

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

Some good information about

Stormwater Management Regulations

In August 2018 Worcester Township adopted new stormwater management regulations that affect every property in our community. The Township, like many other municipalities across the Commonwealth, was required to adopt these regulations by the US Environmental Protection Agency and the Pennsylvania Department of Environmental Protection. And while Worcester Township is committed to improving our environment, we understand that regulations created by the Federal and State government are sometimes difficult to implement at the municipal level, where, traditionally, community-specific regulations are often better-suited to address local and unique conditions.

Please know that Township staff will do our very best to help all Property Owners meet these important regulations. We appreciate and thank you for your understanding!

WHAT IS THE IMPACT OF THE NEW REGULATIONS?

- Worcester Township requires a grading permit for any work that exceeds 500 square feet or adds 500 square feet of new coverage to the property. In conjunction with grading permits, Township Ordinance 2018-278 also requires a stormwater management site plan for any new coverages that exceed 1,200 square feet.
- A simplified stormwater management plan is required any time there is new coverages added to a property that exceed 1,200 square feet. The amount of new coverages is cumulative from the date the ordinance is enacted, which is January 1, 2019. Being that the coverages is cumulative, if you construct a patio that is 600 square feet, a shed that is 200 square feet, and then decide to construct an addition that is 500 square feet, you will cross the threshold of 1,200 square feet and be required to conduct a simplified stormwater management site plan. This type of plan is required when the work meets certain exemptions and is below 7,500 square feet of new coverage.

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- New coverages that exceed 1,200 square feet but are below 7,500 square feet are exempt from having to conduct a full stormwater management plan. Other exemptions are use of land for gardening for home consumption, agricultural activities, forest management operations, public road replacement, management of stormwater (garden, swale, etc.) repair and reconstruction of on lot sewage systems.
- A full stormwater management site plan is required in conjunction with a stormwater management permit when the proposed work does not qualify for exemption (the proposed coverages exceed 7,500 square feet)

WHAT IS REQUIRED FOR A SIMPLIFIED STORMWATER MANAGEMENT SITE PLAN?

- A description of the proposed stormwater facilities, including the following items; materials being used, total square footage of proposed impervious areas, and volume calculations.
- A sketch plan that shows the following information:
 - Location of proposed structures, driveways, or other paved areas with approximate surface area in square feet.
 - Location of existing or proposed septic system and/or water wells showing proximity to infiltration facilities.
 - Montgomery County Conservation District erosion and sediment control “Adequacy” letter as required by Municipal, County or State regulations.

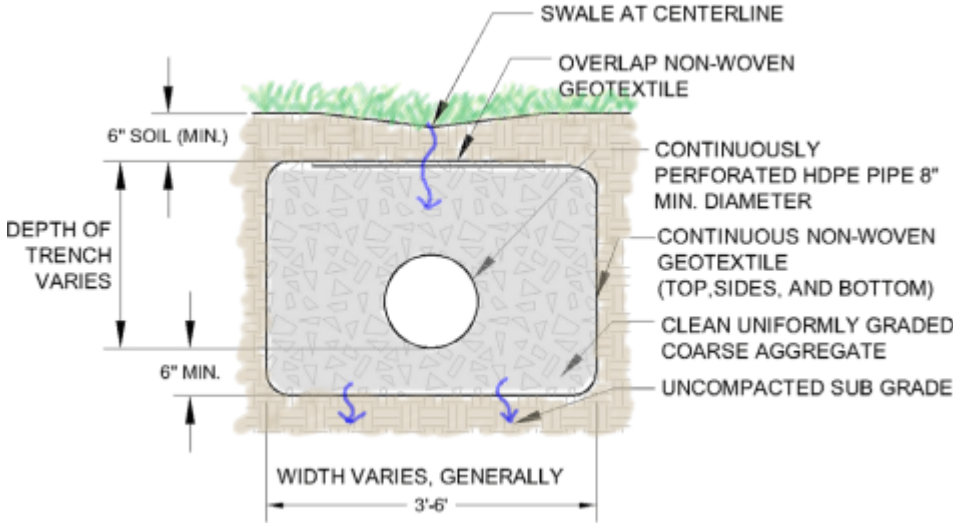
WHAT COUNTS AS NEW “COVERAGE”?

- New coverage is anything that takes away the soils ability to naturally absorb water.
- Impervious coverage is anything from sidewalks to patios, that takes away from the natural drainage of the property.
- Building coverage is anything with a roof over it. A deck does not add to the building/impervious coverage unless there is a patio (brick pavers) below it or a roof above it.

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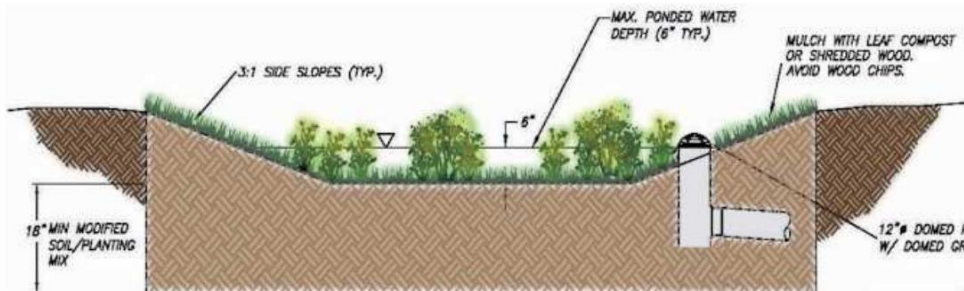
WHAT ARE SOME STORMWATER MANAGEMENT PRACTICES?

- Infiltration trench



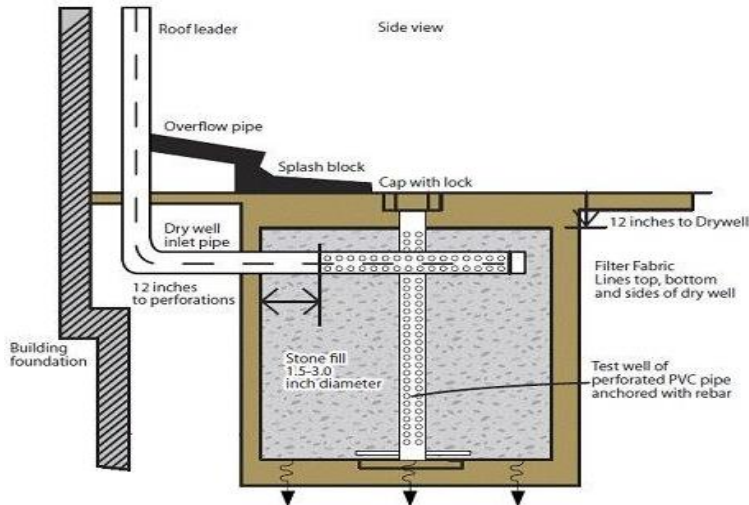
- Perforated pipe laid in a stone filled trench.
- Runoff should first go through vegetation buffers or swales to limit amount of sediment entering the trench.
- Recommended the trenches be no more than 6' in depth.
- Slope of trench should be between level and 1%.

- Rain Garden



- Should drain within 72 hours.
- Should be at least 10'-20' away from any structure.
- Gravity overflow must be provided
- Ponded water should not exceed 6".

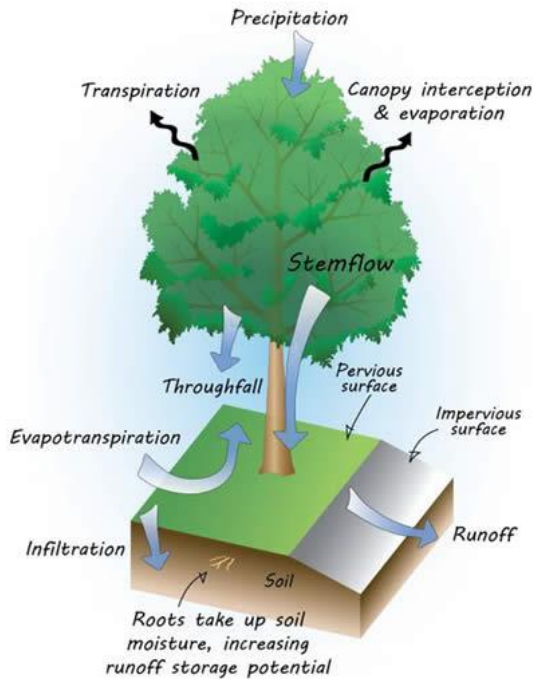
- Dry Well (seepage pit)



- Temporarily stores stormwater runoff and then discharge water into surrounding soils.
- Stormwater dry wells should never be combined with any septic system seepage pit.
- Recommended to be at least 10'-20' away from structures to prevent flooding and seepage.
- Not recommended to be deeper than 3.5'.

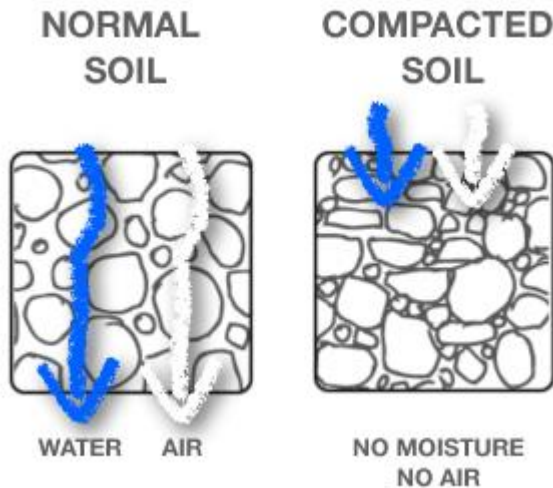
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- Tree Plantings and Preservation



- Trees reduce stormwater runoff by capturing water and later releasing it through evapotranspiration.
- New tree plantings must be at least 6' in height and have a 2" trunk caliper.
- Runoff can be reduced by preserving existing trees and plant new trees.
- All existing and newly planted trees must be native to Pennsylvania.

- Minimizing Soil Compaction and Replanting Lawns and Meadows



- When soil is compacted it causes a reduction in the permeability of the soil.
- Vehicle movement should be restricted from these preserved for minimum compaction areas.
- Meadows should be planted with native grasses.
- Creates an area for water infiltration and offers a natural habitat for wildlife.

*Questions? Call the Township Building at (610) 584-1410.
 We're open Monday to Friday, 7:00 AM to 4:30 PM. You may also reference ordinance 2018-278 for complete information on these regulations.*