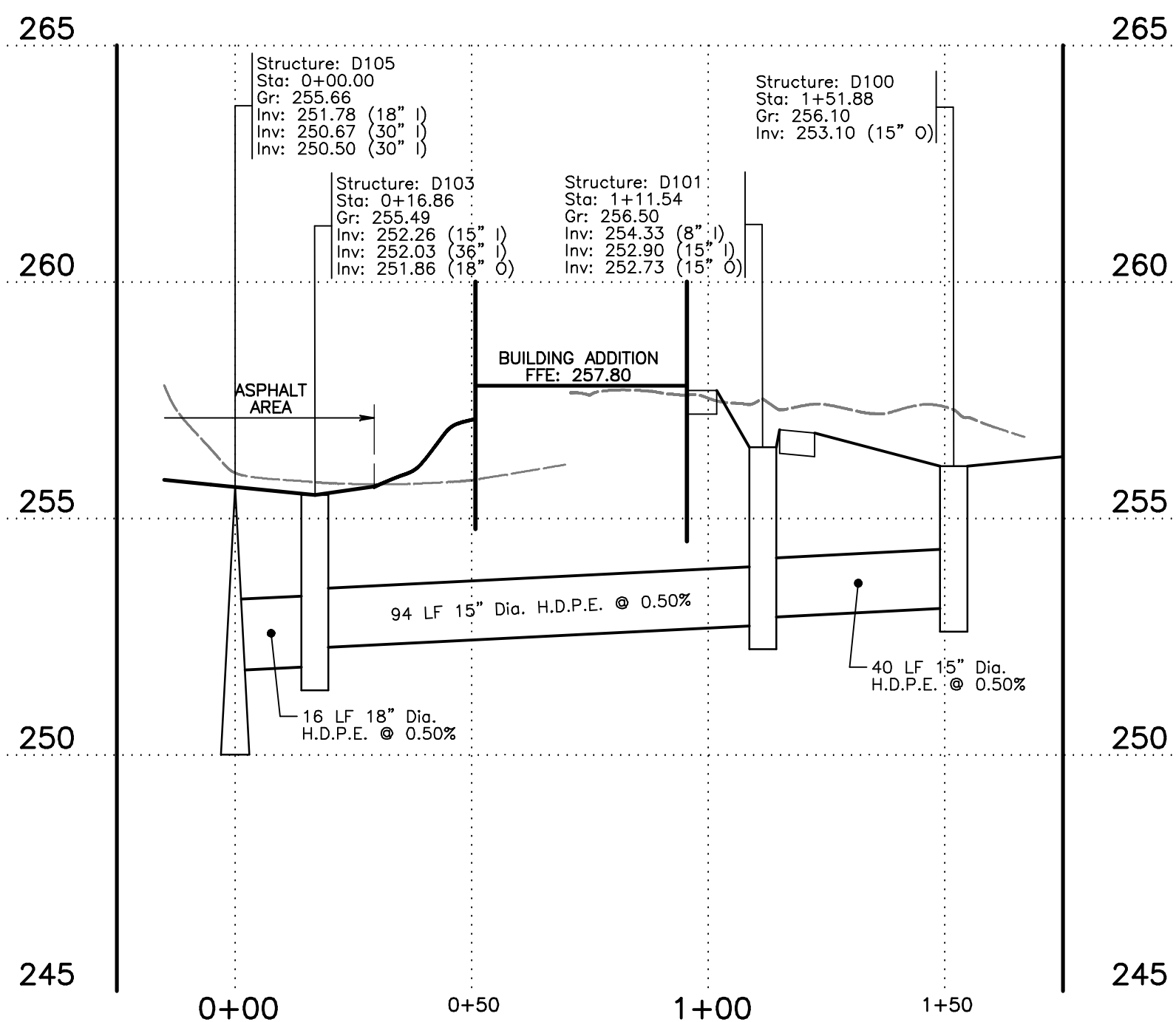
PLAN: D100 to D105



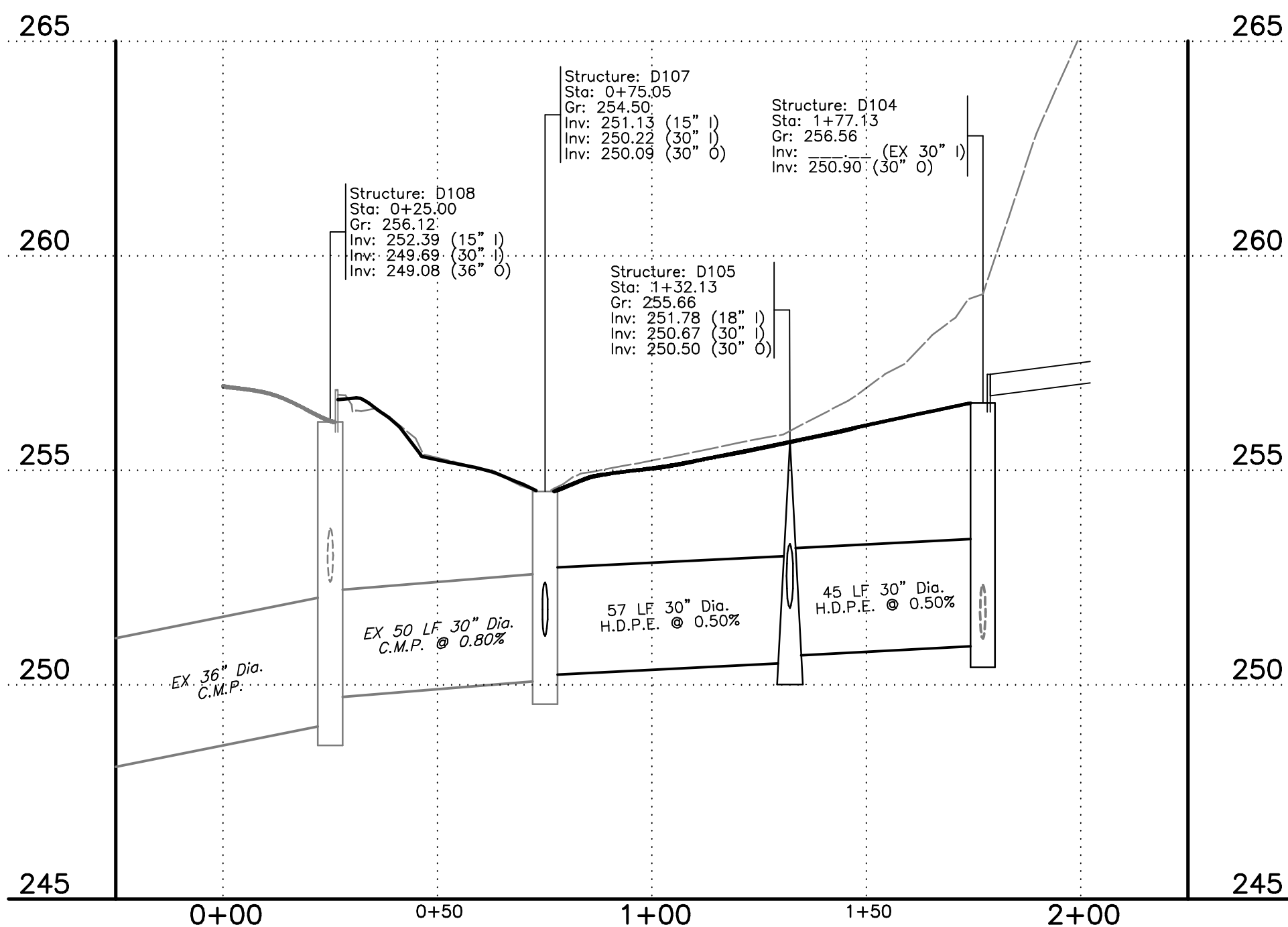
PLAN: D104 to D108



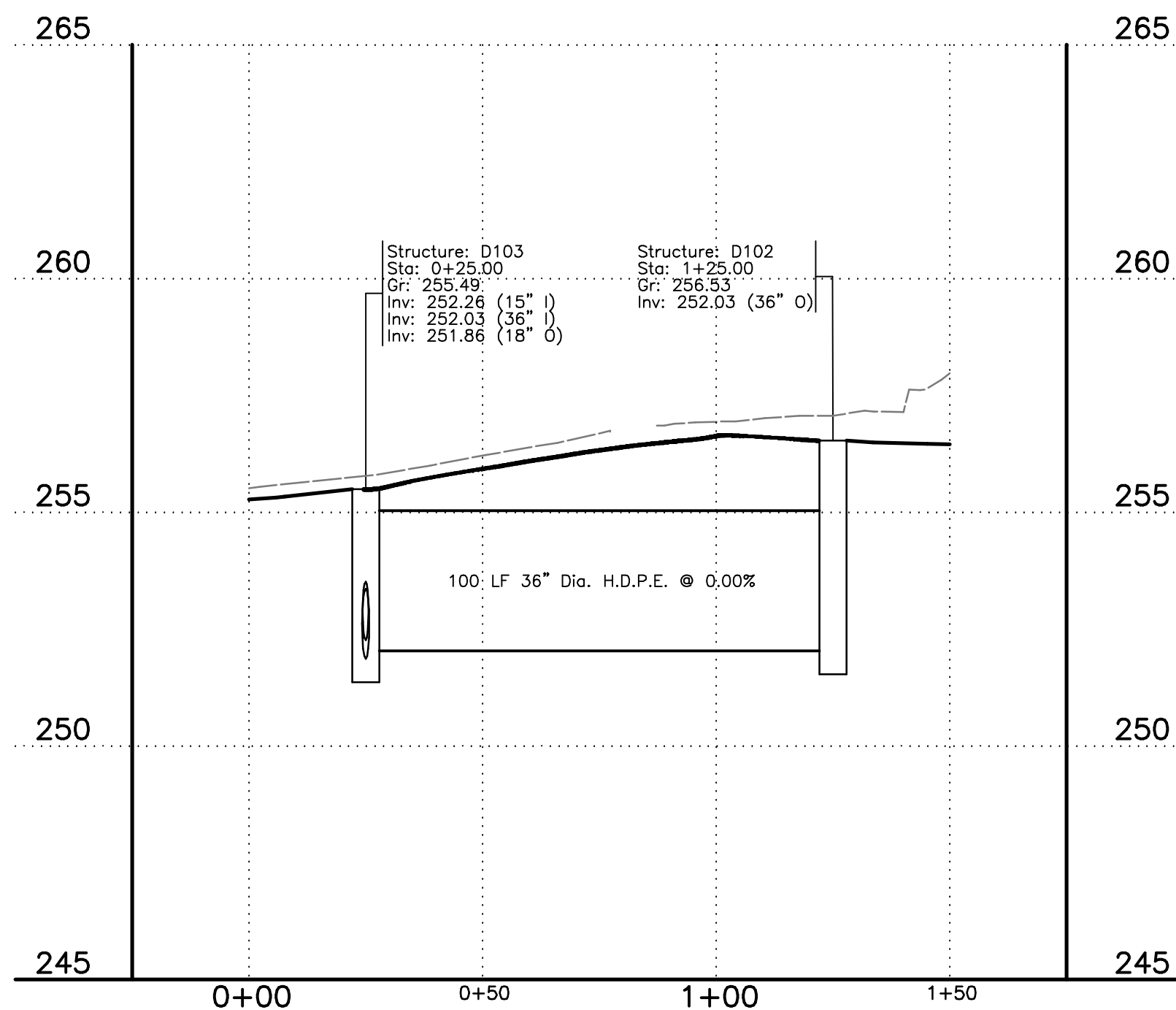
PLAN: D102 to D103



PROFILE: D100 to D105



PROFILE: D104 to D108



PROFILE: D102 to D103

Layer List:
D21-09_Profile
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:
9 of 17

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
PROFILE SHEET
CROSS-LOT PROFILES
MEADOWOOD SENIOR LIVING
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Main Street, Suite 100
Worcester, MA 01608
Phone: (508) 853-6666
Fax: (508) 853-6667
Web: www.woodrowinc.com

Scale In Feet (1" = 30')
© COPYRIGHT 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordenman
President/CEO
3205 Skippack Pike
Worcester, PA 19490

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPAK PIKE

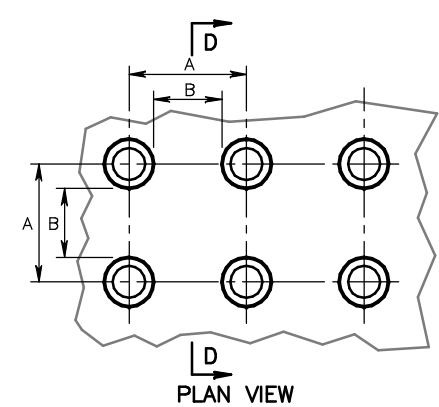
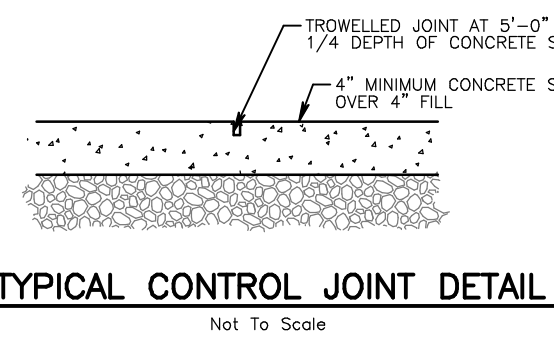
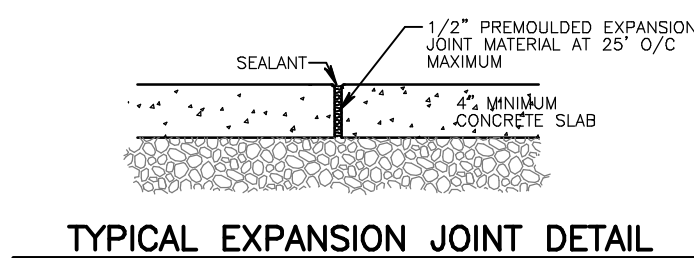
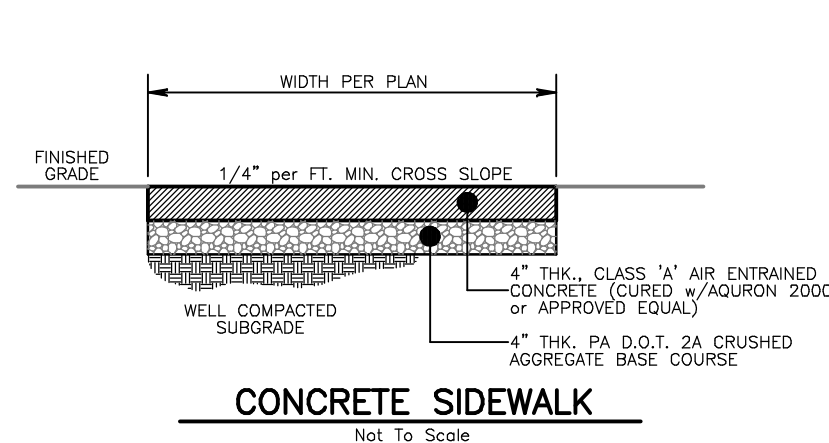
PROJECT SERIAL NUMBER FOR DESIGN:
Pennsylvania 011
A Priority Limited Liability Partnership, Pennsylvania Corporation

REGISTERED PROFESSIONAL
TIMOTHY P. WOODROW
ENGINEER
No. 08725-C

REVISIONS

No. DATE

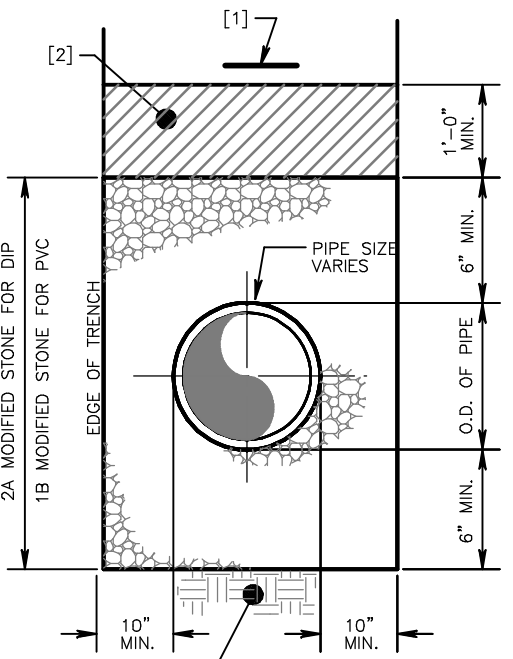
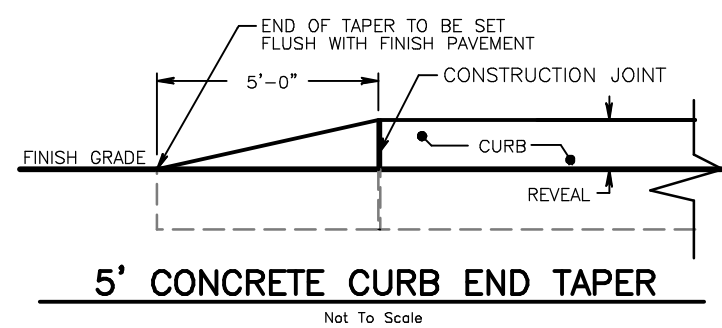
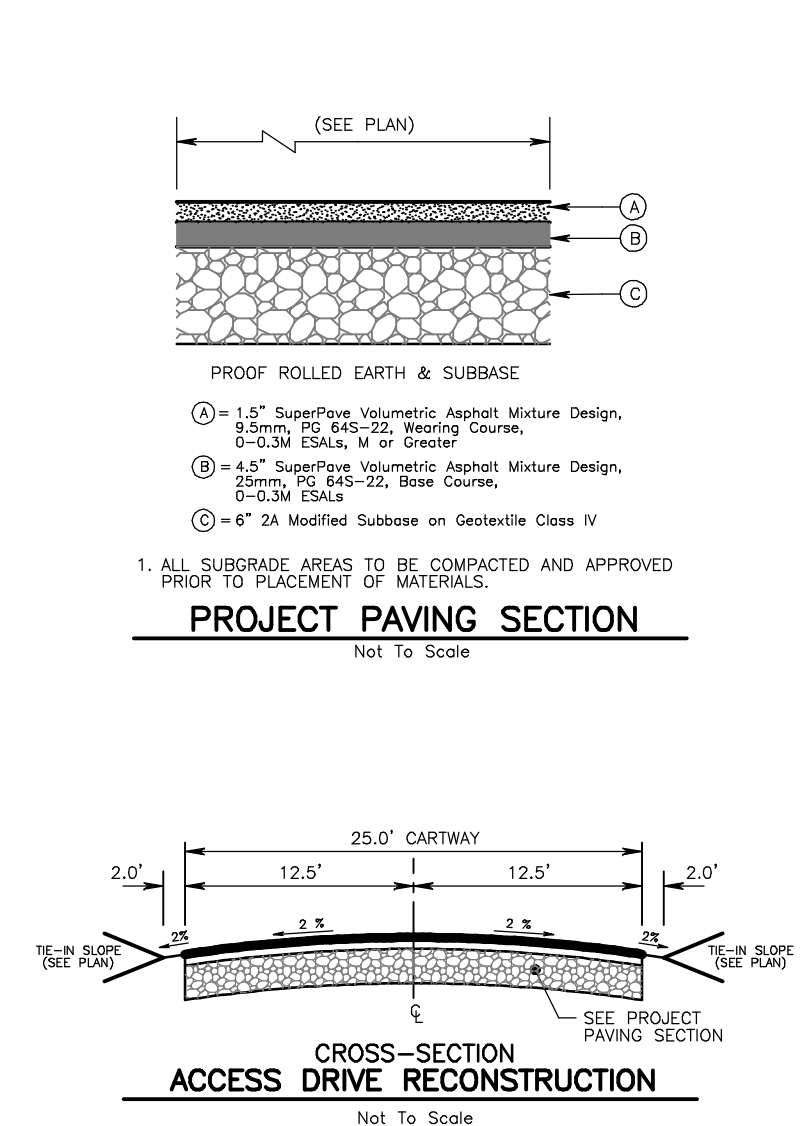
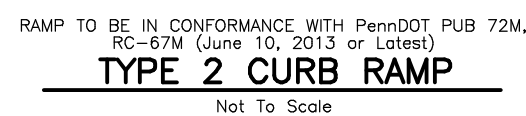
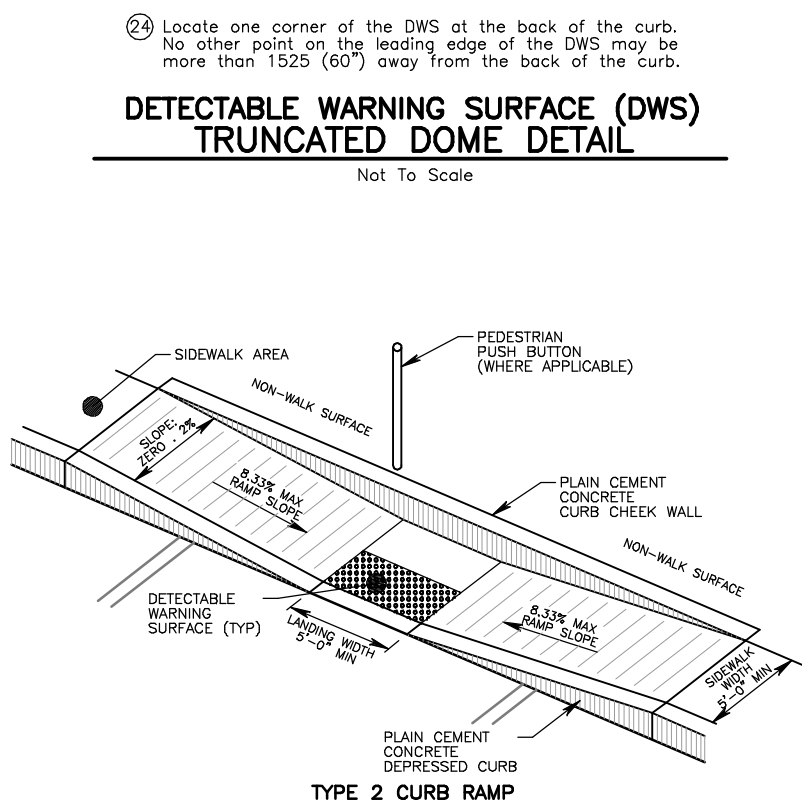
DESCRIPTION

[illegible]

| TRUNCATED DOME DIMENSIONS | | | |
|------------------------------|------------------|------------------|--------------------|
| DIM | MIN mm (inch) | MIN mm (inch) | |
| A | 41 (1.6") | 61 (2.4") | <p>SECTION D-D</p> |
| B | 17 (0.65") | 37 (1.5") | |
| C | 13 | 13 | |
| D | 23 (0.9") | 36 (1.4") | |

⑬ The C Dimension is 50% to 65% of the D Dimension

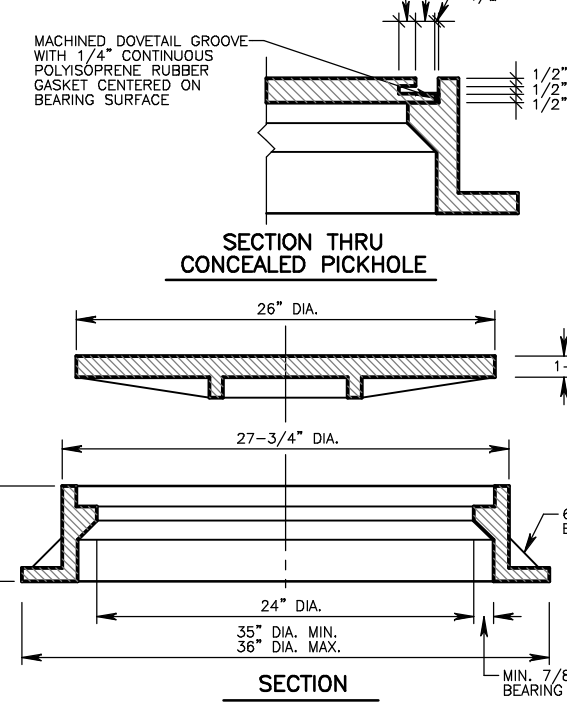
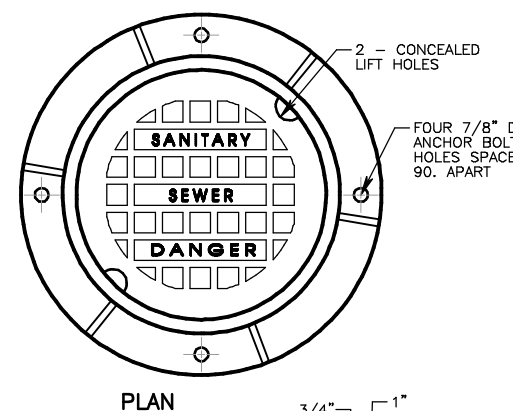
⑭ Place adjacent DWS Tiles with Manufactured Surface to Manufactured Surface. Cut Tiles along the perimeter only



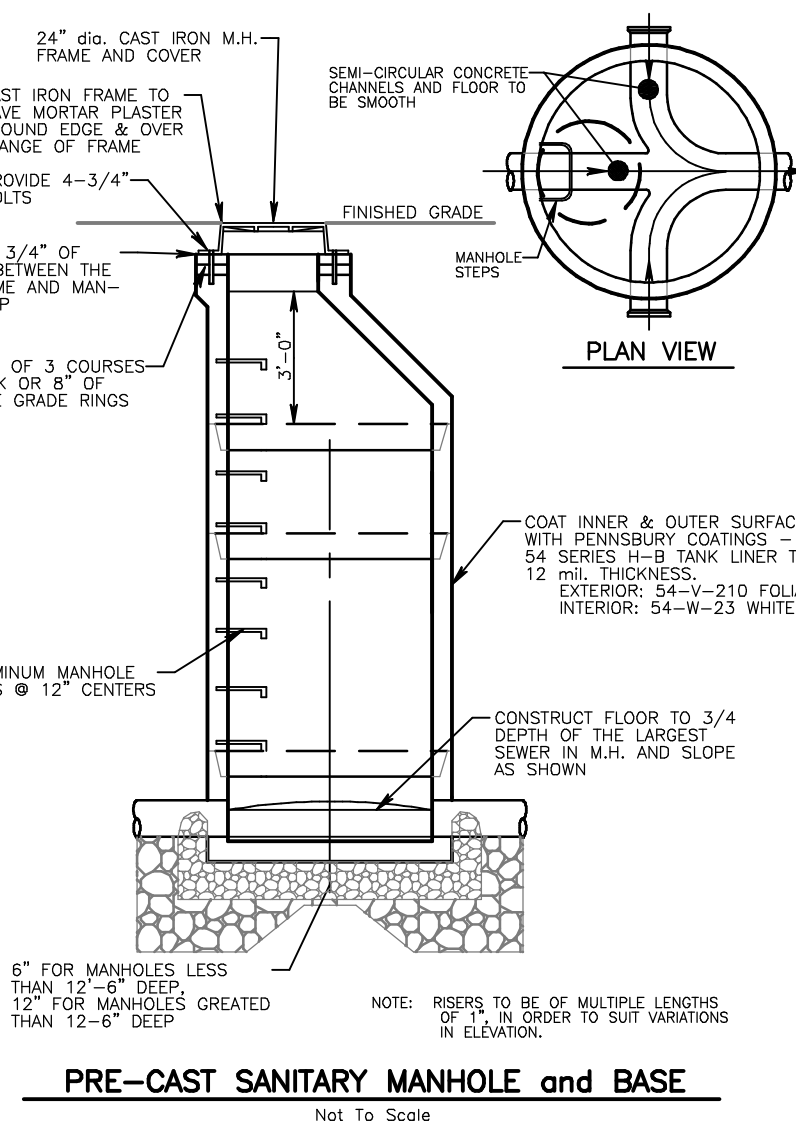
NOTES:

[1] EARLY WARNING TAPE SHALL BE TWO (2) INCH WIDE GREEN COLORED, METALLIC LINED PRINTED PLASTIC TAPE WITH THE WORDS "CAUTION BURIED SEWER LINE BELOW" STENCILED ON TAPE EVERY TWO (2) FEET. (USED IN PVC PIPE BEDDING)

[2] HAND TAMPED BACKFILL AS SPECIFIED. (2A MODIFIED



1. COVER SHALL HAVE THE WORDS "DANGER SEWER - DO NOT REMOVE COVER" CAST THEREON. LETTERS ARE TO HAVE A MINIMUM HEIGHT OF 2".
2. PROVIDE FOUR (4) ANCHOR BOLT HOLES, 1" MIN.
3. CASTINGS SHALL BE DESIGNED FOR AASHTO HIGHWAY LOADING CLASS HS-20
4. FRAME AND COVER SHALL BE NEENAH FOUNDRY COMPANY MODEL R-1642



PAVEMENT MARKINGS NOTES

GENERAL:

- * MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DEPARTMENT'S SPECIFICATIONS, FORM C-1.
- * THESE PAVENTMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS GOVERNING THE DESIGN, LOCATION, AND OPERATION OF ALL OFFICIAL TRAFFIC CONTROL DEVICES. ALL MARKINGS SHALL BE PAINTED ON AND ALONG HIGHWAYS WITHIN THE COMMONWEALTH OF PENNSYLVANIA.
- * ALL PAVENTMENT MARKINGS SHALL BE REFLECTORIZED.
- * THE CONTRACTOR SHALL PROTECT THE EXISTING PAVENTMENT SURFACES AND ALL UTILITIES. THESE PREPARATIONS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, ANY SHEEPING AND REMOVAL OF DEBRIS, DIRT OR OTHER MATERIALS.
- * THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVENTMENT MARKINGS WITHIN THE CONFINES OF THE PROJECT AREA.
- * UNLESS SPECIFIED OTHERWISE, THE BASIS OF MEASUREMENT SHALL BE ALONG THE CENTERLINE OF THE ROAD.
- * PRIOR TO APPLICATION, THE CONTRACTOR SHALL FIELD CHECK AND LOCATE ALL PAVENTMENT MARKINGS TO THE SATISFACTION OF THE ENGINEER.
- * WHERE BITUMINOUS SEALANTS PREVENTS OR MAKES IMPRACTICAL, THE EXTENDING OF LINES TO EDGE OF SEALANT OR WITHIN ONE FOOT OF THE FACE OF CURB, THE CONTRACTOR SHALL FIELD CHECK AND LOCATE ALL PAVENTMENT MARKINGS TO THE SATISFACTION OF THE ENGINEER.
- * ALL INTERSECTION PAVENTMENT MARKINGS (SHORT LINES & LEGENDS) SHALL NOT BE THERMOPLASTIC. ALL LONG LINES SHALL BE EPOXY.

CROSSROADS:

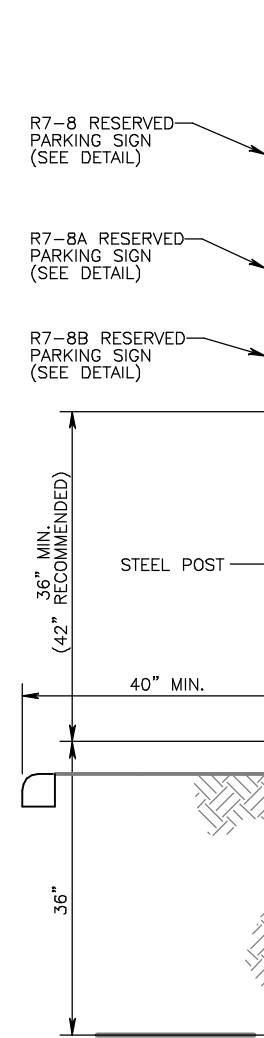
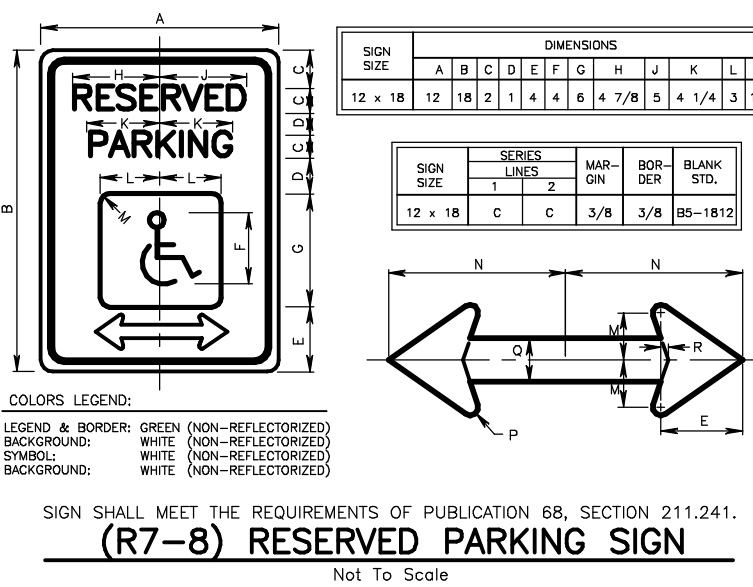
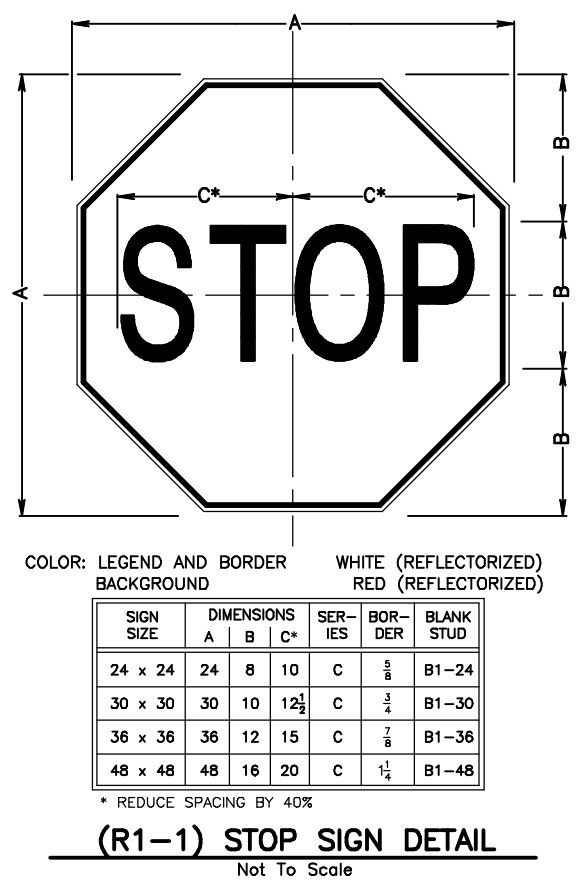
- 1. CROSSROAD LINES SHALL BE SOLID WHITE LINES, SIX (6) INCHES WIDE, MARKING BOTH EDGES OF THE CROSSROAD AREA.
- 2. CROSSROAD LINES SHALL EXTEND FROM FACE OF CURB TO FACE OF CURB OR EDGE OF SHOULDER AS APPLICABLE.
- 3. LINES FORMING A CROSSWALK SHALL BE PARALLEL.
- 4. THE WIDTH OF THE CROSSWALK IS NORMALLY SIX (6) FEET.

STOP BARS:

- 5. STOP BARS, SOLID WHITE LINES BEING 24 INCHES WIDE, SHALL COMPLETELY TRANSVERSE ALL TRAVEL Lanes ON EACH APPROACH.
- 6. STOP BARS SHALL BE LOCATED AT A MINIMUM OF FOUR (4) FEET IN ADVANCE OF AND PARALLEL TO THE CROSSWALK LINES, UNLESS OTHERWISE NOTED ON THE PLANS.

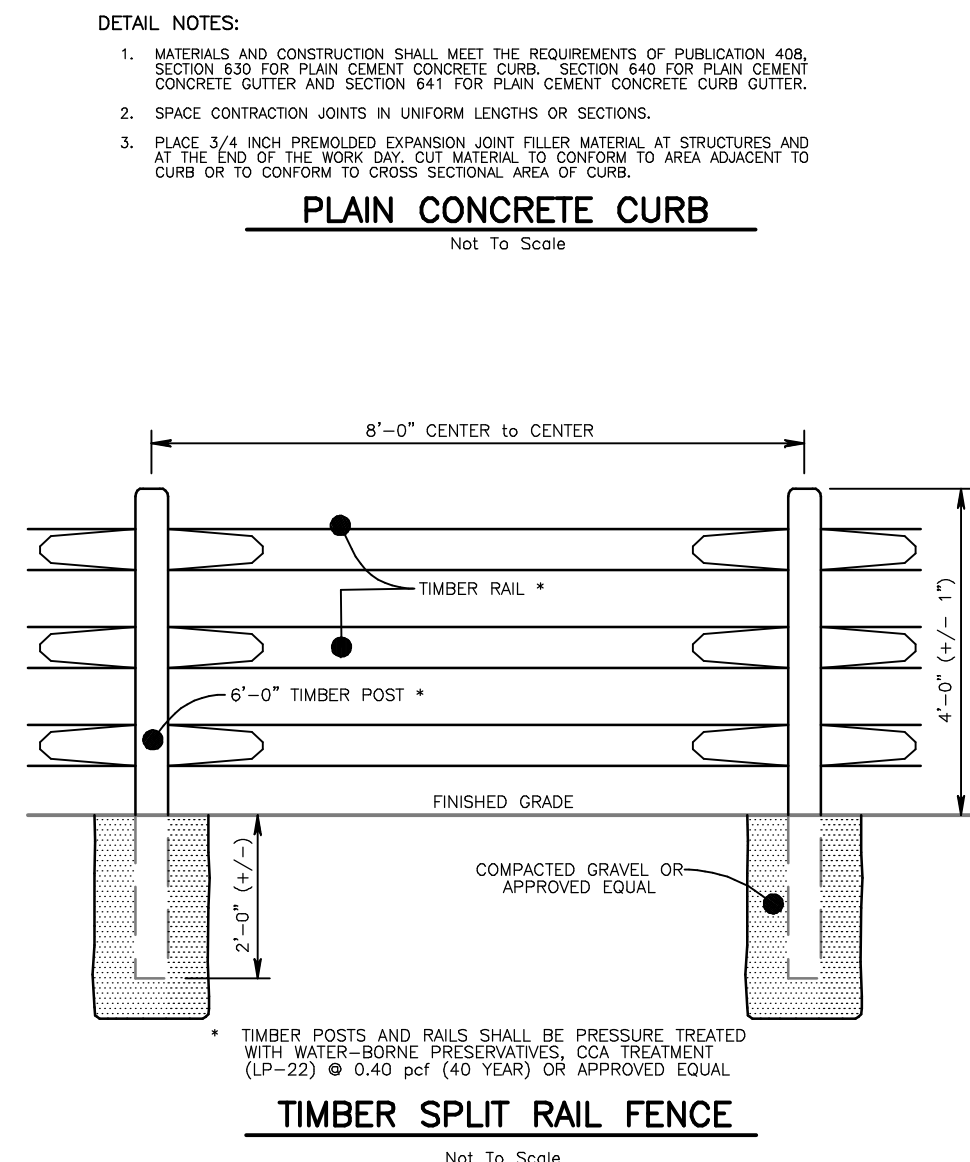
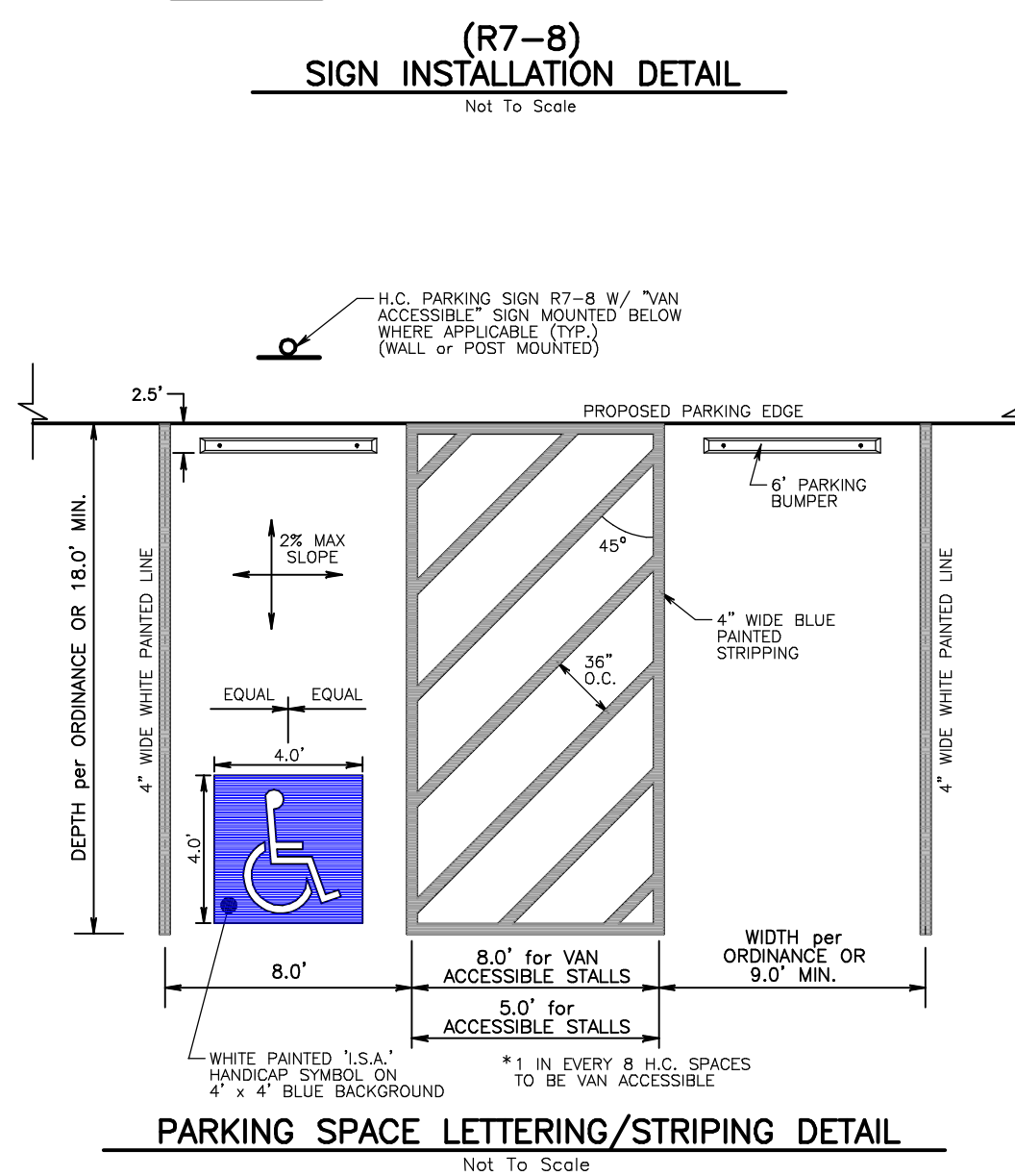
LANE AND EDGE LINES:

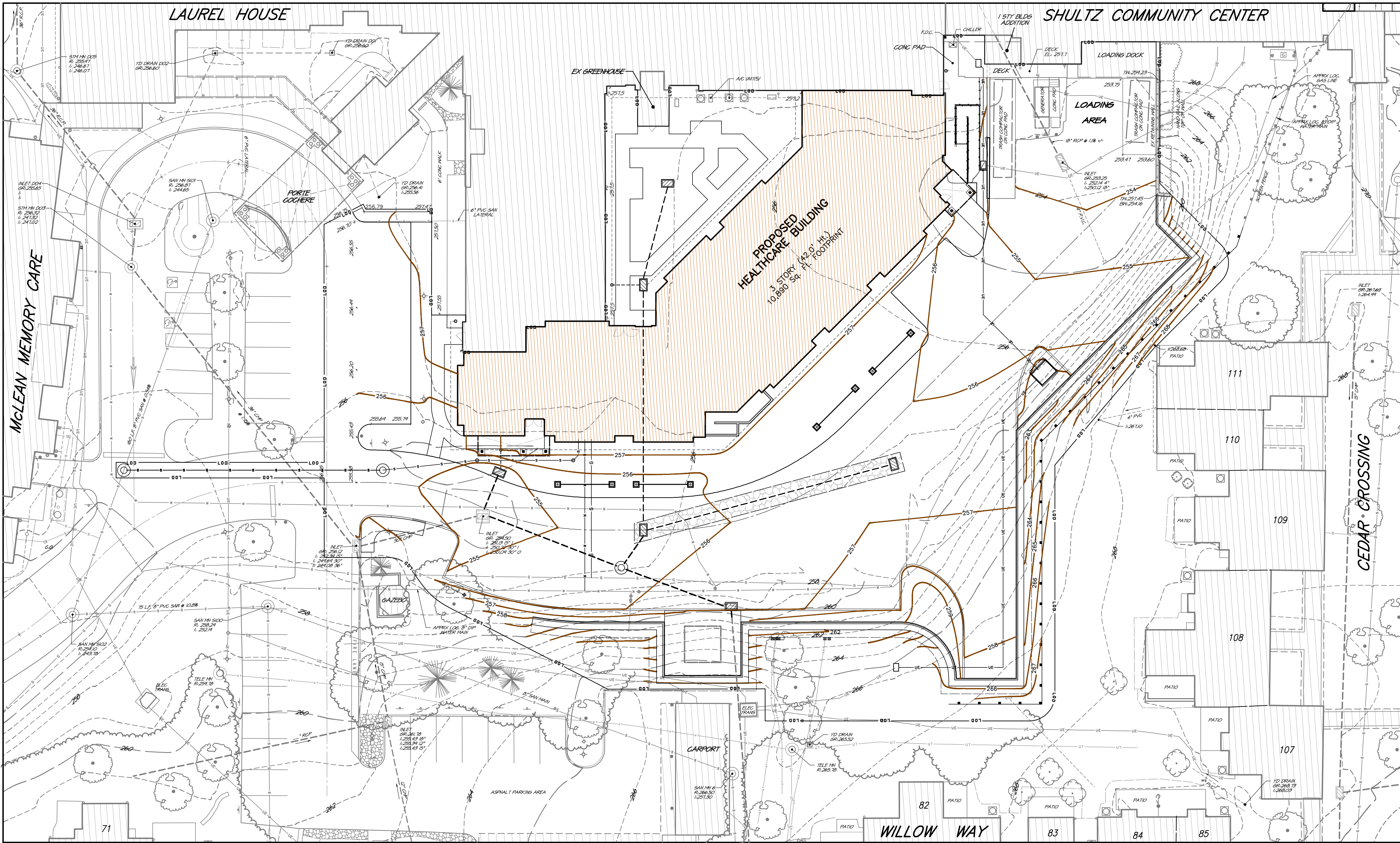
- 7. LANE LINES, EITHER SOLID OR BROKEN WHITE, SHALL BE SIX (6) INCHES WIDE.
- 8. EDGE LINES, WHEN NOTED ON THE PLANS, SHALL BE SOLID WHITE LINES.



INSTALLATION NOTES:

1. SIGNS SHALL CONFORM TO THE STANDARDS OF PA D.O.T. PUB 68 "OFFICIAL TRAFFIC-CONTROL DEVICES"
2. SIGNS SHALL BE SET DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL
3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREON, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL
4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS
5. SIGNS SHALL BE PLACED A MINIMUM OF 40" FROM THE FACE OF ADJACENT CURB OR BUFFER





GENERAL PLAN NOTES

Refer to Sht 2 'RECORD PLAN - OVERALL TRACT' for all 'EXISTING FEATURES AND SURVEY NOTES', Sht 3 'PROJECT AREA LAYOUT PLAN' for all 'DEVELOPMENT NOTES', Sht 6 'PROJECT AREA IMPROVEMENTS PLAN' for all 'CONSTRUCTION DESIGN NOTES'.

BASE EROSION CONTROL DESIGN:

- The Erosion & Sedimentation Control Plan shall minimize the extent and duration of earth disturbance to the greatest extent possible by outlining an efficient construction sequence to complete the proposed improvements as quickly as possible while utilizing the following Erosion and Sedimentation Controls, as shown and detailed on the plan, to minimize any sediment-laden runoff during construction: Compost Sock Sediment Trap 'A', Sediment Basin 'B' with Skimmer, Rock Construction Entrances, Inlet Filter Bags, and Compost Filter Socks.
- The Erosion & Sedimentation Control Plan shall maximize protection of existing drainage features and vegetation to the greatest extent possible by staking and flagging the Limit of Disturbance to avoid impact to any natural drainage features.
- The Erosion & Sedimentation Control Plan shall minimize soil compaction to the greatest extent possible by minimizing traffic within the area of any utilized Sediment Basin, Sediment Trap, or similar BMP once it is constructed and functioning in an effort to preserve natural infiltration rates for Post-Construction conversion. Soil compaction shall also be avoided by loosening the subsoil to a depth of 3 to 5 inches to permit the bonding of topsoil to the surface areas and scarification of 6 to 12 inches for compacted soils prior to seeding. Fencing off of infiltration areas may be implemented as noted on the plans or in the provided Construction Sequence.
- The Erosion & Sedimentation Control Plan outlines controls to prevent and/or minimize the generation of increased stormwater through the use of a floating skimmer within Sediment Basin 'B' to capture slow, and cool runoff while allowing the natural infiltration properties in this location the greatest amount of time to infiltrate.
- Any proposed impervious areas, Rooftops, Pavement and Sidewalk areas, Etc., have the potential to increase thermal impacts to the watershed. Through the use of the proposed BMPs identified on the Plan and specifications for this Project, runoff is captured, slowed, and cooled to the greatest extent possible; thereby reducing the potential for thermal impacts to the watershed as much as possible.
- There are no naturally occurring geologic conditions on-site that could potentially cause pollution. All Erosion and Sedimentation Controls (Sedimentation Basin(s), Compost Socks, Etc.) are proposed around the project site in an effort to minimize any construction related pollution from leaving the site.
- If bedrock is encountered during the construction of the proposed BMPs, the project engineer shall be consulted to ensure that the proposed BMPs will still function as designed.
- Sediment-laden runoff is an anticipated construction waste. Through the use of the proposed Erosion Control Device outlined on this plan set, sediment-laden runoff has been mitigated and prevented from leaving the project site to the greatest extent possible.
- The project site can be referenced on the LANDALE U.S.G.S. Quadrangle Map.
- All utility trenching spoils shall be stored upslope of the trench during digging to prevent sediment-laden runoff from leaving the area of work. Upon completion of the installation and backfill activities, any remaining spoil shall be immediately relocated to the designated stockpile location and all disturbance immediately stabilized with a permanent seed and mulch mixture applied at the recommended rates.

| LIMITATION OF SOILS PERTAINING TO EARTHMOVING | | | | | | | | | | | | |
|---|---------------|----------------|-----------|-----------------|----------|---|--------------------------|------------------------------|------------------|------------------------|--------------|----------------|
| SOILS NAME: | CUTBANKS CAVE | CONCRETE/STEEL | DRY/CURRY | EASILY ERODIBLE | FLOODING | DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE | HYDRIC/HYDRIC INCLUSIONS | LOW STRENGTH/LANDSLIDE PRONE | SLOW PERCOLATION | POOR SOURCE OF TOPSOIL | FROST ACTION | SHRINK - SWELL |
| Udorthents | X | C/S | X | X | X | X | X | X | X | X | X | X |

SPECIFIC LIMITATION RESOLUTIONS:

- CUTBANKS CAVE**
Trench wall reinforcement shall be provided if necessary to stabilize construction related trenching.
- CORROSION TO CONCRETE/STEEL**
Soils testing should be conducted to determine the actual risk of corrosion to concrete or steel and if necessary, concrete mixes adjusted and steel coated to withstand the soil corrosiveness.
- DROUGHTY**
Special consideration should be applied to ensure that seed mixes and proposed plantings have sufficient water and nutrients within the soil to establish growth.
- EASILY ERODIBLE**
Additional erosion control blanketing shall be considered to control any potential erosion in sloped areas.
- DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE**
Special consideration shall be taken in the design of all proposed BMPs to ensure that any existing saturated zones or high water tables will not impact the proposed design.
- HYDRIC/HYDRIC INCLUSIONS**
Hydric soils shall be scarified and mixed with a planting soils mixture and/or topsoil to improve the vegetative properties of the soil.
- LOW STRENGTH/LANDSLIDE PRONE**
Additional erosion control mats or other slope reinforcement shall be considered to assist in landslide and erosion prevention.
- SLOW PERCOLATION**
Scarification of the subsoil shall be a consideration during final grading and topsoil placement to improve the infiltration rates of the subsoil.
- PIPING**
Extra care must be taken in site grading to locate and identify any potential sinkhole areas, and if discovered, immediate measures shall be taken to remediate any sinkhole locations.
- POOR SOURCE OF TOPSOIL**
If on-site stockpiles are deemed to be poor for use in topsoil, improved topsoil shall be imported to the site and utilized for final site grading.
- FROST ACTION**
Special care must be taken to ensure that the soil is not frozen solid when grading the site to the proposed elevations. If large areas of the project site appear to be frozen, the soil shall be thawed before being set to final design elevations.
- WETNESS**
Scarification of the subsoil shall be a consideration during final grading and topsoil placement to improve the infiltration rates of the subsoil. Additional plantings shall be considered to be placed on-site to assist in removing extra wetness from the soil.

MAINTENANCE PROGRAM for EROSION & SEDIMENT CONTROL MEASURES

All Erosion and Sediment Control Measures require inspection and maintenance as specified below. A written report shall be compiled and kept on-site at all times outlining any necessary maintenance and repair that has been performed on the Erosion & Sediment Control Measures. The report shall be updated weekly and after each runoff event requiring BMP inspection. The owners, their successors, or its assigns, shall assume all responsibility for the cost associated with the inspection, cleaning of the system(s), engineering fees and ultimately any costs associated with the required repairs and/or replacement of said facilities.

TEMPORARY ROCK CONSTRUCTION ENTRANCE: (CONSTANT MAINTENANCE)

Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50-foot increments until condition is alleviated or install wash rock. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

PUMPED WATER FILTER BAG:

Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

COMPOST SOCK CONCRETE WASHOUT AREA: (DAILY MAINTENANCE)

- All concrete washout facilities should be inspected daily. Damaged or leaking washouts should be decontaminated and repaired or replaced immediately.
- Accumulated materials should be removed when they reach 75% capacity.
- Plastic liners should be replaced with each cleaning of the washout facility.

ROCK FILTER OUTLET:

(DAILY MAINTENANCE)
Sediment shall be removed when accumulations reach 1/3 the height of the outlet.

RIPRAP APRON:

(WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)
All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.

EROSION CONTROL BLANKET:

(WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)
Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be resorted or replaced within 4 calendar days.

COMPOST FILTER SOCK:

(WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)
Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Bio-degradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's specifications.

PLAN LEGEND

- Roadway / Driveway Centerline
- Ex Grade Contour
 - Ex Vegetation Limit
 - Ex Storm Sewer Piping
 - Ex Sanitary Sewer Piping
 - Ex Gas Main / Service
 - Ex Water Main / Service
 - Ex Underground Telephone
 - Ex SPOT ELEVATION
- + 257.3 Pr Spot Elevation
- 248 250 Pr Grade Contour
- Pr Storm Piping
- Compost Filter Sock
- Orange Construction Fencing
- Limit of Disturbance
- Inlet Filter Bag

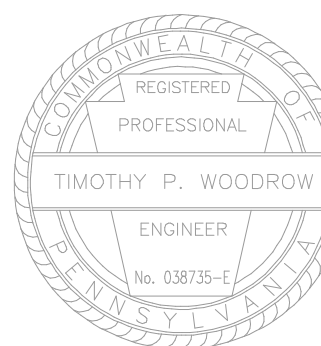
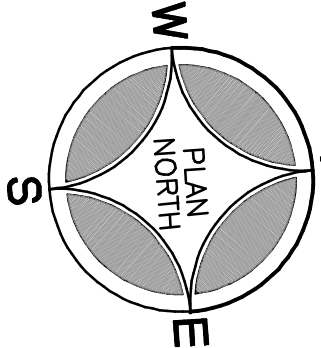
Project Construction Area:
1.45 Acres

Project Disturbance: *
0.64 Acres

* Re-paving of the existing Asphalt Area not counted against Project Disturbance.

Design Point discharges to the existing Basin on the Campus. Post-development runoff rates and volumes to this basin are reduced when compared to predevelopment conditions, therefore, there is no negative impact to this existing Basin with the implementation of the proposed improvements.

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 011
A Publicly Traded Multi-Party Partnership Corporation

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

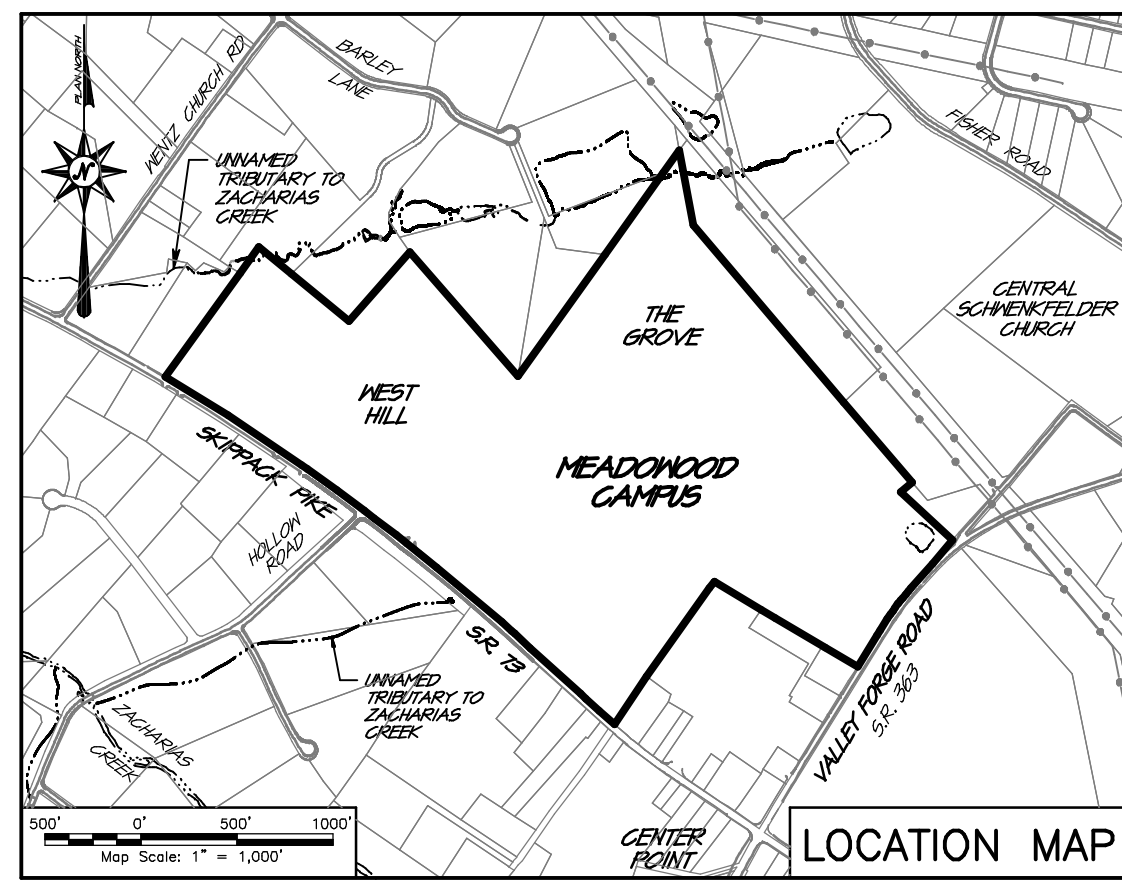
Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

Scale In Feet (1" = 20')
© COPYRIGHT: 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
EROSION & SEDIMENT CONTROL PLAN
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1105 North Meridian Street
Phone: (215) 549-6688
Web: www.woodrowinc.com

Layer List:
D21-12_ES-PLAN
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:

12 of 17



STANDARD EROSION CONTROL PLAN NOTES

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
 - At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
 - At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 or 811 for the location of existing underground utilities.
 - All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
 - Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
 - Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in the E&S plan.
 - At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
 - Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
 - Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement the best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
 - All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25Pa. Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
 - All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
 - The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
 - All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
 - Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs or modifications to those installed will be required.
 - A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection. All inspections shall be logged onto DEP form 3150-FM-BMEW0085 dated 2/2012 and kept on site at all times.
 - Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan, in no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
 - All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
 - Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches - 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
 - All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
 - All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
 - Fill materials shall be free of frozen particles, brush, roots, sods, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
 - Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
 - Fill shall not be placed on saturated or frozen surfaces.
 - Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
 - All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
 - Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
 - Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
 - E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district of the Department.
 - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
 - After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to a permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately, in order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
 - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
 - Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
- SITE SPECIFIC NOTES:**
- Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
 - All channels shall be kept free of obstructions including but not limited to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction material/wastes.
 - Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.
 - Sediment traps shall be kept free of all construction waste, wash water, and other debris having potential to clog the basin/trap outlet structures and/or pollute the surface water.
 - Sediment trap shall be protected from unauthorized acts by third parties.
 - Any damage that occurs in whole or in part as a result of sediment trap discharge shall be immediately repaired by the permittee in a permanent manner satisfactory to the municipality, local conservation district, and the owner of the damaged property.
 - Upon request, the applicant or his contractor shall provide an as-built (record drawing) for any sediment trap to the municipal inspector, local conservation district or the Department.
 - Erosion control blanketing shall be installed on all slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas specified on the plan maps and/or detail sheets.
 - Fill material for embankments shall be free of roots, or other woody vegetation, organic material, large stones, and other objectionable materials. The embankment shall be compacted in maximum 8" layered lifts at 95 % density.
- DUST CONTROL:**
- Dust control measures must be implemented upon the generation of enough dust whereas it leaves the project site on an as-needed basis or upon direction of a municipal representative and/or a representative of the local Conservation District.
- Water Control:**
- The exposed soil surface should be moistened until the surface has been adequately wettened to prevent dust.
- Vegetative Cover Control:**
- The exposed soil surface shall be seeded and mulched according to the recommended rates per the Temporary Seeding Specification.
- Calcium Chloride Placement:**
- Shall be in the form of lumps, dry granules or flakes fine enough to feed through a spreader at a rate that will keep the surface moist but not cause pollution or plant damage.

I. GENERAL NOTES:

- This Erosion and Sedimentation Control Plan was prepared by the staff of Woodrow & Associates, Inc. under the direction of Mr. Timothy P. Woodrow, P.E.
- Sediment must be removed from storm water inlet protection after each runoff event.
- Straw mulch shall be applied in long strands, not chopped or finely broken.

II. RECEIVING WATERSHED:

The receiving watershed for this development is an unnamed tributary to Zacharias Creek to Skippack Creek. The Chapter 93 Classification for this receiving watershed is TSP & MF.

III. INTENT OF CONSERVATION PROGRAM:

The intent of this program is to prevent accelerated erosion of the exposed site soils during the construction and permanent life periods of the development. The program requires retention of all sediments on the construction site while minimizing the impact of development on existing streams and adjacent properties.

These objectives will be achieved by minimizing exposure time of potentially erosive soils to runoff and installation of the temporary and permanent conservation practices in proper sequence with construction. The intent of this program should be understood and implemented throughout the entire development. The various construction trades should be apprised of this program and directed to prevent undue disturbance of prepared and protected surfaces.

IV. SURFACE STABILIZATION CRITERIA:

All denuded soil surfaces including soil stockpiles that are subject to erosion shall be stabilized immediately, either temporarily or permanently. Crushed stone on pavement subgrades is considered adequate protection. Disturbed areas which are not at finished grade and which will be redistributed over one (1) year may be stabilized with a quick growing, temporary seeding mixture and mulch. During non-germination periods, mulch shall be applied at recommended rates. Termination period shall be from April 1st to June 15th and August 15th to October 15th. During non-germination periods mulched areas shall be limited, fertilized, seeded and remulched immediately.

Contractor/Applicant shall assume responsibility for the maintenance and operation of all erosion and sediment control facilities.

Silt fence must be installed parallel to existing contours and constructed in level alignments. The ends of the fence must be extended a minimum of eight (8) feet up slope and at forty-five (45) degrees to the main fence alignment.

If any of the measures contained within this plan prove inadequate at removing sediment from flows prior to discharge or stabilizing of the surfaces involved, additional measures must be immediately implemented by the Contractor/Applicant to eliminate all such problems. Said measures shall be approved by the local soil conservation district.

A reserve supply of crushed stone, silt fence, temporary seed and hay bales shall be maintained on site for emergency replacement of any failing erosion and sediment control measures.

V. EROSION CONTROL DEVICES / MAINTENANCE PROGRAM:

STABILIZED CONSTRUCTION ENTRANCE:

Entrances are to be constructed per Ch. 102 Standard Construction Detail #16 and the details provided with this plan set. The stabilized construction entrance(s) shall be maintained so that tire as expected, replacement BMPs or modifications to those installed will be required.

COMPOST FILTER SOCKS:

Compost Socks shall be installed per Ch. 102 Standard Construction Details #4-1 and the details provided with this plan set. Socks shall be inspected weekly and after each runoff event. Damaged socks shall be replaced according to manufacturer's specifications or replaced within 24 hours of inspection.

COMPOST SOCK SEDIMENT TRAPS:

Sediment Traps shall be constructed per Ch. 102 Standard Construction Details #3-11 and the details provided with this plan set. Inlet protection shall be maintained until all earthwork within the tributary drainage area has been completely stabilized.

STORM INLET PROTECTION:

Inlet protection devices shall be constructed per Ch. 102 Standard Construction Details #28-32 and the details provided with this plan set. Inlet protection shall be maintained until all earthwork within the tributary drainage area has been completely stabilized.

SEDIMENT DISPOSAL:

Silt removed from temporary erosion and sediment control devices shall be disposed of on-site in landscaped areas located outside the 100 year flood plains, wetlands, steep slopes and drainage swales. Areas of sediment disposal shall be considered a critical vegetation area requiring immediate stabilization.

Each drainage sub-area will require separate and unique erosion and sediment control measures. The contractor shall follow the specific construction sequence deemed appropriate by the local soil conservation district.

All BMP listed above require inspection weekly and after each runoff event. All required repairs and replacement of BMPs must be done immediately.

VI. UTILITY TRENCH EXCAVATION:

GENERAL REQUIREMENTS:

Exposed trench excavations have high potential for accelerated erosion and sediment pollution. Since these excavations are usually located at lower elevation along or across earth disturbance sites, open trenches serve to concentrate sediment laden runoff and convey it to site boundaries or waterways. The most important erosion and sediment pollution control consideration for trench construction is the limiting and scheduling of work activities.

CONSTRUCTION REQUIREMENTS:

Limit advance clearing and grubbing operations to a distance equal to two times the length of pipe installation that can be completed in one day.

Work crews and equipment for trenching, placement of pipe, plug construction and backfilling will be self contained and separate from clearing and work crews and site restoration and stabilization operations.

All soils excavated from the trench shall be placed on uphill side of the trench.

Limit daily trench excavation to the length of pipe placement, plug installation and backfilling that can be completed the same day.

Water which accumulates in the open trench will be completely removed by pumping before pipe placement and/or backfilling begins. Water removed from the trench shall be pumped through a filtration device.

On the day following pipe placement and trench backfilling, the disturbed area will be graded to final contours and immediately stabilized.

Soils excavated from the existing surface layer should be stockpiled separately and returned as final surface layer following trench backfilling.

VII. FERTILIZATION, SEEDING AND MULCHING:

TEMPORARY COVER ON DISTURBED AREAS:

Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceed 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

PERMANENT COVER ON DISTURBED AREAS:

Disturbed areas which are either at finish grade or will not be redistributed within one (1) year period must be seeded and mulched with a permanent seed mixture.

All disturbed areas shall be stabilized immediately with a temporary seed and mulch mixture applied at the recommended rates. Site preparation of mulch and maintenance shall be performed in accordance with the Penn State University's Erosion Control & Conservation Plantings on Noncropland manual and Pennsylvania Department of Transportation publication form 408 specifications (latest edition). During nongermination periods, mulch must be applied at the recommended rates.

Graded areas shall be scarified or otherwise loosened to a depth of 3" to 5" prior to topsoil placement to permit the bonding of new topsoil.

EROSION and SEDIMENTATION CONTROL

MULCHING:

All seeded areas should be mulched or blanketed to minimize the potential for failure to establish adequate vegetated cover. Mulching may also be used as a temporary stabilization of disturbed areas in non-germinating seasons. Mulch shall be applied immediately after seeding or at the termination of grading operations during non-germinating seasons.

Straw and hay mulch should be anchored or tacked immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hay into the soil about 3 inches deep. This method should be limited to slopes no steeper than 3H:1V. The entire development, including the construction site, shall be mulched.

Polymeric and gum tackifiers mixed and applied according to manufacturer's recommendations may be used to tack mulch. Avoid application during rain and on windy days. A 24 hour curing period and a soil temperature of 45 degrees F are typically required. Application should generally be heaviest on edges of seeded areas and at crests of ridges and banks to prevent loss. The remainder of the area shall have binder applied uniformly. Binders may only be applied after mulch is spread or sprayed onto the mulch as it is being blown onto the soil.

Synthetic binders, or chemical binders, may be used as recommended by the manufacturer to anchor mulch provided that sufficient documentation is provided to show they are non-toxic to native plant and animal species.

Mulch on slopes of 8% or steeper should be held in place with netting. Light-weight plastic, fiber, or paper nets may be stapled over the mulch according to manufacturer's recommendations.

Shredded paper hydromulch should not be used on slopes steeper than 5%. Wood fiber hydromulch may be applied on steeper slopes provided a tackifier is used. The application for any hydromulch should be 2000 lb/acre at a minimum.

MULCH APPLICATION RATES

| Mulch Type: | Application Rate (Min.) | | | Notes: |
|-------------|-------------------------|----------------|-----------------|--|
| | Per Acre: | Per 1,000 S.F. | Per 1,000 S.Y. | |
| Straw | 3 tons | 140 lbs. | 1,240 lbs. | Either wheat or oat straw, free of weeds, not chopped |
| Hay | 3 tons | 140 lbs. | 1,240 lbs. | Timothy, mixed clover and timothy or other native forage grasses |
| Wood Chips | 4-6 tons | 185-275 lbs. | 1,650-2500 lbs. | May prevent germination of grasses and legumes |
| Hydromulch | 1 ton | 47 lbs. | 415 | See limitations above |

VIII. SEEDING SCHEDULE:

Seeding to conform to specifications outlined in Section 804 - Seeding and Soil Supplements of the Department's Standard Specifications for Road and Bridge Construction.

A soils test should be performed in order to determine actual lime and fertilizer needs of the project site instead of using the generic application rates listed below.

TEMPORARY SEEDING SPECIFICATION - FORMULA E:

100% ANNUAL RYEGRASS (LOLIUM MULTIFLORUM): 10.0 lbs./1,000 s.y.

PERMANENT SEEDING SPECIFICATION - FORMULA B:

70% Tall Fescue (Festuca Arundinacea var., Kentucky 31): 15.0 lbs./1,000 s.y.
30% Creeping Red Fescue or Chewings Fescue: 6.0 lbs./1,000 s.y.

SEEDING RATES FOR THE ABOVE MIXTURES:

Spread seeds where indicated and at the rates specified above (and Table A, Pub 408, Section 804). Spread seeds within the following dates, or as otherwise indicated or directed:

- Formula B: - March 15 to June 01
- August 01 to October 15
- Formula E: - March 15 to October 15

Extend seeding dates where project conditions warrant. Apply full treatment or apply only 50% of the permanent seeding and soil supplements and apply the remaining 50% within the next seeding dates. Place mulch, hay or straw immediately after seeding or within 48 hours after seeding is completed. Place hay or straw uniformly, in a continuous blanket, until seeding is completed. If directed, increase the rate of application, depending upon the material used, season, soil conditions or method of application.

SOIL SUPPLEMENTS:

Pulverized agricultural limestone and commercial fertilizer shall be applied to all disturbed areas which are to be seeded in both temporary and permanent conditions at the following rates:

| SOIL AMENDMENT APPLICATION RATE EQUIVALENTS | | | | |
|---|------------------------------------|----------------|-----------|---|
| Soil Amendment | Permanent Seeding Application Rate | | Notes | |
| | Per Acre: | Per 1,000 S.F. | | |
| Agricultural Lime | 6 tons | 240 lb. | 2,480 lb. | Or as per soil test; may not be required in agricultural fields |
| 10-10-20 Fertilizer | 1,000 lb. | 25 lb. | 210 lb. | Or as per soil test; may not be required in agricultural fields |
| Temporary Seeding Application Rate | | | | |
| Agricultural Lime | 1 ton | 40 lb. | 410 lb. | Typically not required for topsoil stockpiles |
| 10-10-10 Fertilizer | 500 lb. | 12.5 lb. | 100 lb. | Typically not required for topsoil stockpiles |

Adapted from Penn State, Erosion Control and Conservation Plantings on Noncropland

IX. SOILS RESOLUTIONS:

Winter Grading:

Contractor to ensure proper stabilization. Methods to include, seeding and mulching at the recommended rates and where necessary, the placement of an approved erosion control blanket.

Road Fill

Contractor to ensure all fill used for roadway construction is placed and compacted in appropriate lifts. Should material not be suitable for roadway construction the contractor may import suitable material from an area within the permitted area.

Topsoil

Contractor to ensure proper stabilization. Methods to include, seeding and mulching at the recommended rates and where necessary, the placement of an approved erosion control blanket.

Contractor shall consider soils testing to ensure topsoil is suitable to produce and sustain proper growth. Should the topsoil be lacking of the nutrients to produce growth the contractor shall consider applying lime and/or fertilizers at the rates recommended by the project landscape consultant and/or the local conservation district.

Topsoil may be imported from an area within the permitted area proven to be suitable.

Fonds, Dikes and Levees Embankments

Contractor to ensure all fill used for basin embankment construction is placed and compacted in appropriate lifts. Should material not be suitable for basin construction the contractor may import suitable material from an area within the permitted area.

Contractor to ensure proper stabilization. Methods to include, seeding and mulching at the recommended rates and where necessary the placement of an approved erosion control blanket.

Terraces, diversions and waterways

Contractor to ensure all earthwork associated with swales, diversion berms and/or watercourses is adequately stabilized with an approved erosion and sediment control blanket and/or seeding and mulching applied at the recommended rates.

Should erosion continue the contractor shall consult the design engineer, the local conservation district, and take appropriate measures to correct the problems. Corrective measures may include but are not limited to the following:

Additional seeding and mulching, the placement of sod, armor the channel with a stronger stabilization blanket, or the placement of rip-rap.

X. POST-CONSTRUCTION MAINTENANCE PROGRAM:

Post-Construction maintenance of all implemented BMP's shall include but not be limited to the following:

- Check all vegetated areas after any runoff events to identify any areas showing accelerated erosion. If any area is identified as eroding, these areas are to be stabilized using methods described on this plan.
- All storm structures shall be inspected and cleaned of debris annually or as necessary to maintain full capacity of the storm system.

XI. STANDARD NOTE TO COMPLY WITH NPDES CHECKLIST ITEM #2.b.vv: (#3.b.xv for an individual NPDES Permit)

If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the permittee.

- Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognized as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).
- Clean Fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".
- Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill.
- Environmental due diligence: The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, "Sonborn" maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapter 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.pacode.com

XII. MONITORING, INSPECTION, AND REPORTING REQUIREMENTS:

Visual Inspections:

The permittee or co-permittee(s) must ensure that visual site inspections are conducted weekly, and within 24 hours after each measurable rainfall event throughout the duration of construction and until the receipt and acknowledgement of the N.O.T. by the department or authorized conservation district. The visual site inspections and reports shall be completed in a format provided by the department, and conducted by qualified personnel, trained and experienced in erosion and sediment control, to ascertain that E&S BMP's and PCSM BMP's are properly constructed and maintained to effectively minimize pollution to the waters of this commonwealth. A written report of each inspection shall be kept and include at a minimum:

- A summary of site conditions, E&S BMP and PCSM BMP, implementation and maintenance and compliance actions; and
- The date, time, name and signature of the person conducting the inspection.

Noncompliance Reporting:

Where E&S, PCSM or PPC BMP's are found to be inoperative or ineffective during an inspection or any other time, the permittee and co-permittee(s) shall, within 24 hours, contact the department or authorized conservation district, by phone or personal contact, followed by the submission of a written report within 5 days of the initial contact. Noncompliance reports shall include the following information:

- Any condition on the project site which may endanger public health, safety, or the environment, or involved incidents which cause or threaten pollution;
- The period of noncompliance, including exact dates and times and/or anticipated time when the activity will return to compliance;
- Steps being taken to reduce, eliminate, and prevent recurrence of the noncompliance; and
- The date or schedule of dates, and identifying remedies for correcting noncompliance conditions.

Reduction, Loss, or Failure of the BMP's:

Upon reduction, loss or failure of the BMP's, the permittee and co-permittee shall take immediate action to restore the BMP's or provide an alternative method of treatment. Such restored BMP's or alternative treatment shall be at least as effective as the original BMP's.

Termination of Coverage:

N.O.T.: Upon permanent stabilization of earth disturbance activities associated with construction activity that are authorized by this permit and when BMP's identified in the PCSM Plan have been properly installed, the permittee and/or co-permittees of the facility must submit a N.O.T. form that is signed in accordance with Part B, Section 1.c, Signatory Requirements, of the NPDES permit. All letters certifying discharge termination are to be sent to the department or authorized conservation district. The N.O.T. must contain the following information: facility name, address and location, operator name and address, permit number, identification and proof of acknowledgement from the person(s) who will be responsible for the operation and maintenance of the PCSM BMP's in accordance with the approved PCSM Plan, and the reason for the permit termination. Until the permittee has received written acknowledgement of the N.O.T., the permittee will remain responsible for the operation and maintaining all E&S BMP's and PCSM BMP's on the project site and will be responsible for the violations occurring on the project site.

Completion Certificate and Final Plans:

Within 30 days after the completion of the earth disturbance activities authorized by this permit, including the permanent stabilization of the site and proper installation of PCSM BMP's in accordance with the approved PCSM Plan, or upon submission of the N.O.T. to the permittee shall file with the department or authorized conservation district a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of the NPDES permit and the approved E&S and PCSM Plans.

CONSTRUCTION SEQUENCE

At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in these activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, the designated Licensed Professional, and the local Conservation District to an on-site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in these activities shall notify the Pennsylvania One Call Incorporated System at 811 or 1-800-242-1776 for buried utilities locations.

All earth disturbance activities shall proceed in accordance with the outlined sequence on these plans. Each stage shall be completed before the following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage. General site clearing, grubbing, and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the construction sequence for that stage or phase have been installed and are functioning as described in this document. Deviation from this sequence must be approved in writing from the local Conservation District or by DEP prior to implementation.

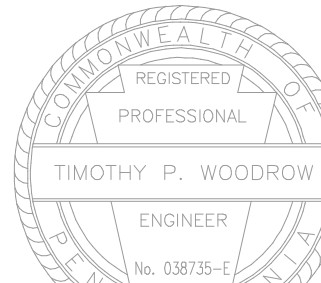
Upon temporary cessation of an earth disturbance or any stage or phase of an activity where a cessation of earth disturbance activities exceed 4 days, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities.

Per NPDES requirements "Upon the installation or stabilization of all perimeter sediment control BMP's and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co-permittee shall provide notification to the Department or authorized conservation district."

No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations to stabilize these areas (§102.11(a)(1))

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 611
A Public Utility Support Program Corporation

Parcel Information:

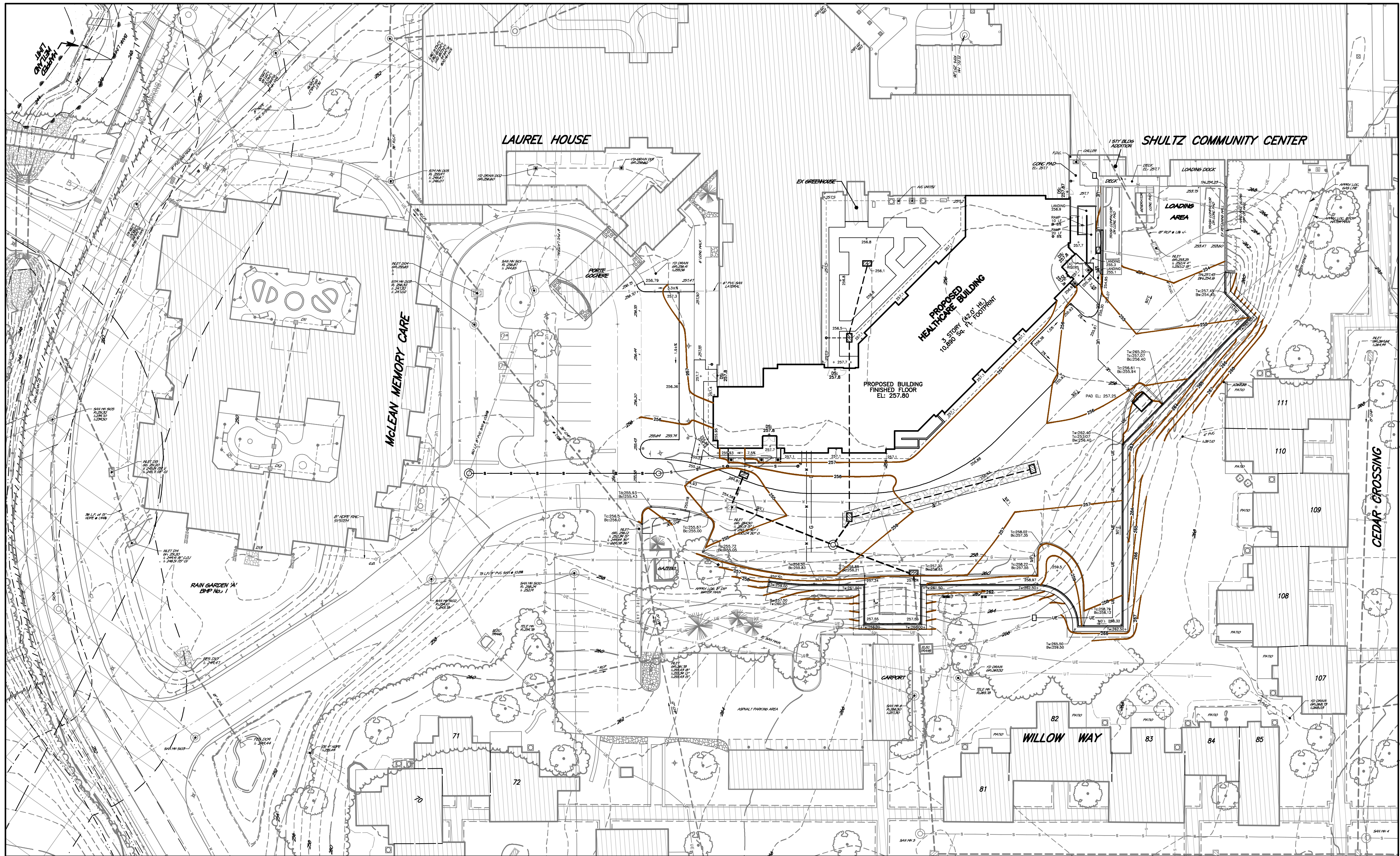
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 26
DB: 6370 Page 2199-2208
3205 SKIPPAACK PIKE

Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:

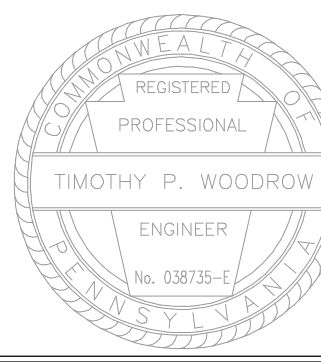
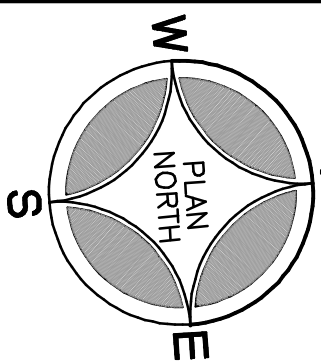
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19390

© COPYRIGHT 2025
WOODROW & ASSOCIATES,



| PLAN LEGEND | |
|-----------------------------------|---|
| --- Roadway / Driveway Centerline | |
| -240 -250 | Ex Grade Contour |
| - - - | Ex Vegetation Limit |
| - - - | Ex Storm Sewer Piping |
| - - - | Ex Sanitary Sewer Piping |
| - - - | Ex Gas Main / Service |
| - - - | Ex Water Main / Service |
| - - - | Ex Underground Telephone |
| - - - | Ex SPOT ELEVATION |
| + 257.3 | |
| - - - | PR SPOT ELEVATION |
| - - - | PR GRADE CONTOUR |
| - - - | PR STORM PIPING |
| - - - | POST-DEVELOPMENT DRAINAGE AREA BOUNDARY |
| - - - | DRAINAGE AREA FLOWPATHS |

REVISIONS



PROJECT SERIAL NUMBER FOR DESIGN:

Pennsylvania 011
A Priority Jurisdiction Pennsylvania Corporation

Parcel Information:
THE MEADOWOOD CORPORATION
TP: 87-00-03185-00-6
Block 28 Unit 28
DB: 6370 Page 2199-2208
3205 SKIPPACK PIKE

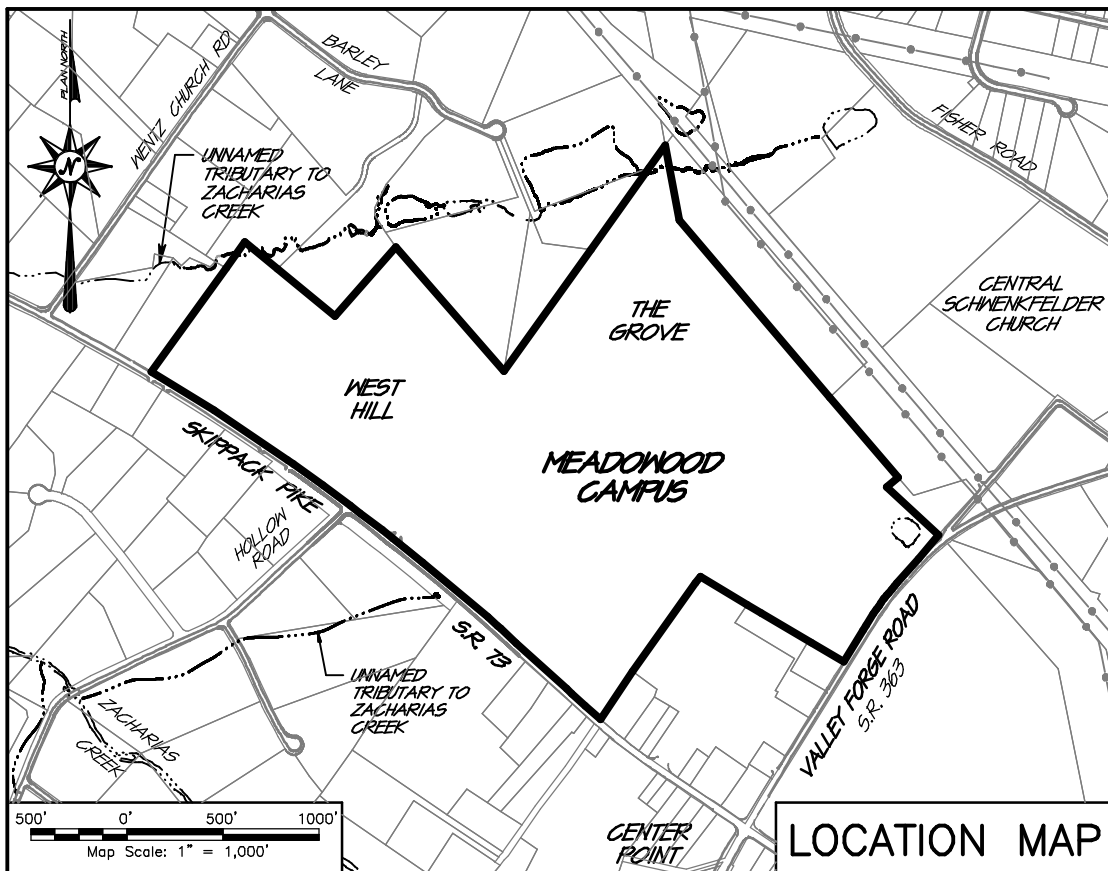
Gross Tract:
137.4921 Acres
Developable Area:
116.6758 Acres

Applicant:
THE MEADOWOOD CORPORATION
c/o Paul Nordeman
President/CEO
3205 Skippack Pike
(PO Box 670)
Worcester, PA 19380

15' 0' 30'
Scale In Feet (1" = 30')
© COPYRIGHT 2025
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN - HEALTH CARE NORTHEAST EXPANSION
DRAINAGE AREA BOUNDARY
POST-DEVELOPMENT
MEADOWOOD SENIOR LIVING
WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Main Street, Suite 100
Worcester, PA 19380
Phone: (215) 542-6668 Web: www.woodrowinc.com

Layer List:
D21-16_DAB-Post
Job No:
00-0606 D21
Plan Date:
JAN. 31, 2025
Sheet No:



**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

March 19, 2025

Dan DeMeno, Township Manager
Worcester Township
PO Box 767
1721 Valley Forge Road
Worcester, PA, 19083

Re: MCPC #17-0040-007
Plan Name: Meadowood Campus - Healthcare Northeast Expansion
(37,324 sf additional development on approximately 137 acres)
Situate: 3205 Skippack Pike
Worcester Township

Dear Mr. DeMeno:

We have reviewed the above-referenced Meadowood Campus - Healthcare Northeast Expansion development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on February 8, 2025. We forward this letter as a report of our review.

BACKGROUND

The Meadowood Corporation proposes a new three-story health center expansion with an 11,370 square foot footprint. The development includes reconfigured parking and loading access, adding two accessible parking spaces to the northeast. Additional improvements include new pedestrian pathways, an ADA accessible ramp, utility relocation, a large retaining wall, screen fencing/walls, plantings, a cooling tower, and an underground stormwater detention facility. The project will result in a net increase of 4,755 square feet of impervious surface. The property is located in the township's LPD Land Preservation District.

COMPREHENSIVE PLAN COMPLIANCE

MONTCO 2040: A SHARD VISION: THE COMPREHENSIVE PLAN

This development is supported by the *Montco 2040* Comprehensive plan in the Vibrant Economy theme which recommends ...“advocating with local municipalities, health care providers, and developers to create an environment that meets the needs of an aging population.” (Page 71) By expanding the services offered and building on an existing site development, Meadowood is meeting the needs of a growing aging population.



WORCESTER COMPREHENSIVE PLANS

The following goals and objectives in the Worcester 2008 Comprehensive Plan and the Draft 2022 Comprehensive Plan update are applicable to this proposal.

2008 WORCESTER COMPREHENSIVE PLAN (ADOPTED)

Environmental Goals (Page 3): Preserve Steep Slope Areas: To prevent problems on sloped areas that are more susceptible to erosion and mass movement, including increased runoff and sedimentation from disturbed slopes. Also to reduce potential for unnecessary public expenditures for flood control, water quality, and stormwater management, and to protect habitats for important species and wildlife.

Environment Objective: Continue to enforce the Townships steep slope ordinance to prohibit development on slopes that are 25% or more; minimize development or regrading on slopes 15% to 25% and continue to subtract steep slopes from the calculation of lot area.

2022 WORCESTER COMP PLAN UPDATE (DRAFT)

Environmental Resources & Infrastructure Goal: Preserve and conserve sensitive environmental features, such as floodplains, steep slopes, riparian buffers, forests, and wetlands

Environmental Resources & Infrastructure Objective:

- Decrease in % of development occurring within sensitive environmental areas (ie Steep slopes).
- Decrease in rate of land converted to impervious surface.
- Increase in % tree canopy coverage.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and municipality may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

COMPREHENSIVE PLANS

A. Steep Slopes

1. There are steep slopes and mature vegetation impacted by the design. Both comprehensive plans (2008 Adopted and 2022 Draft) state goals and objectives related to avoiding and minimizing development on environmentally sensitive land (See Comprehensive Plan Compliance section above). This design proposes to cut into the existing 45% to 50% steep slopes to construct a retaining wall ranging in height from approximately 2' to 10'. This appears to be designed to accommodate a larger loading area for truck access and reconfigured parking

spaces. Additionally, several mature trees are removed reducing tree canopy coverage. We recommend reconfiguring the parking and loading area to reduce the size of the retaining wall and reduce the amount of impervious surface proposed. See attachment E sketch for a potential redesign which accommodates truck access and maintains the current number of proposed parking spaces. This design may allow for the retention of some of the mature tree canopy to the north by minimizing incursions into steep slopes. It also provides opportunities to retain or plant new shade and evergreen tree buffer screening to shield the loading and parking areas from the existing adjacent residential buildings.

LANDSCAPING

A. Requested Waiver E (Sheet 2 of 12)

1. The applicant is requesting a waiver to “provide an Existing Tree Survey for the impacted project area.” The applicant also states on the Landscape Plan (Sheet 8 of 17) that “Less than 25% of the trees on site are proposed to be removed, therefore no replacement trees are required.” It is unclear if this statement is based on the entire property or the affected property area. The proposed affected project area contains a total of 12 deciduous and 15 evergreen trees to be removed that are above 6” caliper which appears to be more than 25% of the trees affected in the project area. In considering whether to grant this waiver, the Township may want to consider an alternative means of compliance with the tree replacement ordinance such as requiring that tree replacement calculations be based on the affected project area instead of the entire site.

B. Plant List

1. Ilex cornuta ‘Burfordii’ (Burford Holly) is a non-native evergreen tree species. The applicant should consider a native evergreen species such as Ilex ‘Nellie Stevens’ (Nellie Stevens Holly) or equal.

SITE DESIGN

C. ADA Parking Space Restriping

1. The design proposes restriping five accessible parking spaces near the main entrance of Laurel House. To minimize conflicts with vehicular traffic, an accessible ramp/sidewalk should be provided to connect each of the striped access aisles and the adjacent sidewalk (See Note 6 on the attachment E sketch). This provides an accessible route to the building entries via sidewalks instead of the vehicular drive. In addition, there is a light pole which may need to be relocated in the current striping configuration (see note 7 on the attachment E sketch).

D. Lighting

1. No Lighting Plan was provided in the preliminary set. Several light poles appear to be slated for removal. The proposal only includes a bollard light detail and there were no bollards labeled on the plans. The applicant should provide a lighting plan to illuminate the parking and loading area

in accordance with Section 150-199 and, at a minimum, designed to the lighting levels prior to the new site development.

E. Retaining Wall

1. Details for the retaining wall were not provided. It is unclear how the retaining wall will be constructed. If the wall is a segmental block wall, planting behind and on the top of the wall may be problematic and conflict with the geo grid required to stabilize the wall. The applicant's designers should provide a detail of the retaining wall. All walls must meet the requirements of the Worcester Township Fencing and Walls ordinance (*Section 150-182*)

F. Screen Fence

1. The design proposes a "Screen Fencing" and "Screen Wall/Fencing" to minimize the views from the adjacent residential buildings and new addition to the parking and loading areas. The proposed screen fencing detail is a 4' height post and rail fence. This type of fence is not an effective visual screen. The applicant's engineers should provide an alternative, more opaque, taller fence design to better screen the views from the adjacent residential buildings. All fencing must meet the requirements of the Worcester Township Fencing and Walls ordinance (*Section 150-182*)

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal, but we believe that our suggested revisions will better achieve the Worcester Township planning objectives for site development and environmental goals and objectives.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number **17-0040-007** on any plans submitted for final recording.

Sincerely,



Geoffrey Vaughn, PLA, ASLA - Assistant Design Section Manager
geoffrey.vaughn@montgomerycountypa.gov - 610-278-3751

- c: The Meadowood Corporation, Applicant
Catherine M. Harper, Esq., Applicant's Attorney
Woodrow & Associates, Inc., Applicant's Engineer

Chair/Chairperson, Municipal Planning Commission
Dan DeMeno, Township Manager

Attachment A: Aerial Image of Site

Attachment B: Affected Project Area Site Aerial

Attachment C: Reduced Copy of Applicant's Proposed Site Plan

Attachment D: Reduced Copy of Proposed Affected Project Area Site Plan

Attachment E: Design Recommendations Sketch

ATTACHMENT A - OVERALL SITE AERIAL



Meadowood Campus - Healthcare
Northeast Expansion
MCPC#170040007

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
PO Box 311 Norristown PA 19384-0311
(610) 278-3722 (T) 610 278-3941
www.montcopa.org/planning
Aerial photography provided by Neamap

0 250 500 1,000 Feet



PROJECT AREA

ATTACHMENT B: AFFECTED PROJECT AREA SITE AERIAL



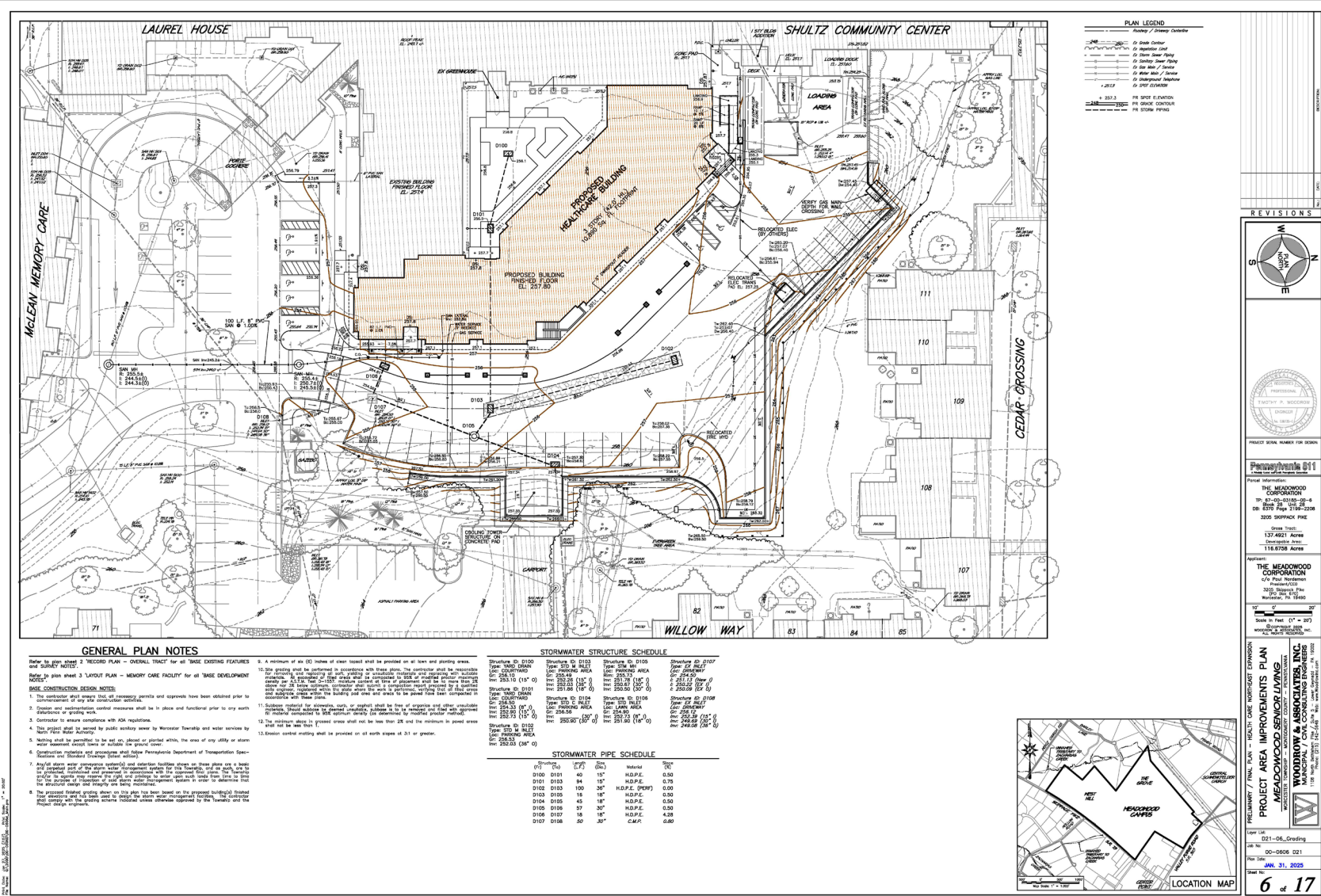
Meadowood Campus
Healthcare Northeast Expansion
MCPC#170040007

Montgomery
County
Planning
Commission

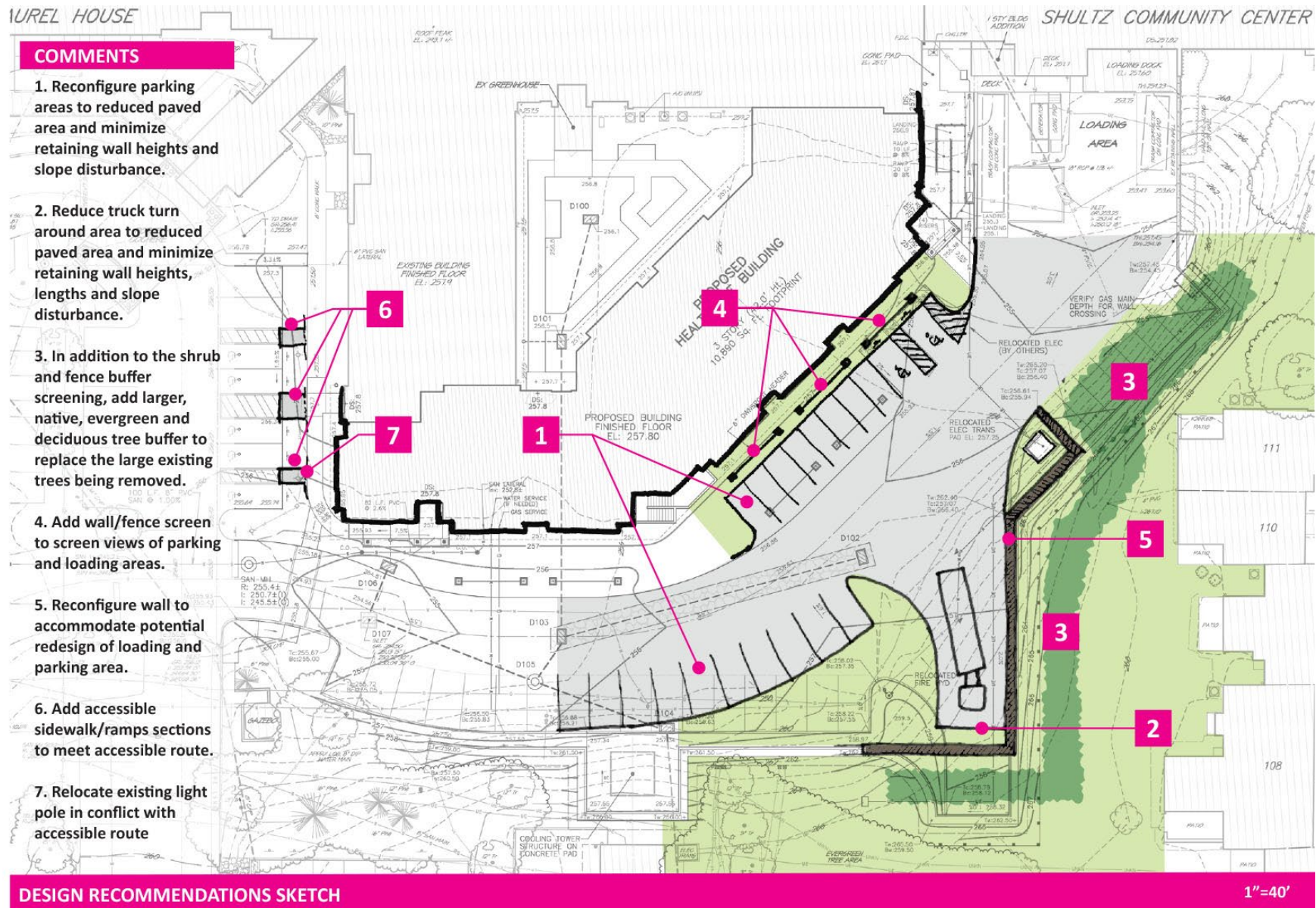
Montgomery County Courthouse - Planning Commission
PO Box 311 Norristown PA 19404-0311
(p) 610 278-3722 (f) 610 278-3941
www.montcopa.org/plancom
Aerial photography provided by Nearmap



ATTACHMENT D: REDUCED COPY OF PROPOSED AFFECTED PROJECT AREA SITE PLAN



ATTACHMENT E: DESIGN RECOMMENDATIONS SKETCH





March 4, 2025

Mr. Dan Demeno
Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Attention: Christian R. Jones, Assistant Township Manager
Mr. Robert D'Hulster, Public Works Director

RE: **Traffic Review #1 – Preliminary Land Development Plans**
Proposed Meadowood Healthcare Building
Worcester Township, Montgomery County, PA
Project No. 313982-25-004

Dear Dan:

Per the request of the Township, Bowman Consulting Group (Bowman) has prepared this review letter which summarizes our initial traffic engineering review of the proposed building expansion to be located along the northern side of the Meadowood Drive at the southeastern end of the property adjacent to the Laurel House and Holly House in Worcester Township, Montgomery County, PA. It is our understanding that the proposed expansion will consist of 8 personal care units and 15 skilled care beds. This will bring the total number of dwelling units at the Meadowood property to 452 units (currently at 429 dwelling units of a few varieties). Access to the proposed building will be provided via the existing driveway connection to the Meadowood Drive to the south of the Laurel House and Holly House, which ultimately accesses Skippack Pike (S.R. 0073).

The following document was reviewed and/or referenced in preparation of our traffic review:

- Preliminary Land Development Plans - Meadowood Senior Living, prepared by Woodrow & Associates, Inc., dated January 31, 2025.

Based upon review of the document noted above, Bowman offers the following comments for consideration by the Township and action by the applicant:

1. The applicant has not provided a current or updated traffic study for the site, nor any trip generation information specific to the addition of 23 units as a result of the building expansion for the Meadowood community campus. Access continues to be proposed at the existing, single point of ingress/egress at Meadowood Drive and Skippack Pike (S.R. 0073), although emergency-only access to/from Valley Forge Road (S.R. 0363) exists for the Meadowood community. While we do not see the need that a full traffic study for this incremental expansion to the Meadowood master plan is necessary at this time, the applicant must at a minimum prepare a vehicular trip generation letter for the proposed expansion on the site. This could be accomplished by conducting existing trip generation counts (in and out movements) during the weekday morning and weekday afternoon commuter peak hours at the intersection of Skippack Pike (S.R. 0073) and Meadowood Drive over

a minimum of three separate typical weekdays to confirm the existing trip generation of the site, and to use that data to help calculate an actual trip generation rate for the site to then calculate the number of trips that will be generated by the proposed 23 units during the peak hours. If further study is needed at this time based on the information received, we will determine upon review of the resubmitted materials.

2. The Skippack Pike (S.R. 0073) intersection at the Meadowood access has been the subject of a signal warrant evaluation over the years, and the necessary access and adjacent roadway improvements that would need to accompany any warranted signal installation. Costs for the design & construction for a signalization and intersection/frontage improvements project will be an expensive undertaking in order to complete them. This said, signal warrants in the most recently completed study we are aware of from April 2023 were not yet satisfied, and PennDOT has not approved a signal installation with associated roadway improvements to date for the access. An access and frontage improvement project desirably would realign Meadowood Drive opposite Hollow Road and signalize the four-legged intersection, also adding left-turn lanes for both Meadowood Drive and Hollow Road, as well as adding a right-turn deceleration lane for Meadowood Drive along Skippack Pike (S.R. 0073). Providing the turning lanes for added safety (especially due to the age-restricted nature of the Meadowood residents), and providing the safety of a signal for both minor road approaches to Skippack Pike (S.R. 0073) in this area are important aspects of a future project when signal warrants are met and can be approved by PennDOT before it is installed.

With the addition of the proposed building for this project, and while it may not be necessary at this time, we recommend that the applicant consider evaluating the Skippack Pike (S.R. 0073) access and Hollow Road for signal warrants and/or determine the viability of providing additional access to/from the Meadowood community in light of growing traffic demands on the abutting state roadway network along the property. This evaluation, if pursued, could be done in coordination with the capture of trip generation counts in the comment above. Understanding there is a master plan for this project, and that an update to a traffic study was deferred at the time of the development of The Grove project on the site, **we recommend that the Board consider a condition that both an updated traffic study be conducted for the site upon any further expansion to the Meadowood campus (i.e., future garden apartments, etc.) beyond the addition of the building proposed that is the subject to this land development application. The study should be complete with signal warrant evaluation alternatives for access location(s), as well as Skippack Pike (S.R. 0073) access/roadway frontage improvements, in addition to investigating possible additional access to/from the property.**

3. The applicant's engineer (Woodrow) recently met with the Township Engineer and our office to discuss the possibility of converting the emergency-only access along Valley Forge Road (S.R. 0363) to an access that will be open for use by residents and visitors of Meadowood on a full-time basis at some future time. The discussion was largely centered around making it a limited traffic movement access, allowing right-in and right-out movements only. The applicant's engineer must ensure that any change in this driveway, to be potentially converted from emergency use only to everyday vehicle usage, is appropriately designed based on the movements that will be permitted and restricted at this driveway. Since Valley Forge Road (S.R. 0363) is a state road, the proposed access configuration will need to be reviewed and approved by PennDOT and the applicant will be required to secure new Highway Occupancy Permit (HOP) for the driveway modifications. The

Township and our office must be copied on all HOP submissions, as well as correspondence between the applicant and PennDOT, and invited to any and all meetings between the applicant team and these parties.

4. According to **Section 130-17.D(11)** of the **Subdivision and Land Development Ordinance**, parking spaces shall be a minimum of 10 feet wide by 20 feet long. The plans currently show several parking spaces in the parking area to the east of the proposed building that are 8 feet wide and/or 18 feet long, thereby do not satisfying the ordinance requirement. The plans should be revised to show these parking spaces to be a minimum of 10 feet wide by 20 feet long, or a waiver will be required to be requested from this ordinance requirement stating the hardship and reasons why the requirement cannot be met and approved by the Township Board of Supervisors.
5. Adequate sight distance measurements must be provided for the intersection of the Access Drive and Meadowood Drive, and provisions made for it to be achieved and maintained. Due to the location of the building and the curve of the road, egressing drivers from the side street will need to turn their head more than 90 degrees to the right and must have safe stopping sight distances based on approach speeds.
6. Turning templates should be provided demonstrating the ability of emergency and fire vehicles specific to Worcester Township to maneuver into and out of the Access Drive along Meadowood Drive and entirely through the parking area to the east of the proposed building.
7. The Township Fire Marshal should review the proposed site modifications for accessibility and circulation needs of emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.
8. All curb ramps and pedestrian routes (i.e., sidewalks, crosswalks, etc.) are to be constructed in accordance with the current Federal and PennDOT ADA standards. ADA ramp design and crosswalk striping details should be included on the detail pages of the plans. Bowman has not reviewed the detailed design of any ramps internal to the site.
9. ADA ramps should be shown on the plans at the following locations:
 - In the immediate vicinity of the ADA parking spaces on the northern and southern sides of the proposed building.
 - On both sides of the Access Drive where the crosswalk across this drive meets the sidewalk.
10. All existing and proposed pavement markings and signs should be clearly labeled on the plans.
11. "Pedestrian Crossing" signs should be shown on the plans on both sides of the crosswalk located along the Access Drive on the southeastern corner of the proposed building.
12. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area North, which has a corresponding impact fee of \$3,977 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. In order to determine the transportation impact fee applicable for the proposed building expansion, the applicant must conduct trip generation counts during the weekday afternoon peak hour at the intersection of

Skippack Pike (S.R. 0073) and Meadowood as previously mentioned in this letter. Upon completion of these counts, the applicant must calculate a trip generation rate for the site during the weekday afternoon peak hour that can be used to calculate the expected trip generation for the additional 23 units being proposed for the building expansion with this application. A final determination of the transportation impact fee will be reviewed and determined by our office for recommendation to the Board upon submission of this information.

13. The Township and its engineering consultants must continue to be included in any submissions and meetings with PennDOT and other agencies involving Meadowood with regards to its current access, emergency access, signalization, and/or improvements to the adjacent roadways for the Meadowood site.
14. In all subsequent submissions, the applicant's engineer must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the plan sheets, or other materials, as opposed to providing general responses. This will aid in the detailed review and subsequent review timeframes.

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me, Michelle Eve, P.E., or Brian Jones, PTP, TOPS.

Sincerely,



Casey A. Moore, P.E.
EVP/Regional Manager - Transportation

BMJ/MEE/CAM

cc: John Evarts, P.E., CKS Engineers (Township Engineer)
Wendy Feiss McKenna, Esq. (Township Solicitor)
Devin Ralph, Esq. (Township Solicitor)
Paul Lutz, PennDOT District 6-0
Catherine Harper, Esquire, Timoney Knox, LLP (Applicant' Attorney)
Tim Woodrow, P.E., Woodrow & Associates, Inc. (Applicant's Engineer)

V:\313982 - Worcester Twp PA\313982-25-004 (TRA) - Meadowood Health Care Expansion\Engineering\Submissions\2025-02-07 LD Plans\Review\2025-03-04 Review Letter #1 - Meadowood (finalized).docx



CKS Engineers
4259 West Swamp Road, Suite 410
Doylestown, PA 18902
P: 215.340.0600
www.cksengineers.com

March 20, 2025
Ref: #7571

Township of Worcester
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: Dan DeMeno, Township Manager

Reference: Meadowood Healthcare Northeast Expansion
Land Development Review - Preliminary
Parcel No. 67-00-03185-00-6
3205 Skippack Pike

Dear Dan:

Our office is in receipt of your request for a preliminary review of a healthcare expansion for The Meadowood Corporation, plans consisting of 17 sheets dated January 31, 2025, with no revisions, prepared by Woodrow & Associates, Inc. The applicant proposes the demolition of the existing stair tower of the Holly House building to accommodate a new 10,890-s.f. footprint, three-story addition with site improvements, including reconfiguration of adjacent off-street parking to provide 17 spaces in the work area, new service walks, screen walls, and retaining walls on the site of an existing residential life-care facility.

We offer the following comments for consideration by the Township:

I. ZONING

The following comments are based upon the provisions of the Worcester Township Zoning Ordinance:

1. The following variances were granted by the Worcester Township Hearing Board on January 21, 2025 (Docket No. 2024-25):
 - a. Section 150-15 – to permit the construction of a residential building with a height of three stories, not to exceed 40 feet when the maximum permitted is 35 feet and/or 2.5 stories.
 - b. Section 150-15 – to permit the expansion of the existing health center to a height of three stories and/or 42 feet when the maximum permitted is 35 feet and/or 2.5 stories.

2. Both variances granted must be listed on the plans with the docket number.

On Sheets 1 and 2, the Site Data Zoning Schedule should also list stories allowed/proposed.

The variances were granted by the Zoning Hearing Board with the following conditions which should also be listed on the plans:

- a. The applicant shall construct the buildings substantially as set forth in the testimony and as shown in Exhibits A-3, A-7, and A-9. The applicant shall install and maintain a berm and evergreen landscaping, 8 feet in height at time of planting, substantially as shown on Exhibit A-10, to the satisfaction of the Township.
 - b. The applicant shall apply for and obtain all applicable Township, County and State permits and approvals relative to the use in a timely manner.
 - c. All use and development permitted by this Decision shall conform to the exhibits and testimony presented by the applicant, unless inconsistent with any specific conditions imposed by this Board, in which case these specific conditions shall take precedence.
 - d. Except as permitted by prior Decisions of this Board, the use of the subject property shall otherwise comply with the Worcester Township Code, including, but not limited to, all stormwater management fencing, setback, parking, lighting, sign, and noise regulations, and all other codes, regulations and ordinances of Worcester Township.
 - e. Pursuant to Section 150-225 of the Worcester Township Zoning Ordinance, a special exception or variance shall expire if the applicant fails to obtain a permit in connection therewith within one (1) year of the date of authorization thereof. When land development/subdivision approval is required, the special exception or variance shall expire if the applicant fails to make a diligent effort to obtain such approval within six (6) months following the date of the Zoning Hearing Board's Order. Upon receipt of land development/subdivision approval, the special exception or variances shall expire if a building permit is not obtained within six (6) months of the date of the land development/subdivision approval.
3. The existing use of the site, residential life-care facility, is permitted by Conditional Use if authorized by the Township Board of Supervisors, where the lot is 100 acres or larger, building coverage does not exceed 15% of the net lot area, and impervious coverage does not exceed 40% of the net lot area. The Township must determine if new Conditional Use approval is warranted to expand the use upon the site. (150-110.22.C & 150-11.E.7)
 4. The building coverage in the Campus Area Schedule on Sheet 2 must be revised to indicate the square footage of existing buildings that are to be removed.

5. The plan states that 49 parking spaces are to be removed and 34 parking spaces are to be added which would result in a reduction of 15 spaces from the existing number of spaces. The parking calculation on Sheet 1 indicates a reduction of 17 spaces. The plans must be revised to indicate the correct number of spaces being removed.
6. The proposed reconfigured parking area will provide 17, 10 by 18-foot parking spaces; eight, 8 x 18-foot compact vehicle parking spaces; two, 10 x 20-foot parking spaces; and seven ADA accessible spaces. We note that the majority of the parking spaces are undersized, as Section 130-17.D.7 of the Township's Subdivision and Land Development Ordinance requires all parking stalls to be not less than 10 by 20 feet. (150-158)
7. The height(s) and materials of screen fencing and screen/wall fences depicted on the plan should be noted. (150-182)
8. The plan should indicate if any new lighting is anticipated and demonstrate that no zoning relief is needed for any proposed lighting. We note that a lighting information table is shown on Sheet 17, but there are no lighting fixture locations on the plans. Heights for lighting in this table list mounting heights of 12 feet, which is the maximum allowed. Lighting cut sheets, pole details, and lighting values must be added to the plans. (150-200)

II. SUBDIVISION AND LAND DEVELOPMENT

The following comments are based upon the requirements of Worcester Township's Subdivision and Land Development Ordinance:

1. As previously stated in this letter, parking stall dimensions shall not be less than 10 ft. x 20 ft. (130-17.D(7))
2. The location of any lighting standards must be shown on the plans to avoid conflicts with any landscaping. (138-28.G(6)(g))
3. On Sheet 8, the 'Littleleaf Linden' has a proposed caliper of 1.5-2 inch. The minimum caliper for this tree is 3.5 inches. (130-28.H.1)
4. Details of the proposed retaining wall must be added to the plans. The detail must include a note that states, "Structural plans and calculations, signed and sealed by a professional engineer licensed in the Commonwealth of Pennsylvania, must be submitted to the Township for review and approval before any retaining wall is constructed."
5. A timber split rail fence detail is shown on Sheet 10. The applicant should confirm this is the new "screen fence" shown along the northern end of the parking area.
6. The truck turning movement must be revised to maneuver into the loading dock, not onto the trash compactor.
7. Details of the cooling tower and concrete pad must be added to the plans.
8. Detectable warning surfaces (DWS) must be added to the sidewalk near the new building and proposed parking lot and at the northern build access location.

9. A detail for the railing along the pedestrian ramp must be added to the plans.
10. The following is a list of requested waivers as shown on Sheet 1:
 - a. From Section 130-28.E(1) requiring an existing tree survey.

The applicant is proposing to use the existing tree survey only for impacted project area.
 - b. From Section 130-28G.(4) requiring street trees be installed with any new subdivision use or land development.

The plans do not propose any supplemental street trees.
 - c. From Section 130-28.G.6.g requiring no more than 15 parking spaces shall be placed in a continuous row without an intervening raised planting island of at least 10 ft. in width. (130-28.G.6.b)

The plans propose a parking row of 17 spaces without a planting island.
 - d. From Section 130-33.C requiring all existing features 500 ft. from the project boundary be shown on the plans. The waiver request states that an aerial photograph to fulfill requirements of showing existing features within 500 ft. of the project tract.

The aerial plan must be included in future submissions. (130-33.C)

III. GRADING, STORMWATER MANAGEMENT/STORM DRAINAGE AND EROSION AND SEDIMENT CONTROLS

The following comments are based upon the requirements of Worcester Township's Stormwater Management Ordinance (SMO):

1. The project proposes to disturb 0.64 acres. The applicant is made aware that if the limit of disturbance exceeds one acre, an NPDES permit and Adequacy for Erosion and Sediment Control will be required. This office is aware of a separate staging area located on the Meadowood site that may be required to be added to the healthcare expansion development. The applicant's engineer must provide confirmation from the Montgomery County Conservation District that the two projects do not need to be combined.
2. There appears to be a stormwater facility proposed in the new parking lot. The facility must be labeled and the dimensions of the stormwater facility should be provided on the plans. (129-12.H)(129-14.B.5)
3. A detail and calculations pertaining to the seepage bed must be added to the plans.
4. On both Sheet 6 and Sheet 9, there is a missing invert for structure D104.
5. Sheet 6 has a rim elevation for Manhole D105 of 255.73 and Sheet 9 has a grate elevation of 255.66. The plans must be revised accordingly.

6. All proposed erosion and sediment controls must be added to the plan on Sheet 12.
7. Additional top of wall and bottom of wall elevations must be added to the plans.
8. Storm sewer calculations must be provided to demonstrate that the existing storm sewer can convey the increase in runoff from the proposed impervious areas.
9. All utility crossings must be shown on the profiles.
10. It appears that the roof drain from existing Units 110/111 will discharge directly upstream of the relocated electrical transformer. The engineer should provide a revision to reroute the existing roof drain outflow around the transformer.
11. A site specific construction sequence is required to be included on Sheet 13.
12. A profile from the existing inlet to Inlet D104 must be added to the plans.
13. Additional spot elevations and grading must be added to the courtyard area.
14. Inlet D106 must be shown on the profiles on Sheet 9. (130-33.F.1)
15. Additional cover over pipe D101 – D100 is required. Further, this pipe shall be RCP.
16. Pipe D101 – D 100 is proposed underneath the proposed footing of the proposed building expansion.

IV. SANITARY SEWER

1. The size, slope, and material of the sewer lateral must be added to the plans, along with a profile.
2. The existing utilities to the existing maintenance office and storage shed must be shown to be removed or, at a minimum, capped.
3. The new sanitary sewer manhole must be indicated as a doghouse manhole on the plans. A doghouse manhole detail must be added to the plans.
4. The applicant will be required to buy additional sewer capacity in conjunction with the healthcare building expansion. The applicant must provide flow calculations to determine the required EDUs. We are currently evaluating the Valley Green WWTP and the Meadowood Pump Station to determine if capacity exists at these facilities. We will work with the applicant directly to address any sewer issues.

V. GENERAL

The following are general comments and consideration generated during the course of our review:


1. Legend(s) should be added to the plan sheets throughout the plan set, as applicable.

2. Truck turning movements for emergency services must be added to the plan.
3. The height of the Cooling Tower Building must be provided on the plans.
4. The proposed courtyard is labeled as landscaped on Sheet 5. Details of the landscaping should be provided on the landscaping plan, Sheet 8.
5. Approval from the Traffic Engineer is required.
6. Approval from the Fire Marshal is required.
7. A review from the Montgomery County Planning Commission is required.
8. It appears Sheets 16 and 17 are duplicated. Sheet 17 should be deleted or revised if intended to illustrate individual inlet drainage areas.

The above represents our comments on this initial plan submission. The plans must be revised accordingly and resubmitted for further review.

Please contact me if you have any questions or need additional assistance on these plans.

Very truly yours,
CKS ENGINEERS
Township Engineers


John W. Evarts, P.E.

JWE/klk

cc: Christian Jones, Assistant Township Manager
Wendy F. McKenna, Esq., Township Solicitor
Casey Moore, P.E., Township Traffic Engineer
The Meadowood Corp., Applicant
Catherine Harper, Esquire, Timoney Knox L.L.P.
Woodrow & Associates, Inc.
George DiPersio, CKS Engineers
File



Eastburn and Gray, PC

Attorneys at Law

Julie L. Von Spreckelsen, Esquire

470 Norristown Road, Suite 302

Blue Bell, PA 19422

Main: 215-345-7000

Direct: 215-461-1239

Fax: 215-542-9421

jvonspreckelsen@eastburngray.com

RECEIVED
▶ FEB 21 2025 ◀
RECEIVED

February 21, 2025

VIA HAND-DELIVERY AND EMAIL

Dan DeMeno (ddemeno@worcestertwp.com)

Township Manager

Worcester Township

1721 South Valley Forge Road

P.O. Box 767

Worcester, PA 19490

Re: Board of Supervisors Application of Primrose School Franchising Company LLC
Property: 1501 North Wales Road

Dear Dan:

On behalf of the Applicant, Primrose School Franchising Company LLC, enclosed please find the following documents and supporting materials constituting a Board of Supervisors Application for Zoning Ordinance Text Amendment:

- One (1) original and 9 copies of the completed and executed Worcester Township Board of Supervisors Application with attached Addendum providing the reason for the request and the reason the amendment should be approved;
- Ten (10) copies of the Draft Zoning Ordinance Text Amendment amending Article XVII "C Commercial District" and Article XXII "Off-Street Parking and Loading";
- Ten (10) copies of the deed dated March 26, 2007, between Homsher Hill, LLC ("Grantor") and Stony Creek Village LP ("Grantee") recorded with the Montgomery County Recorder of Deeds in deed book 5641, page 1621;
- Ten (10) copies of the redacted contract of sale and purchase between Stony Creek Village LP ("Seller") and Primrose School Franchising Company LLC ("Purchaser") dated December 11, 2024;
- Ten (10) copies of the written consent of Stony Creek Village LP for Primrose Schools to submit the Board of Supervisors Application requesting a Zoning Ordinance Text Amendment;

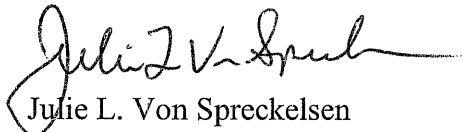
- Ten (10) copies of the plan entitled "Site Plan" prepared by ADA Architects dated September 20, 2024, Sheet No. CP-1.0;
- Ten (10) copies of a list of all abutting property owners of the tract boundary, including addresses, parcel numbers, and owners of record;
- One (1) digital copy of the application and all attached documents submitted to the Township Manager via email;
- One (1) check in the amount of \$1,500.00, made payable to Worcester Township for the Board of Supervisors Application fee; and
- One (1) check in the amount of \$2,000.00, made payable to Worcester Township for the Zoning Ordinance amendment fee.

Please:

- confirm the date this application will be scheduled for a hearing before the Board of Supervisors;
- provide me with copies of any correspondence, reviews, and comments sent or received by the Township with regard to this application; and
- provide me with advance notice of any meeting of a Township board, commission, agency, or committee which intends to discuss or consider this application.

Thank you.

Very truly yours,



Julie L. Von Spreckelsen

Enclosures

cc: Jason L. Lang, P.E. (w/o enclosures)

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road, Post Office Box 767 Worcester, PA 19490

RECEIVED
FEB 21 2025
RECEIVED

Board of Supervisors Application

1. Date of Application: 2/21/2025
 2. Classification of Appeal (Check one or more, if applicable)
 - a. Request for Amendment to Zoning Map _____
 - b. Request for Zoning Ordinance Amendment X
 - c. Request for Curative Amendment _____
 3. Applicant:
 - a. Name: Primrose School Franchising Company LLC
 - b. Mailing Address: 3200 Windy Hill Road, Suite 1200 E, Atlanta, GA 30339
 - c. Telephone Number: 215-264-5038
 - d. Email Address: Jlang@primroseschools.com
 - e. State whether owner of legal title: Equitable owner
 - f. If not legal owner, list names and addresses of all legal owners:
Stony Creek Village, LP, 1805 Berks Road, Worcester, PA 19490
- Please attach Deed to the Property to prove ownership, or a Lease with written permission of Owner providing consent for Tenant to apply for relief sought.**
4. Applicant's attorney, if any:
 - a. Name: Julie L. Von Spreckelsen, Esquire- Eastburn and Gray, P.C.
 - b. Mailing Address: 470 Norristown Road, Suite 302, Blue Bell, PA 19422
 - c. Telephone Number: 215-461-1239
 - d. Email Address: jvonspreckelsen@eastburngray.com
 5. Property Details:
 - a. Present Zoning Classification: C-Commercial District and AGR- Agricultural District
 - b. Present Land Use: Vacant
 - c. Location (Street Address): 1501 North Wales Road
 - d. Parcel #: 67-00-02608-00-7
 - e. Lot Dimensions:
 - i. Area: 4.5 acres - 3.32 acres in Commercial District and 1.2 acres in Agricultural District
 - ii. Frontage: 366'
 - iii. Depth: 542'

f. Water and Sewer Service to the Property (Check one or more, if applicable)

- i. Public Water X
- ii. Public Sewer X
- iii. Private Water
- iv. Private Sewer

g. Size, construction, and use of existing improvements; use of land, if unimproved:
(Please submit as an attachment)

6. If Amendment to Zoning Map, list Proposed Zoning District: N/A

7. If Amendment to Zoning Ordinance, list section(s) proposed to be amended:

Section 150-112 "Use Regulations" of Commercial District

Section 150-153.B "Required Off-Street Parking Facilities"

- a. Provide draft amendment **(Please submit as an attachment)**
- b. Provide reason for request and reason amendment should be approved
(Please submit as an attachment)

8. If Curative Amendment, please provide all pertinent documentation
(Please submit as an attachment)

9. One original and nine (9) copies of this application and all attachments including a digital version of said application and attachments must be filed with the Township Manager. Additionally, please provide ten (10) plot plans of the real estate affected indicating the location and size of improvements now erected and proposed to be used, and a copy of the deed, agreement of sale, lease agreement, etc. Digital versions of these plans and documents must also be provided in conjunction with this application submission.

10. A fee and escrow deposit must also be included in this submission in the amount indicated within the official Township Fee Schedule in the format of a check made out to Worcester Township.

11. Has any previous appeal been filed concerning the subject matter of this appeal? (Check one)

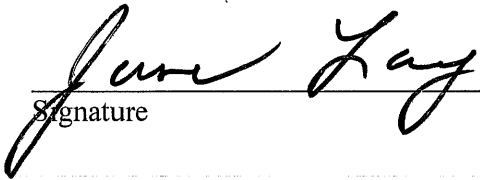
- a. Yes
- b. No X

If yes, elaborate: **(Please submit as an attachment)**

12. Provide the list of names and addresses of properties situated in the vicinity of the subject property.

CERTIFICATION

I (We) hereby certify that the above (and enclosed) information is true and correct to the best of my (our) knowledge, information or belief.


Signature

Jason Lang
Printed Name

Signature

Printed Name

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF Montgomery : SS

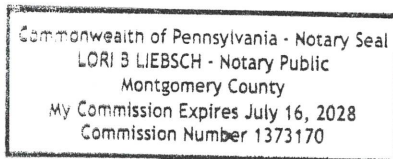
The undersigned, being duly sworn according to law, deposes and says the he/she is the above names applicant, that he/she is authorized to and does take this affidavit on behalf of the owner, and foregoing facts are true and correct.

Jane Ray
Applicant

Applicant

Sworn to and subscribed before me this 21st day of February, 2025

Lori B Liebsch
Notary Public



Date Received: _____

Zoning Officer

Addendum to Worcester Township Board of Supervisors Application of Primrose Schools
Request for Zoning Ordinance Amendment

7.b. Provide reason for request and reason amendment should be approved.

The Worcester Township Zoning Ordinance only permits a child day-care center use to be located in the SC Shopping Center district. The SC district comprises one small area of the Township, and only one or two properties, which are already fully developed. Further, the SC district permits many of the same uses that are permitted in the C Commercial district. A child day-care center is a less impactful use than many of the permitted uses in both the SC and C districts and it is much less impactful than the prior approved development of the Property, which included a multi-building, multi-use development consisting of restaurant, retail and office uses. There are no child day-care centers located in Worcester Township.

Additionally, while the child day-care center use is a permitted use in the SC district, the Zoning Ordinance Off-Street Parking and Loading Regulations do not include a parking requirement for the child day-care center use. If the Board of Supervisors adopts the proposed Zoning Ordinance Amendment it will cure a deficiency in the Zoning Ordinance and will provide an opportunity for a child day-care center use to be developed within Worcester Township.

WORCESTER TOWNSHIP

MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. 2025 - _____

AN ORDINANCE AMENDING THE WORCESTER TOWNSHIP ZONING ORDINANCE ARTICLE XVII "C COMMERCIAL DISTRICT", §150-112 "USE REGULATIONS" TO ADD CHILD DAY-CARE CENTER AS A PERMITTED USE; AND BY AMENDING ARTICLE XXII "OFF-STREET PARKING AND LOADING", §150-153.B "REQUIRED OFF-STREET PARKING FACILITIES" TO ADD A PARKING REQUIREMENT FOR THE CHILD DAY-CARE CENTER USE; REPEALING INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; PROVIDING FOR A SAVINGS CLAUSE AND FURTHER PROVIDING FOR AN EFFECTIVE DATE.

Whereas, the Board of Supervisors of the Township of Worcester has the authority pursuant to section 1506 of The Second Class Township Code, 53 P.S. § 66506, section 601 of the Pennsylvania Municipalities Planning Code ("MPC"), 53 P.S. § 10601, and section 150-235 of the Worcester Township Zoning Ordinance, as amended ("Zoning Ordinance") to enact and amend land use ordinances as Worcester Township shall deem beneficial to Worcester Township and for the maintenance of the health and welfare of Worcester Township and its citizens; and

Whereas, the Board of Supervisors of the Township of Worcester has determined that certain amendments to the Zoning Ordinance, as amended, are required for the orderly administration of the laws of Worcester Township; and

Whereas, the Board of Supervisors has determined that the Zoning Ordinance of the Township of Worcester should be amended by adding the child day-care center use as a permitted use in the C Commercial zoning district within Worcester Township and by adding a parking requirement for the child day-care center use for the maintenance of peace, good government, health and welfare of Worcester Township and its residents; and

Whereas, the Board of Supervisors of Worcester Township, after the public hearing held pursuant to public notice, and after receipt of recommendations from the Worcester Township Planning Commission and the Montgomery County Planning Commission, deems it appropriate and proper that the Zoning Ordinance be amended to permit a child day-care center use in the C Commercial District and to provide a parking requirement for the child day-care center use.

NOW, THEREFORE, the Worcester Township Board of Supervisors does hereby enact and ordain as follows:

Section 1: Zoning Ordinance, Article XVII "C Commercial District", Section 150-112 "Use regulations", is amended by adding a subsection K. to read as follows:

K. Child day-care center.

Section 2: Zoning Ordinance, Article XXII "Off-Street Parking and Loading", Section 150-153.B "Required off-street parking facilities", shall be amended by adding a subsection (13) to read as follows:

- (13) Child day-care center: one space for every employee, plus one space per 15 students.

Section 3: All other sections, parts, and provisions of Article XVII "C Commercial District" and Article XXII "Off-Street Parking and Loading" shall remain in full force and effect as previously enacted.

Section 4: Savings Clause. The provisions of this Ordinance are severable. If any section, clause, sentence, part or provision thereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decisions of the court shall not impair the validity of any of the remaining sections, clauses, sentences, part or provisions of the Ordinance. It is hereby declared the intent of the Board of Supervisors of Worcester Township that this Ordinance would have been enacted if such illegal, invalid or unconstitutional section, clause, sentence, part or provision had not been included herein.

Section 5: Repealer. Any specific provisions of the Worcester Township Zoning Ordinance, Subdivision and Land Development Ordinance or any other Township ordinance or resolution that is in direct conflict within this Ordinance are hereby repealed to the extent of such conflict.

Section 6: Effective Date. This Ordinance shall become effective five (5) calendar days after the date of enactment.

ORDAINED AND ENACTED by Board of Supervisors of Worcester Township this ____ day of _____, 2025.

(Township Seal)

**BOARD OF SUPERVISORS OF WORCESTER
TOWNSHIP**

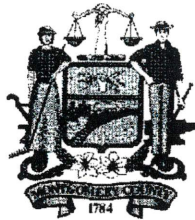
By: _____
Rick DeLello, Chair

Attest:

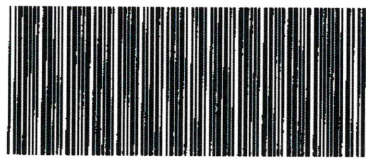
_____, Secretary

RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869



DEED BK 5641 PG 01621 to 01625.1
INSTRUMENT #: 2007040674
RECORDED DATE: 04/03/2007 02:03:05 PM



0095181-0006N

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 6

Document Type: Deed
Document Date: 03/26/2007
Reference Info: STONY

Transaction #: 67473 - 1 Doc(s)
Document Page Count: 4
Operator Id: tbutler

RETURN TO: (Mail)
HAMBURG, RUBIN, MULLIN, MAXWELL LUPIN
375 MORRIS RD
LANSDALE, PA 19446

SUBMITTED BY:
HAMBURG, RUBIN, MULLIN, MAXWELL LUPIN
375 MORRIS RD
LANSDALE, PA 19446

*** PROPERTY DATA:**

Parcel ID #: 67-00-02608-00-7
Address: 1501 NORTH WALES RD

Municipality: PA
Worcester Township
School District: Methacton

*** ASSOCIATED DOCUMENT(S):**

| | |
|-----------------------------------|---------------------|
| CONSIDERATION/SECURED AMT: | \$1.00 |
| TAXABLE AMOUNT: | \$263,520.40 |
| FEES / TAXES: | |
| Recording Fee: Deed | \$46.50 |
| Affidavit Fee | \$1.50 |
| State RTT | \$2,635.20 |
| Worcester Township RTT | \$1,317.60 |
| Methacton School District RTT | \$1,317.60 |
| Total: | \$5,318.40 |

DEED BK 5641 PG 01621 to 01625.1
Recorded Date: 04/03/2007 02:03:05 PM

I hereby CERTIFY that
this document is
recorded in the
Recorder of Deeds
Office in Montgomery
County, Pennsylvania.



Nancy J. Becker
Recorder of Deeds

PLEASE DO NOT DETACH
THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.



116031907.2 (11,928-011)

Prepared by, record and return to:

HAMBURG, RUBIN, MULLIN, MAXWELL & LUPIN

375 Morris Road

Lansdale, PA 19446

Attn: Diane L. Barnes, Paralegal

(215) 661-0400

MONTGOMERY COUNTY COMMISSIONERS REGISTRY

67-00-02608-00-7 WORCESTER

1501 NORTH WALES RD

HOMSHER HILL LLC

B 021 U 017 L 2108 DATE: 04/03/2007

\$5.00

JG

County Tax Parcel #: 67-00-02608-00-7

Fee Simple Corporate

STATE TAX
AFFIDAVIT
FILED**DEED**THIS INDENTURE, made this 26TH day of MARCH, 2007,100
2nd
4

BETWEEN HOMSHER HILL, LLC, a Pennsylvania limited liability company (hereinafter called the Grantor), and **STONY CREEK VILLAGE LP**, a Delaware limited partnership (hereinafter called the Grantee).

WITNESSETH That the said Grantor, for and in consideration of the sum of One Dollar (\$1.00) lawful money of the United States of America unto itself well and truly paid by said Grantee, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, enfeoffed, released and confirmed, and by these presents does grant, bargain, sell, alien, enfeoff, release and confirm unto the said Grantee, its Successors and Assigns.

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, **SITUATE** in the Township of Worcester, County of Montgomery and Commonwealth of Pennsylvania, bounded and described according to a certain plan of property made by B.P. Oil Corporation, made by Robert F. Mueller, Professional Engineer, dated June 7, 1971, as follows, to wit:

BEGINNING at a point formed by the intersection of the center line of North Wales Road (33 feet wide) with the center line of Township Line Road (33 feet wide); thence extending from said point of beginning along the center line of Township Line Road, North 47 degrees 20 minutes West 535.62 feet to a point; thence extending North 42 degrees 20 minutes East crossing the Northeasterly side of Township Line Road 362.00 feet to a point; thence extending South 47 degrees 51 minutes East crossing the Northwesterly side of North Wales Road aforesaid 541.92 feet to a point on the center line of same; thence extending South 43 degrees 19 minutes West along the center line of said road 366.88 feet to the first mentioned point and place of beginning.

Also known as Parcel Number: 67-00-02608-00-7.



BEING the same premises which Valerie Kieser Seeds, Curtis William Kieser, Jr., Lee Kieser Williamson and Daniel P. Quinn, Trustees of the C. William Kieser Trust, by Deed dated February 24, 2004, and recorded in the Office for the Recording of Deeds in and for Montgomery County at Norristown, Pennsylvania, in Deed Book 5499 Page 1589 &c., granted and conveyed unto Homsher Hill, LLC, a Pennsylvania limited liability company, in fee.

UNDER AND SUBJECT to all conditions, easements, rights of way, agreements, covenants, liens, reservations, exceptions, restrictions and other encumbrances of record, to the extent still valid, subsisting and enforceable.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances whatsoever unto the hereby granted premises belonging or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest property, claim and demand whatsoever of it the said Grantor, as well at law as in equity, or otherwise, of, in, and to the same and every part thereof.

TO HAVE AND TO HOLD the said lot or piece of ground, described, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its Successors and Assigns, to and for the only proper use and behoof of the said Grantee, its Successors and Assigns forever.

UNDER and SUBJECT as aforesaid.

AND the said Grantor, for itself, its Successors and Assigns by these presents does covenant, grant, promise and agree, to and with the said Grantee, its Successors and Assigns, that it, the said Grantor, its Successors, all and singular the hereditaments and premises herein described and granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its Successors and Assigns, against it the said Grantor, (and) its Successors, and against all and every other Person and Persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, it, them or any of them Shall and Will **WARRANT** and forever **DEFEND**.

IN WITNESS WHEREOF, the said Grantor has hereunto caused its common or corporate seal to be affixed duly attested. Dated the day and year first above written.

HOMSHER HILL, LLC

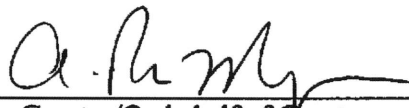
By:  Seal
A. Ross Myers, Member



CERTIFICATE OF RESIDENCE

I HEREBY CERTIFY THAT THE ADDRESS OF THE GRANTEE IS:

1805 Berks Road
P.O. Box 98
Worcester, PA 19490



Grantee/On behalf of Grantee



COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF

Montg.

: SS.

ON THIS, the 20th day of March, 2007, before me, the undersigned officer, personally appeared A. Ross Myers, who acknowledged himself to be the Member of Homsher Hill, LLC, a Pennsylvania limited liability company, and that he as such officer being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the company by himself Member.

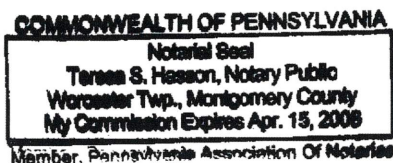
IN WITNESS WHEREOF, I have hereunto set my hand and official seal.


NOTARY PUBLIC

MY COMMISSION EXPIRES:

4/15/08

{seal}



CONTRACT OF SALE AND PURCHASE

THIS CONTRACT OF SALE AND PURCHASE ("Contract") is made by and between STONY CREEK VILLAGE LP, a Delaware limited partnership ("Seller"), and PRIMROSE SCHOOL FRANCHISING COMPANY LLC, a Georgia limited liability company ("Purchaser"). The "Effective Date" of this Contract shall be the date on which the last party executes the Contract.

In consideration of the agreements herein contained and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Seller and Purchaser hereby agree as follows:

ARTICLE I SALE OF THE PROPERTY

- 1.1 The Property. Seller agrees to sell and convey unto Purchaser, and Purchaser agrees to purchase and accept from Seller, for the price and subject to the terms, covenants, conditions and provisions herein set forth, that certain four and one half (4.5) acre tract of land located at 1501 North Wales Road, Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania, having Tax Parcel ID Number 67-00-02608-00-7, and being more particularly described on Exhibit "A" attached hereto and incorporated herein for all purposes (the "Land"), together with all right, title and interest of Seller in and to all (i) improvements upon the Land, (ii) licenses, permits, approvals and entitlements with respect to the Land, and (iii) appurtenances belonging or in anywise pertaining to the Land including, but not limited to, all of Seller's right, title and interest in and to appurtenant easements, adjacent streets, alleys, rights-of-way, and any adjacent strips or gores of real estate (collectively, the "Property"). If Exhibit "A" consists of a site depiction rather than a metes and bounds legal description, the legal description for the Property shall be in accordance with the Survey obtained pursuant to the provisions of Article 4.2 herein.

ARTICLE II CONSIDERATION

- 2.1 Purchase Price. The purchase price ("Purchase Price") for the Property is _____ which shall be payable by Purchaser to Seller at the consummation of the transactions contemplated hereby (the "Closing") all in cash, by wire transfer of Federal funds, by cashier's check, or by closing attorney's escrow account check, at Purchaser's election, provided that such amount shall be adjusted for closing prorations described hereinbelow.
- 2.2 Earnest Money.
- 2.2.1 Within _____ of the Effective Date, Purchaser shall deposit with Calloway Title and Escrow LLC, whose address is 2100 Riveredge Parkway, Suite 1025, Atlanta, Georgia 30328 (the "Title Company"), the sum of _____

16

IN WITNESS WHEREOF, this Contract has been duly executed in multiple counterparts (each of which is to be deemed an original for all purposes) by the parties hereto on the date appearing below each party's signature.

SELLER:

STONY CREEK VILLAGE LP, a Delaware limited partnership

By: Stony Creek Village GP, LLC

By: A. Ross Myers
Name: A. Ross Myers
Title: Class "A" Member
Date: 12/11/24

PURCHASER:

PRIMROSE SCHOOL FRANCHISING COMPANY LLC

a Georgia limited liability company

By: Nick Koros
Name: Nick Koros
Title: CDO
Date: 12/10/2024

February 20, 2025

Re: Board of Supervisors Application of Primrose School Franchising Company LLC
Property: 1501 North Wales Road

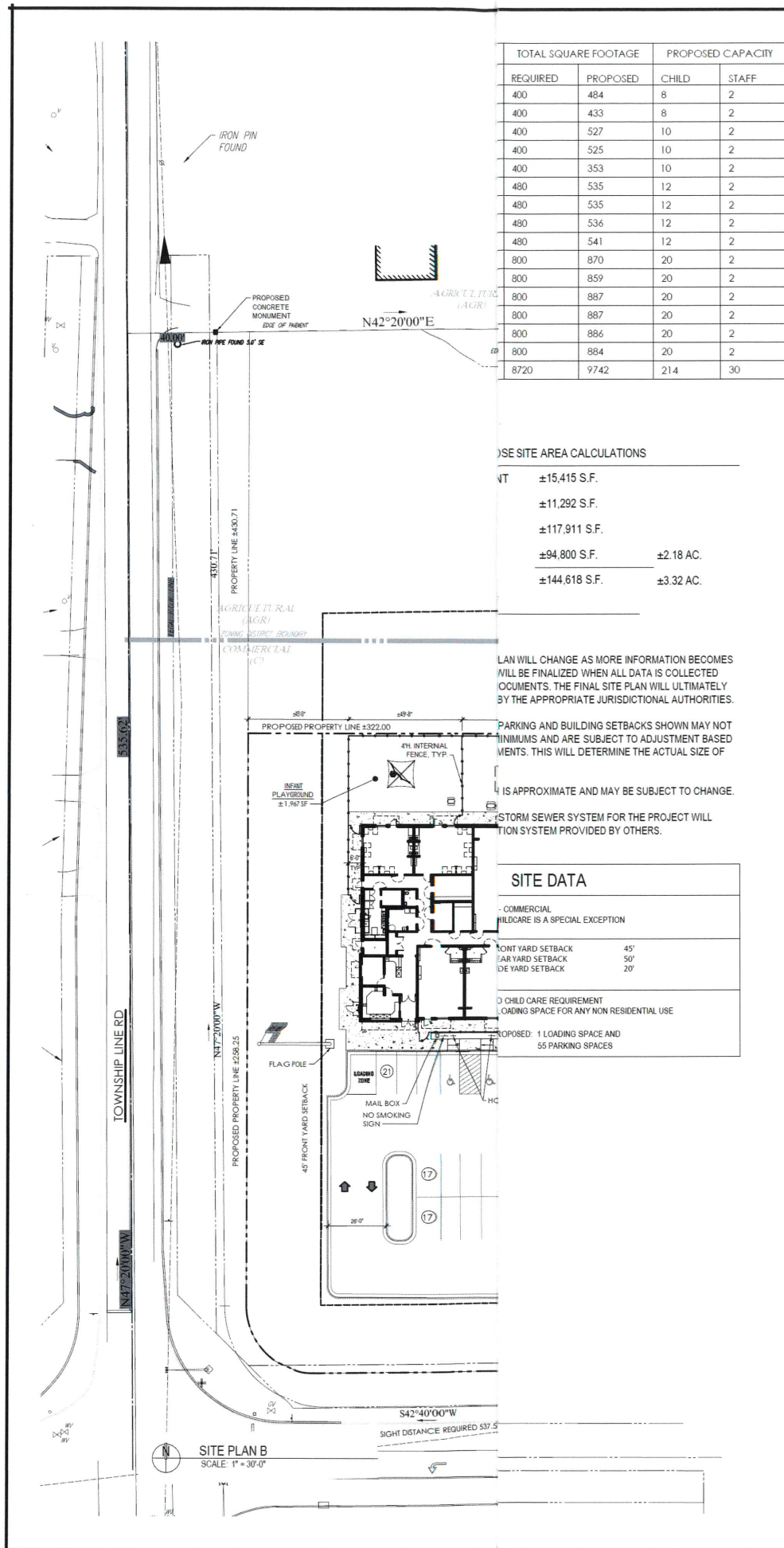
To Whom It May Concern:

Stony Creek Village LP ("Stony Creek") is the legal owner of the property located at 1501 North Wales Road, Worcester Township, Montgomery County tax parcel no. 67-00-02608-00-7 ("Property"). Stony Creek has entered into a contract for sale and purchase of the Property with Primrose School Franchising Company LLC ("Primrose Schools"). Stony Creek authorizes Primrose Schools, as equitable owner of the Property, to submit to Worcester Township the Board of Supervisors Application requesting a Zoning Ordinance Text Amendment to the C Commercial District and to the Zoning Ordinance parking regulations.

Very truly yours,

A handwritten signature in black ink, appearing to be a stylized 'S' followed by a long horizontal line.

Stony Creek Village LP



| TOTAL SQUARE FOOTAGE | | PROPOSED CAPACITY | |
|----------------------|----------|-------------------|-------|
| REQUIRED | PROPOSED | CHILD | STAFF |
| 400 | 484 | 8 | 2 |
| 400 | 433 | 8 | 2 |
| 400 | 527 | 10 | 2 |
| 400 | 525 | 10 | 2 |
| 400 | 353 | 10 | 2 |
| 480 | 535 | 12 | 2 |
| 480 | 535 | 12 | 2 |
| 480 | 536 | 12 | 2 |
| 480 | 541 | 12 | 2 |
| 800 | 870 | 20 | 2 |
| 800 | 859 | 20 | 2 |
| 800 | 887 | 20 | 2 |
| 800 | 887 | 20 | 2 |
| 800 | 886 | 20 | 2 |
| 800 | 884 | 20 | 2 |
| 8720 | 9742 | 214 | 30 |

USE SITE AREA CALCULATIONS

| | | |
|----|---------------|-----------|
| NT | ±15,415 S.F. | |
| | ±11,292 S.F. | |
| | ±117,911 S.F. | |
| | ±94,800 S.F. | ±2.18 AC. |
| | ±144,618 S.F. | ±3.32 AC. |

PLAN WILL CHANGE AS MORE INFORMATION BECOMES AVAILABLE. THE FINAL SITE PLAN WILL ULTIMATELY BE DETERMINED BY THE APPROPRIATE JURISDICTIONAL AUTHORITIES.

PARKING AND BUILDING SETBACKS SHOWN MAY NOT BE MINIMUMS AND ARE SUBJECT TO ADJUSTMENT BASED ON PERMITS. THIS WILL DETERMINE THE ACTUAL SIZE OF THE LOT.

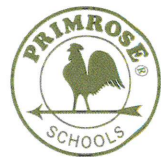
IS APPROXIMATE AND MAY BE SUBJECT TO CHANGE.

STORM SEWER SYSTEM FOR THE PROJECT WILL BE PROVIDED BY OTHERS.

SITE DATA

| | |
|---|-----|
| COMMERCIAL CHILD CARE IS A SPECIAL EXCEPTION | |
| FRONT YARD SETBACK | 45' |
| REAR YARD SETBACK | 50' |
| SIDE YARD SETBACK | 20' |
| CHILD CARE REQUIREMENT: LOADING SPACE FOR ANY NON RESIDENTIAL USE | |
| PROPOSED: 1 LOADING SPACE AND 55 PARKING SPACES | |

PRELIMINARY
NOT FOR CONSTRUCTION



ADA ARCHITECTS

Lakewood, Ohio 44107
17710 Detroit Avenue
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.com

PRIMROSE SCHOOLS:
WORCESTER, PA

TOWNSHIP LINE RD & N WALES RD
WORCESTER, PA

THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO ADA ARCHITECTS, INC. UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.

REVISIONS

| # | DATE | TYPE |
|---|------------|-------------|
| 1 | 12/10/2024 | SITE PLAN B |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |

SITE PLAN

DATE 09/20/2024

JOB NO. 24405

CP-1.0

SHEET NO.

LIST OF ABUTTING PROPERTY OWNERS TO BLOCK 21, UNIT 17

1. Block 21, Unit 22; APN 67-00-03643-00-7

James A. Buggy, Jr. et al
2519 Township Line Road
Norristown, PA 19403

2. Block 21, Unit 25; APN 67-00-02611-00-4

Kim C. McClintock
1515 North Wales Road
Norristown, PA 19403



MEMORANDUM

MEMORANDUM

To: Worcester Township Planning Commission

From: Dan DeMeno, Township Manager

Date: March 12, 2025

Subject: Review and Recommendation Vote on Proposed Accessory Structures Ordinance

Overview

The Township is considering an amendment to the Zoning Ordinance that revises the regulations governing accessory structures. The proposed Accessory Structures Ordinance is designed to clarify definitions, establish clear setback and height requirements, and modernize the Township's regulations to better reflect the needs of residents and property owners.

As part of this process, I am requesting that the **Planning Commission review the proposed ordinance and provide a recommendation vote for adoption.**

Key Changes in the Proposed Ordinance

1. **Clearer Definitions:** The new ordinance defines key terms such as **Accessory Structure, Barn, Greenhouse, and Silo**, ensuring that all references in the zoning code are consistent and easy to interpret.
2. **Updated Setback Rules:** Instead of a single setback rule for all structures, the new ordinance establishes setback distances based on the size of the structure:
 - **Small structures (up to 250 sq. ft.):** 10 feet from property lines
 - **Medium structures (251–1,200 sq. ft.):** 15 feet
 - **Large structures (1,201–2,999 sq. ft.):** 20 feet
 - **Very large structures (3,000+ sq. ft.):** 30 feet
3. **Height Limits Adjusted for Structure Size:**
 - Small structures: **12 feet max**
 - Medium structures: **15 feet max**
 - Large structures: **25 feet max**
 - Very large structures: **Same as the principal building height allowed in the zoning district**
4. **Standardized Rules for Common Accessory Uses:**
 - **Garages:** Detached garages no longer have a special height allowance (previously allowed up to 20 feet, now limited based on structure size).
 - **Pools:** Same setback requirements as before (25 feet minimum; 50 feet in agricultural districts).
 - **Private Sports Courts:** Same setback and lighting restrictions as before.
 - **Barns and Stables:** Still permitted on properties of 3 acres or more with the same animal density allowances.

Why This Update is Necessary

The current zoning ordinance contains outdated and inconsistent language regarding accessory

structures. This has led to confusion for property owners, unnecessary zoning variances, and enforcement challenges. The new ordinance aims to:

- **Provide Clarity:** Definitions and rules are clearly written and organized in one section.
- **Ensure Fairness:** Standardized setbacks and height limits based on structure size create a level playing field for all properties.
- **Improve Zoning Administration:** Eliminating contradictions in the code makes it easier for staff and property owners to understand and apply the rules correctly.

The Planning Commission's review and vote are essential to move this ordinance forward to the Board of Supervisors for final approval.

Request for Action

I respectfully request that the **Planning Commission vote on a recommendation for the adoption of the proposed Accessory Structures Ordinance.** Your feedback will help ensure that this ordinance serves the best interests of the Township while maintaining consistency with our zoning regulations.

If you have any questions or require further clarification, please feel free to reach out prior to the meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan DeMeno", written in a cursive style.

Dan DeMeno
Township Manager

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE 2025-_____

**AN ORDINANCE AMENDING SECTIONS OF THE TOWNSHIP CODE
REGARDING ACCESSORY STRUCTURES AND ASSOCIATED DEFINITIONS**

WHEREAS, from time to time, corrections and other revisions are required to be made to the Township Code of Worcester Township;

WHEREAS, the Commonwealth of Pennsylvania mandates that municipalities have published in a newspaper of general circulation all proposed ordinances that make such corrections and revisions, at a great expense to municipalities;

WHEREAS, Worcester Township consolidates such corrections and revisions into one proposed ordinance, in lieu of individual ordinances, so as to minimize the expense incurred by the taxpayers in meeting this unfunded advertisement mandate; and

WHEREAS, the Board of Supervisors of Worcester Township has determined that it is in the best interests of the Township to amend the Township Code as set forth herein below.

NOW, THEREFORE, the Board of Supervisors of Worcester Township, Montgomery County, Pennsylvania, hereby ordains and enacts as follows:

SECTION I

1. Chapter 150, Zoning, Section §150-9 shall be modified as follows:
 - a. Definition of Accessory Building shall be modified to read: See Accessory Structure
 - b. Definition of Accessory Structure shall be added and read: A structure that is accessory to and incidental to that of the principal structure(s) and that is located on the same lot.
 - c. Definition of Barn shall be added and read: a large farm building used for storing grain, hay or straw, or for housing livestock.
 - d. Definition of Greenhouse shall be added and read: A building in which plants are grown that need protection from cold weather.
 - e. Definition of Silo shall be added and read: A tall cylinder used for bulk storage of agricultural products.
 - a.f. Definition of Agricultural Products shall be added and read: Any commodity or product that comes from agriculture, whether raw or processed, and is intended for human or animal consumption.

SECTION II

1. Chapter 150, Zoning, Section §150-177 shall be deleted in its entirety, and replaced

Commented [DD1]: Adding multiple definitions. Primarily, removing accessory building and replacing with accessory structure as a catch all for all structures that are not the primary ones. Added definitions for the rest are there as they are mentioned multiple times in other areas of the zoning ordinance with no definitions at all.

[to read:](#)

A. Accessory uses and structures to a single-family detached residential use shall be regulated as follows:

- (1) ~~In the AGR, R-175, and R-AG-175 Districts, structures accessory to single-family residential uses, except those regulated in Subsection A(2) through (9) below, shall be located in the rear yard or side yard only, and no closer than 15 feet to a property line. In all other districts, and at all properties created pursuant to Option 1 or Option 2, as set forth in Article XVIA, Conservation Subdivisions, structures accessory to single-family residential uses, except those regulated in Subsection A(2) through (9) below, accessory structures shall be located in the rear yard or side yard only; said accessory structures may be erected in the rear yard not closer than 10 feet to the rear property line subject to the following requirements:~~

- i. ~~Accessory structures 250 square feet or less in gross floor area have a minimum rear and side setback requirement of 10 feet and a maximum height of 12 feet~~
- ii. ~~Accessory structures between 250 square feet and 1200 square feet in gross floor area have a minimum rear and side setback requirement of 15 feet and a maximum height of 15 feet.~~
- iii. ~~Accessory structures 1200 square feet or greater and less than 3000 square feet in gross floor area have a minimum rear and side setback requirement of 20 feet and a maximum height of 25 feet.~~
- iv. ~~Accessory structures - 3000 square feet or greater in gross floor area have a minimum rear and side setback requirement of 30 feet and a maximum height of no greater than the maximum allowed principal building height in that location.~~
- i-v. ~~This section shall take primacy over all other references to accessory structure dimensions.~~

- (2) ~~Unless otherwise permitted below, accessory structures in any zoning district shall not be higher than 15 feet. [Amended 5-16-2018 by Ord. No. 277; 5-19-2021 by Ord. No. 284]~~

- (3) ~~Private garages (whether attached or detached) may not encroach on any yard setback and must be located entirely within the building envelope of the lot on which they are located. Attached garages shall not exceed the height restriction for principal buildings in the applicable zoning district, and detached garages shall not exceed 20 feet in height such unoccupied and~~

- (4)(2) Private swimming pools shall be constructed in accordance with the applicable Township ordinances and shall be located entirely within the rear yard of the lot on which the pool is located and at least 10 feet behind the closest part of the main building. However, in no case shall the distance from the pool to the side or rear property line be less than 25 feet. In the AGR, R-175, and R-AG-175 districts, excluding properties created pursuant to Option 1 or Option 2, as set forth in Article XVIA, Conservation Subdivisions, the distance from the pool to the side and rear property lines shall be not less than 50 feet. The water

Commented [DD2]: This is a wholesale replacement of this section. It removes "private garages" as a specific thing with specific requirements and merges them into "accessory structures". The new setbacks and sizes are based off of lot size and the size of the proposed accessory structure. This will allow larger lots larger accessory buildings with appropriate setbacks and greater heights allowed with those larger setbacks.

Commented [DD3R2]: Response to feedback: Have eliminated size delineation to simplify. Now is self limiting.

Commented [DD4]: Added as a catchall - I have reviewed the ordinance to try and ensure that there are no contradictions left - but if I miss one, this will ensure Zoning Officers will know where to look

Commented [DD5]: Removed this section as it will be at odds with newly revised Section A(1) as far as structure height. Heights are now addressed in that section.

edge shall be the line for measurement of these setbacks. All filters, heaters and accessory structures incidental thereto shall meet the same setback criteria. Freestanding spas and hot tubs shall be exempt from the requirement to be located at least 10 feet behind the closest part of the main building.
[Amended 5-19-2021 by Ord. No. 284]

- ~~(5)~~(3) Private tennis courts and private sports courts and all facilities incidental thereto shall be located on a lot 60,000 square feet or larger and in the rear yard only. Except as set forth below for lighted courts, a private tennis court shall not be less than 50 feet from the side and rear property lines, and a private sports court shall not be less than 75 feet from the side and rear property lines. A vegetative screening landscape buffer in accordance with the Worcester Township Landscape Ordinance requirements for rear and side yards as set forth in § 130-28 of the Worcester Township Subdivision and Land Development Ordinance shall be provided for all private tennis courts and private sports courts and all facilities incidental thereto. To the extent required by the Township Engineer, all tennis courts and sports courts shall have stormwater management facilities. All required stormwater management facilities shall be approved by the Township Engineer.

The lighting of a private tennis court or private sports court shall conform to § 150-200. Any lighted private tennis court or sports court shall not be less than 100 feet from the side and rear property lines. No tennis court or sports court shall be illuminated after 9:00 p.m. Sunday through Thursday, or after 10:00 p.m. on Friday and Saturday.

- ~~(6)~~(4) Private stables for the keeping of horses and livestock and barns shall be permitted on properties having a gross lot area of three acres or more. A gross lot area of three acres shall allow a maximum of two large animals (e.g., horses, cattle, llamas). Two small animals (e.g., goats, sheep, mini horses, ponies, yearling horses or cattle, donkeys) shall be the equivalent of one large animal. Each additional acre of gross lot area shall allow the keeping of one additional large animal or the equivalent. All grazing areas shall be suitably fenced to contain the animals at all times. All buildings and structures (including rings, but not including fencing) used for the housing, stabling, training, and recreational enjoyment of such animals shall be located within the building envelope and shall be no higher than 35 feet.

Commented [DD6]: Added barns to this. Barns with no electric, water, etc., are agricultural buildings, but with those features, they are accessory structures like any other. Adding this here I believe will fit the intent of this section while giving the zoning officer more clarity.

- ~~(7)~~(5) Decorative structures such as garden trellises, arbors, statues, benches, and the like, but specifically not including storage units, sheds, greenhouses, or other work areas, may be located no closer than 15 feet to any property line, but not within the ultimate right-of-way of any road.

- ~~(8)~~(6) Private mailboxes shall be located as required by the United States Postal Service. Private newspaper boxes may be located adjacent to private mailboxes and no closer to the cartway than a private mailbox.

- ~~(9)~~(7) Private driveways shall be regulated by § 150-155, and private parking spaces shall be regulated by § 150-153.

- ~~(10)~~(8) Structures associated with public or private utilities (such as water, stormwater, sanitary waste, power, fuel, telephone, and cable) to serve permitted agricultural and single-family residential uses shall be exempt from the setbacks in this section.

- B. Accessory uses authorized by this chapter shall not be interpreted to include nonpermanent structures for the sale of goods, which are prohibited by Chapter

119,¹ except as otherwise set forth therein.

- C. Private or public school uses. Accessory structures such as backstops, dugouts/team structures, retaining walls, scoreboards, bleachers (permanent or movable), benches, goals (permanent or movable), or similar accessory structures associated with outdoor sports and athletic facilities may be located or erected within 50 feet of a front lot line or 40 feet of any other property line subject to the following: **[Added 1-15-2014 by Ord. No. 248]**

- (1) Backstops shall be permitted on any baseball or softball field but shall be limited to a maximum height of 40 feet;
- (2) Scoreboards shall be permitted and shall not be considered signs so long as the scoreboard complies with the following:
 - (a) Scoreboards shall not contain any advertisement for any company, product, or service;
 - (b) Scoreboards shall be limited to a maximum size of 36 feet by 10 feet;
 - (c) Scoreboards shall be limited to one per field;
 - (d) Scoreboards shall be limited to a maximum height, when mounted, of 20 feet from average surrounding grade within a stadium and 15 feet when mounted at all other fields on a single property; and
 - (e) Scoreboards, if illuminated, shall:
 - [1] Be internally illuminated LED displaying only the score and necessary game information and shall be illuminated only during the time of play and for a maximum period of 30 minutes following the end of play; and
 - [2] Neither cast any illumination off of the subject property nor create a nuisance or intrusion to the privacy of adjacent residential property owners or the public;
- (3) Dugouts or team shelters shall be limited to two per field, one for the home team and one for the visiting team;
- (4) Dugouts or team shelters shall be a maximum size of 12 feet by 50 feet;
- (5) No structure shall be located or erected so as to interfere with the sight triangle of any intersection; and

- (6) Fences and walls shall be regulated by § 150-182L.

SECTION III

1. Chapter 150, Zoning, Section §150-15, Subsection A shall be deleted in its entirety.
2. Chapter 150, Zoning, Section §150-23, Subsection B shall be deleted in its entirety.
3. Chapter 150, Zoning, Section §150-25.4, Subsection B shall be deleted in its entirety.
4. Chapter 150, Zoning, Section §150-31, Subsection A shall be deleted in its entirety.
5. Chapter 150, Zoning, Section §150-39, Subsection A shall be deleted in its entirety.

Commented [DD7]: Change to meet new section number in pending fence section amendment.

Formatted: Not Expanded by / Condensed by

6. [Chapter 150, Zoning, Section §150-55, Subsection A shall be deleted in its entirety.](#)
 7. [Chapter 150, Zoning, Section §150-71, Subsection B shall be deleted in its entirety.](#)
 8. [Chapter 150, Zoning, Section §150-79, Subsection B shall be deleted in its entirety.](#)
 9. [Chapter 150, Zoning, Section §150-87, Subsection A\(3\) shall be deleted in its entirety.](#)
 - ~~(6)~~10. [Chapter 150, Zoning, Section §150-95, Subsection B shall be deleted in its entirety.](#)
-

Commented [DD8]: These sections are all to be removed as they are a per district height restriction that conflicts with the new changes

Formatted: Font: (Default) Arial

Formatted: Right: 0.08", Numbered + Level: 1 +
Numbering Style: 1, 2, 3, ... + Start at: 1 + Alignment:
Left + Aligned at: 0.25" + Indent at: 0.5"

DRAFT