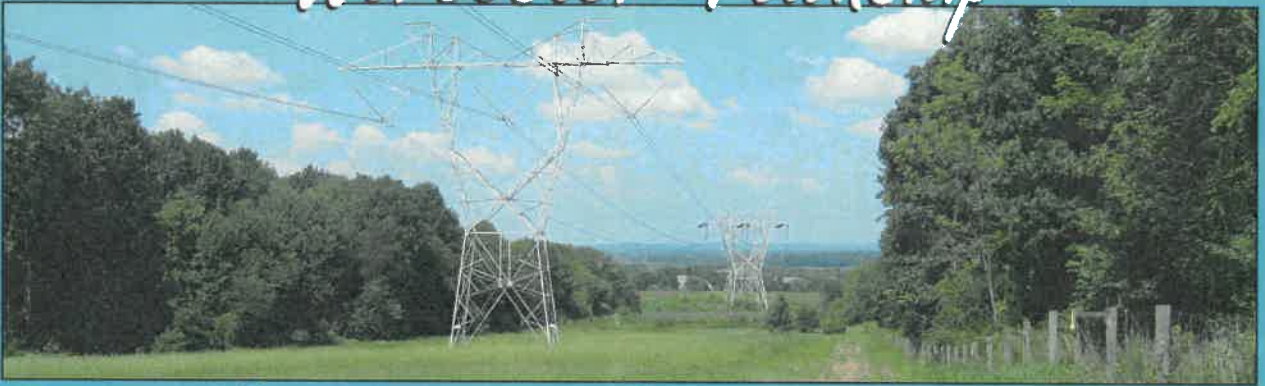
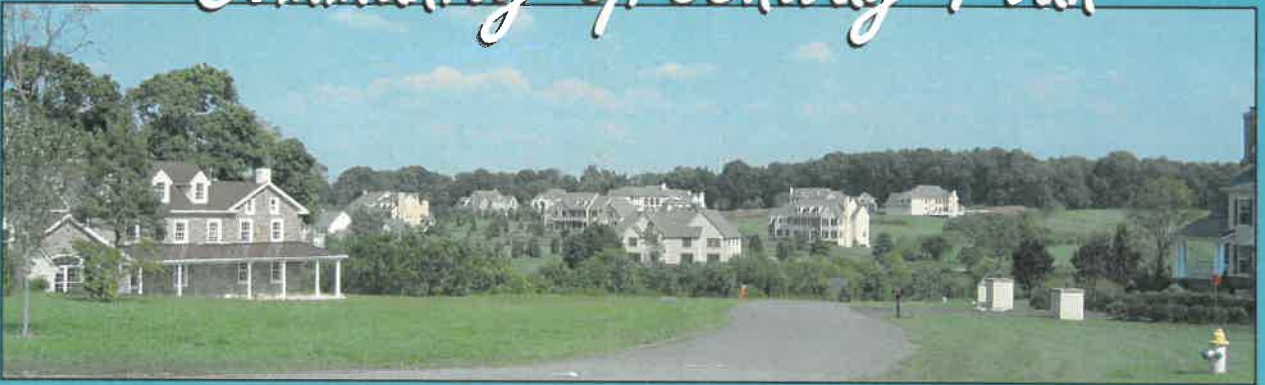




Worcester Township



Community Greenway Plan



Prepared for:
Township of Worcester, Montgomery County
The Pennsylvania Department of Conservation and Natural Resources

Prepared by:



Worcester Township Community Greenway Plan

May 2004

Prepared for:

**The Township of Worcester
Montgomery County
Pennsylvania**

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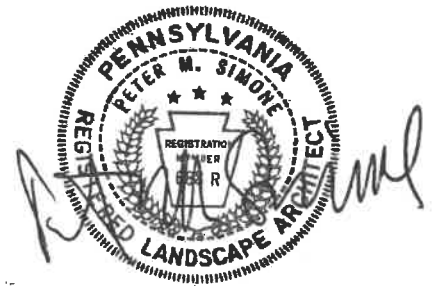


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Introduction

Study Purpose

The purpose of the Worcester Township Community Greenway Plan is to identify and plan for pedestrian, bicycle, equestrian and other non-motorized linkages throughout the township. The greenway plan specifically studies the potential greenway linkage along Zacharias Creek between Peter Wentz Farmstead, a national historic site, and Evansburg State Park. Additionally, the greenway plan provides opportunities to enhance and protect local environmental resources in Worcester Township while improving the general livability of the community.

In October, 2001 Worcester Township submitted a grant request to the Pennsylvania Department of Conservation and Natural Resources (DCNR) to complete a master plan for the Worcester Township Community Greenway. A DCNR grant in the amount of \$17,500 was awarded. This amount was matched by the township. A request for proposal for consultant services was issued to execute the greenway plan and after reviewing the proposals received, the township selected a consultant to complete the work.

Project Goals

- Provide pedestrian, bicycle, equestrian, and other non-motorized linkages between residential, recreational, open space, school and employment destinations with the township;
- Reduce the deficit of such facilities in Worcester Township – while planning for future linkage beyond the township;
- Plan for how the greenway will be maintained and made secure;
- Develop a funding strategy that will allow the greenway to be funded and built;
- Provide transportation alternatives for residents in the community;
- Mitigate the impacts of suburban sprawl;
- Provide a recreational asset for the community;
- Improve the quality of the local environment through opportunities for better storm water management, re-establishment of riparian buffers, protection and enhancement of water quality and the provision of wildlife habitat corridors;
- Improve the general “livability” of the Worcester Township community.

Township Background

Worcester Township is located in the geographic center of Montgomery County, Pennsylvania. The township is classified as a second-class township and is governed by a Board of Supervisors that consists of three members elected by voters of the township.

Established in 1733, Worcester Township encompasses 16 square miles of land. The character of the township remains relatively rural in the midst of suburban development pressures that have affected surrounding townships and the greater Philadelphia region.

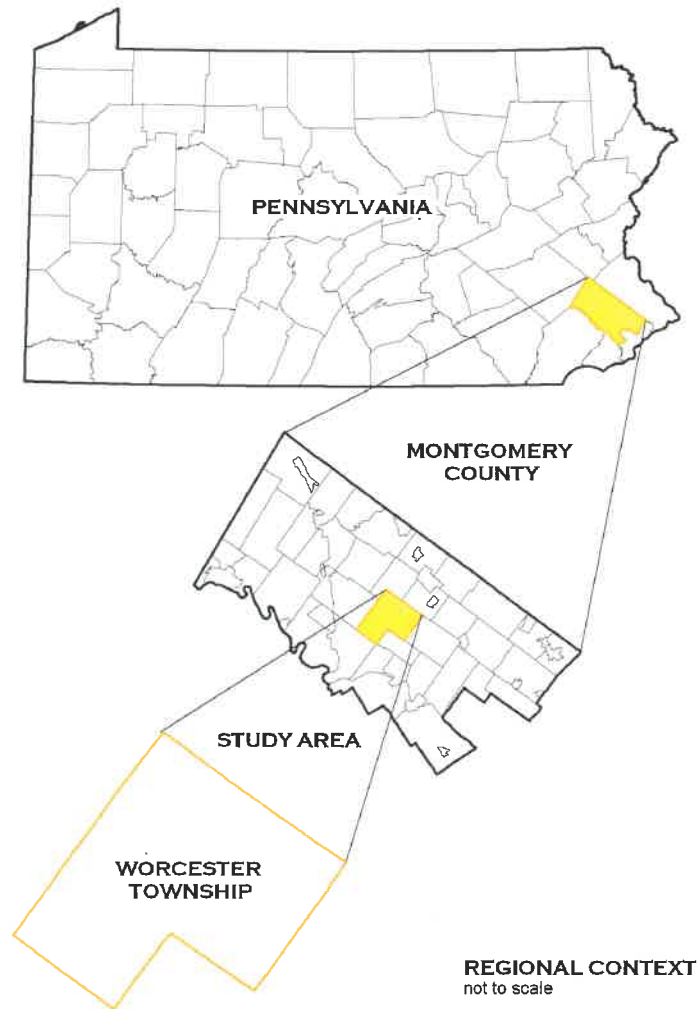
Chapter One

The 1994 Worcester Township Open Space Plan outlines the township's goals of protecting farmland, historic sites and landscapes, and environmentally sensitive areas. Additionally, the Open Space Plan identifies the goal of providing a trail system along Zacharias Creek. Similarly, the 1995 Worcester Township Comprehensive Plan presents plans for future growth and development of the township and includes provisions for the establishment of trail systems to link recreation areas located within the township. In the fall of 2000 the Montgomery County Planning Commission released Creating an Open Space System, Worcester Township. The goals identified in this document include establishing a greenway along the Zacharias Creek as well as a multi-purpose trail along the Zacharias Creek to connect Evansburg State Park and Peter Wentz Farmstead. Collectively, these documents set a precedent for the development of the Community Greenway Plan to provide pedestrian, bicycle, equestrian and other non-motorized linkages throughout the township.

The Regional Context image to the right shows the relationship between the Worcester Township, Montgomery County, and the State of Pennsylvania. Montgomery County has actively planned for open space systems and the development of regional trails and greenways. Many of the planned county trails and greenways propose alignments that would allow connection to and from Worcester Township thus allowing the local community to access a larger regional trail and greenway network.

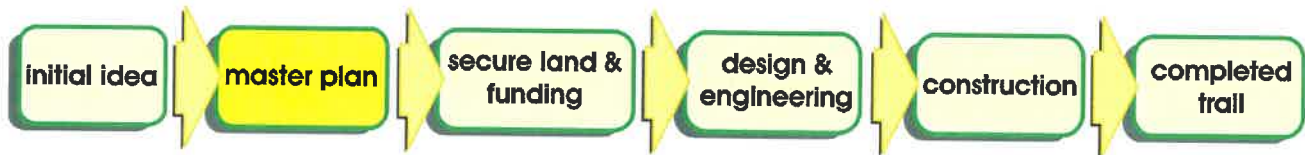
The Local Context exhibit found at the end of this chapter shows the relationship between Worcester Township facilities and facilities found within the adjacent municipalities. Where possible, connections should be made to these adjacent facilities occurring beyond the Worcester Township boundary.

The Aerial Photo exhibit found at the end of this chapter shows the year 2000 aerial photography performed by DVRPC for Worcester Township. As you can see by this photography, as well as in the Land use exhibit found in Chapter Two, much of the Township's land is currently in agricultural or single family residential use with few significant tracts of wooded land.



Public Participation

Public participation is a key ingredient in the success of any community project. Public meetings are designed to not only inform the public of the project status, but also to receive input as to the desired facilities and address any questions, comments, or concerns relative to the greenway development within the community.



The graphic above was presented at the public meetings to show the attendees where the master plan fits within the overall greenway and trail development process. The project is still in its early stages and is envisioned to be implemented full over the course of approximately ten years. This Master Plan document will serve as a guidebook for the Township to develop the overall greenway system.

Four public meetings were scheduled during the Worcester Township Community Greenway planning process. Public Meeting #1 was held on July 10, 2003 and focused on trail programming. Meeting #2 was held on September 18, 2003 and presented the initial alignment options and findings from the initial site reconnaissance. Meeting #3 took place on October 22, 2003 and included a presentation of the recommendations included in the DRAFT Plan. The fourth and final public meeting was held on January 28, 2004 to present the final plan. All public meetings were held at the Worcester Township Community Hall located on Valley Forge Road. Attendance records and notes from each of these meetings, as well as those from the study committee meetings are included in the appendix of this report. Study committee meetings took place in June, July, August, October, and November.

Greenway Survey

A Township-wide survey was distributed to the residents via the Township's Newsletter and posted on their website. The survey included a description of the project and a map of the proposed greenway alignments.

A total of 73 surveys were returned to the Township. Of these 73, 34 (47%) provided positive comments about the proposed trail system, 27 (37%) were fairly neutral having either no comment or questioning how the trails would be maintained, and 12 (16%) were against creating trails citing increased tax dollars, infringement on private property, and security/maintenance concerns.

The survey and more detailed results can be found in the report appendix.

Chapter One



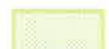







Key Organizations and Individuals

A number of key organizations and individuals were identified by the Study Committee to provide their input on key issues, opportunities, and/or threats related to this Community Greenway Plan. These organizations and/or individuals include members of the Township Open Space Committee, Township and County Planning Commissions, Community Interest Groups, representatives of local neighborhoods where trails are proposed, and representatives of the local equestrian community. These people were contacted by phone and/or provided letters stating their opinions of the proposed plan and its effects on Worcester Township.

In summary, the information obtained from this process showed a variety of opinions. Most concurred that there is a need to protect open space, provide non-motorized transportation opportunities and recreation linkages to existing features, and to preserve the rural character of the Township.

The input received from this process helped to reinforce the prioritization of the plan's recommendations. For a more detailed summary of the information provided by these organizations and individuals, please refer to the report appendix.

Legend:

-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries
-  Evansburg State Park
-  Montgomery County Parks
-  Worcester Township Owned Parcels
-  Adjacent Twp. Parks
-  Schools
-  Interstate / State Routes
-  Roads
-  Streams

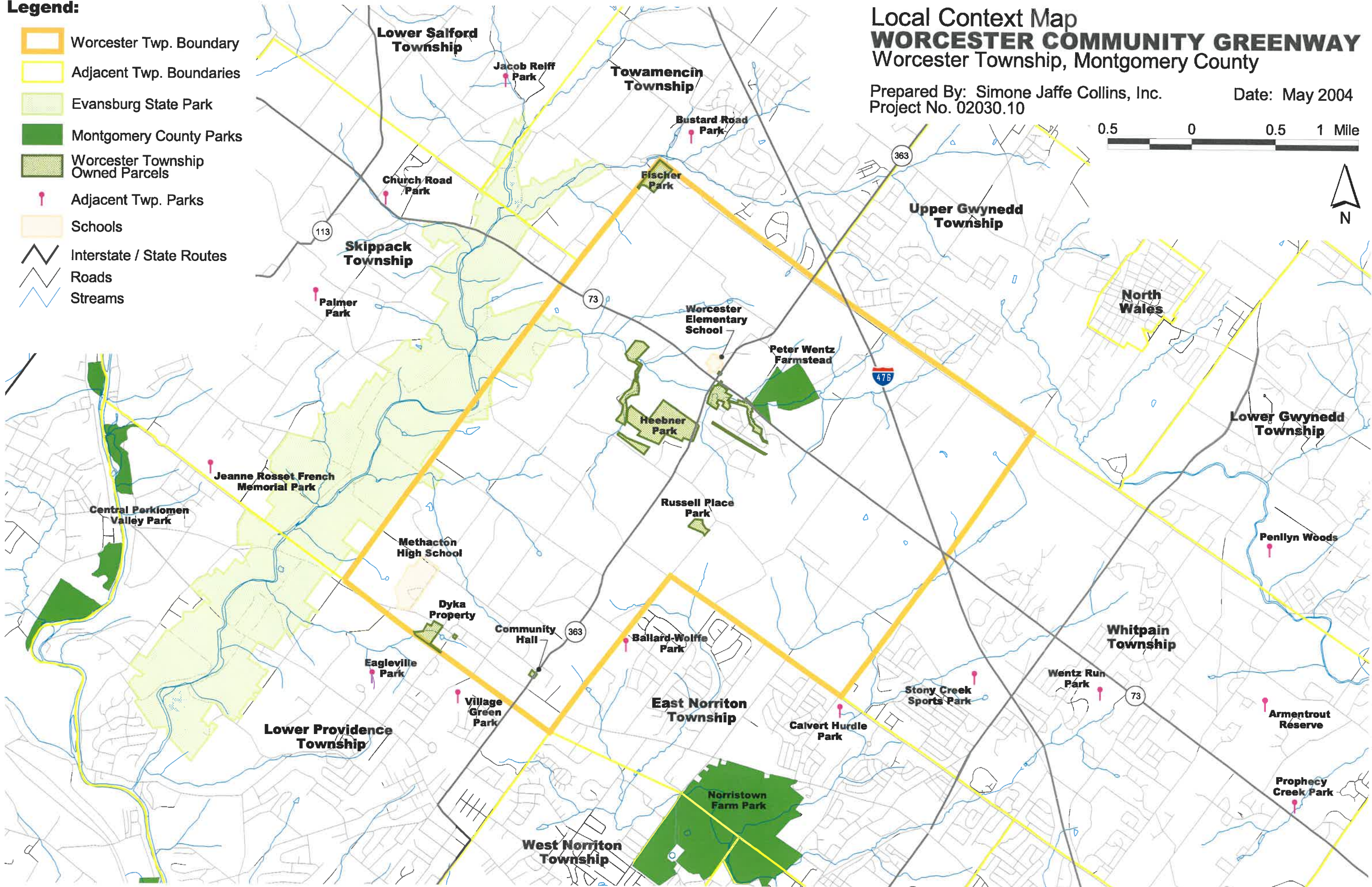
Local Context Map

WORCESTER COMMUNITY GREENWAY



Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10

Date: May 2004



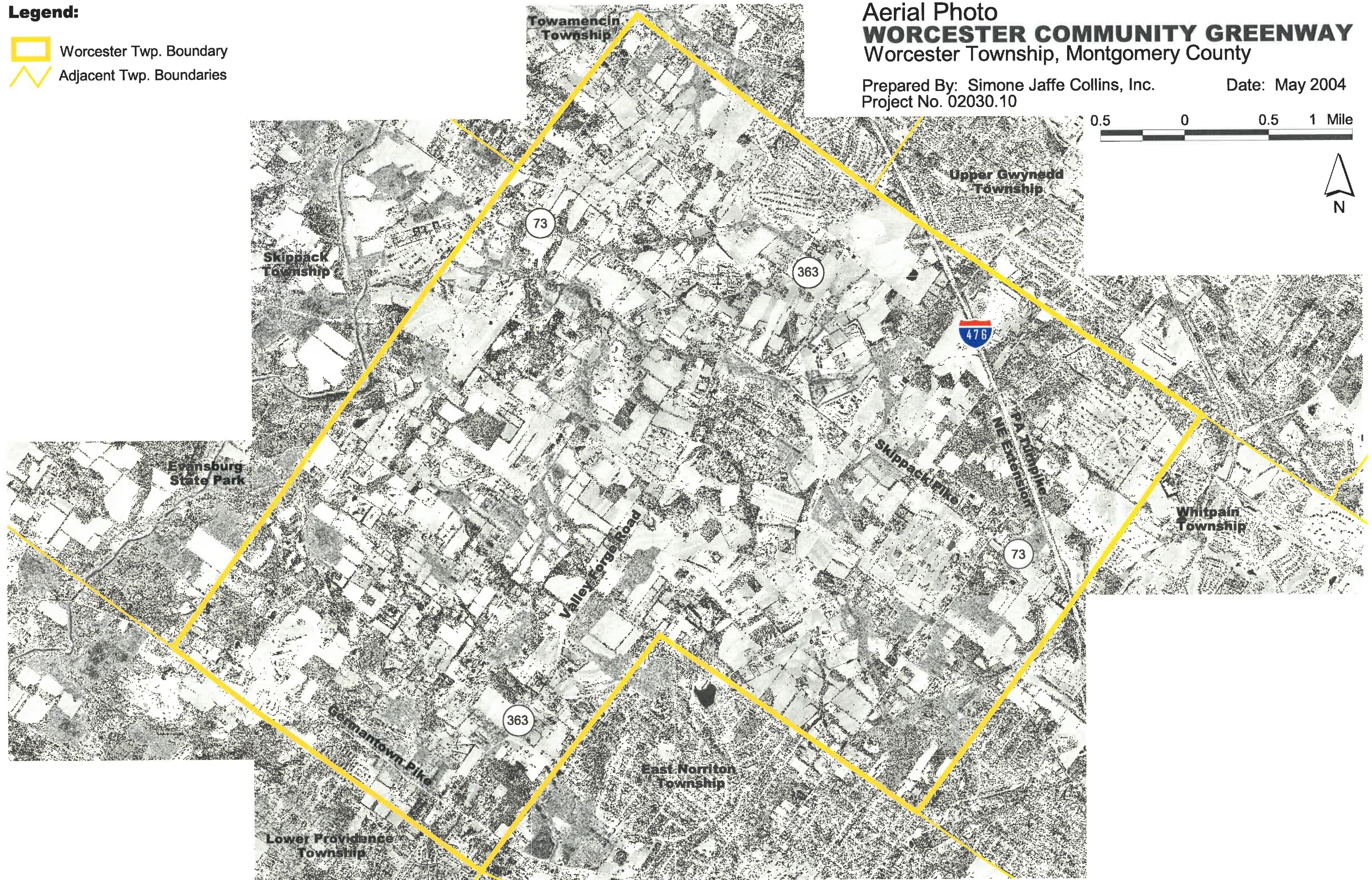
Legend:

-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries

Aerial Photo
WORCESTER COMMUNITY GREENWAY
Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10

Date: May 2004



Physical Inventory and Analysis

Methodology

The consultant performed initial site reconnaissance trips in the spring of 2003 to inventory, analyze, and document the potential greenway connections within Worcester Township. Preliminary alignments were further studied, photographed and mapped relative to the geographic information systems (GIS) data gathered through Internet resources and data compiled by the consultant. Throughout the course of the project, the consultants performed secondary site visits to field check and verify existing conditions relative to the proposed greenway and trail alignments. In addition to the site visits, a series of public meetings as well as study committee meetings were held throughout the planning process. These meetings provided additional information and community feedback that contributed to the development of the Worcester Township Community Greenway Plan.

Data Collection (GIS)

Geographic Information Systems (GIS) site information was acquired from the Pennsylvania Spatial Data Access website and year 2000 aerial photography was acquired from the Delaware Valley Regional Planning Commission. GIS data compiled includes environmental features such as waterways, floodplain information, soils, and geologic information. Other GIS information acquired includes: municipal boundaries, existing roadways, county and municipal parks, school district boundaries, and school locations. Additionally, the existing parcel boundary drawing file provided by the township was converted to a GIS format and used as an overlay on aerial photographs. Much of the aforementioned data can be found within the report exhibits.

Existing Planning Documents

Existing and on-going planning documents that contributed to this report include:

- Evansburg State Park Master Plan;
- Montgomery County Open Space Plan;
- Montgomery County Bike Mobility Plan;
- Montgomery County Trail Plan;
- Worcester Township Comprehensive Plan;
- Worcester Township Open Space Plan;
- Worcester Township Zoning Ordinance and Subdivision and Land Development Ordinance
- Creating an Open Space System, Worcester Township. As prepared by the Montgomery County Planning Commission (Copy in Appendix)

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Existing Natural and Social Features

Tax Parcels: The Worcester Township Engineer provided an AutoCAD drawing file that contains the township parcels as shown on the Worcester Township Zoning Map. The drawing file also contains parcel identification numbers that allowed the consultant to research specific parcel ownership through the Montgomery County, PA Court and Land Internet Access website. The tax map parcels boundary lines were imported into GIS for use in identifying potentially affected properties with proposed trail alignments.

Streams and Water Quality: The Zacharias Creek watershed is located centrally within the township and is the largest drainage area within Worcester Township. The headwaters of Zacharias Creek begin in Upper Gwynedd Township and the creek flows west through Worcester Township before entering Skippack Creek within the boundaries of Evansburg State Park. Zacharias Creek is not listed as a protected waterway under the Pennsylvania Chapter 93 Water Quality Standards and has been removed from the PA Fish and Boat Commission list of approved waters for trout stocking. The creek and tributaries are nonetheless very important local environmental assets and important corridors for wildlife.



Zacharias Creek.

The second largest drainage area within Worcester Township is the Stony Creek watershed. The eastern areas of the township drain to the Stony Creek watershed and the main branch of the creek flows through the extreme southeast corner of Worcester Township. Stony Creek is designated as trout stocking fishery and is protected from degradation to maintain the fish species and additional flora and fauna which are indigenous to a warm water habitat. The Stony Creek Anglers stock the stream with trout and operate a PA Fish and Boat Commission co-operative trout nursery in the Norristown Farm Park. Additionally, the Stony Creek Anglers monitor the water quality and the group is dedicated to the preservation of Stony Creek and its tributaries.



Zacharias Creek.

The third largest drainage area is the Skippack Creek watershed. An unnamed tributary stream drains a large portion of the southwestern area of the township as it flows to Skippack Creek in Evansburg State Park. Skippack Creek is also designated as a trout stocking fishery and is protected from degradation to maintain the fish species and

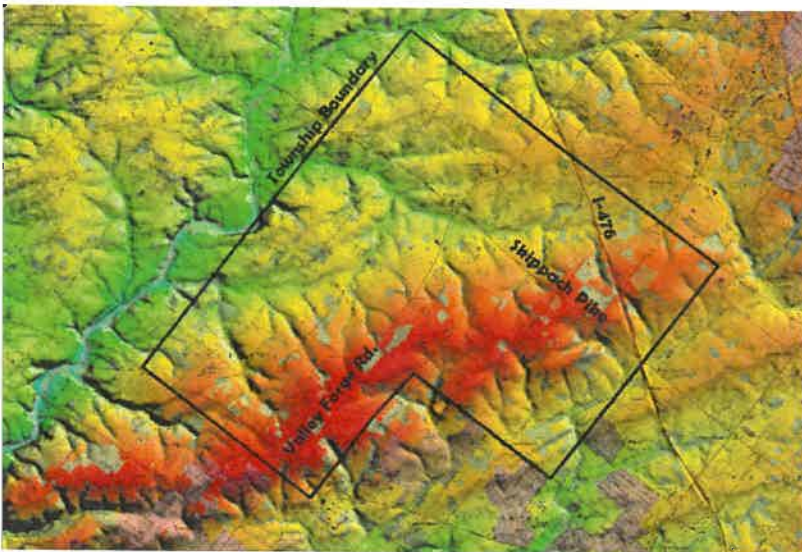
Physical Inventory and Analysis

additional flora and fauna which are indigenous to a warm water habitat. Very small portions of the northeastern and northwestern corners of the township drain respectively to the Wissahickon Creek watershed and the Towamencin Creek watershed.

Vegetation: Worcester Township contains a wide diversity of vegetation types that correspond to the woodlands, riparian corridors, upland fields and wetlands located throughout the township. The township contains scattered woodlands and hedgerows that provide habitat for many different plant and animal species. These features also are important in defining the overall character of the community. The Montgomery County Open Space Plan identifies Woodland areas greater than 25 acres in area as natural areas that shall be preserved to promote biodiversity, sustainable soil and water use, and groundwater recharge areas.

Environmentally Sensitive Areas: The Pennsylvania Natural Diversity Inventory (PNDI) uses a site-specific information system to identify significant natural resources with the Commonwealth and includes plant and animal species of special concerns, exemplary natural communities, and unique geologic features. A PNDI review of the study area was conducted to determine if any endangered, threatened, or rare species are located within the Worcester Township. Results of the review are pending. Additionally, the Montgomery County Open Space Plan also identifies the southeastern corner of Worcester Township as a natural inventory site that should be targeted for local protection. The natural inventory site is located north of North Wales Road along Stony Creek. This area is described as a locally significant example of upland and floodplain woods that provide significant biological diversity in a largely suburban area.

Slopes and Topography: Worcester Township is varied in topography containing areas of gently rolling slopes and areas of steep slope. The steep slope areas are generally protected from development by the Worcester Township Zoning Ordinance Steep Slope Conservation District provisions. The establishment of greenway trails may be limited in certain area of the township by slope constraints. The highest elevations in the study area (red) are located along a ridgeline that is located between Trooper Road and Valley Forge Road in the southernmost portion of the township. Elevations in this area are roughly 495 feet above sea level and the area provides views to the surrounding region. The lowest point in the study area (green) is approximately 135 feet above sea level and is located within Evansburg Park where the Skippack Creek enters and exits the township.



Digital Elevation Model (DEM) image of Worcester Township.

Land Use: Worcester Township contains a variety of land uses. The prominent land uses are agriculture

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and single-family residential development. Worcester Township contains limited amounts of commercial and industrial land uses. Additionally, many utility right-of-way corridors traverse the area and the Northeast Extension of the Pennsylvania Turnpike is a major transportation corridor that crosses the northeast corner of the township. 1995 Land Use data acquired from the Delaware Valley Regional Planning Commission shows the extents of land use within the township and how the township relates to the land use of surrounding townships. It is important to note that this data is used generally as an overview because development that has occurred in the past eight years is not reflected in the data. See the Land Use map at the end of this chapter.



Rural Worcester Township.

Geology: The Brunswick and Lockatong formations are the two main geologic formations found within Worcester Township. The Lockatong Geologic Formation, characterized by a very dense shale and mudstone called argillite, is located throughout the largest area of the township. The Lockatong formation is considered to be a poor water source as water percolation through the bedrock into the water table is limited. The Brunswick Geologic Formation is characterized by reddish brown shale and sandstone that contains numerous faults and fracture traces. These faults and fractures serve as important groundwater storage areas. The number of new wells and impervious surfaces created by development are important factors in determining the amount of water that is recharged into the water table. The amount of available groundwater is of critical importance to maintain the base flows of streams within the township.

Historic Properties: The Peter Wentz Farmstead is a county owned park property listed on the National Historic Register. The Peter Wentz Farmstead served as headquarters for General George Washington during the fall of 1777. The site has been restored and the house furnished to reflect its appearance at the time of the American Revolution. Ninety-three acres surround the farmstead and are managed as an eighteenth century working farm. The grounds include a reconstructed barn with animals that are typical of the period along with gardens, orchards, and fields cultivated as they would have been in the period. The Anthony Morris House is a second site located in Worcester Township that is listed on the National Historic Register. This home



Peter Wentz Farmstead.

Physical Inventory and Analysis



Heebner Park.

is privately owned and is located on Schultz Road. Additional historically significant properties, as identified by the Worcester Township Comprehensive Plan, are shown on the Cultural Resources map and Historic Properties listing found at the end of this chapter.

Existing Parks:

Evansburg State Park contains 3,350 acres of parkland located along the western boundary of Worcester Township. The park provides for a variety of day uses including: picnicking, playfields, visitor center, historical center, fishing, hunting, hiking, cross-country skiing, and mountain biking & equestrian trails. The park is also one of only two in the state that provides a golf course. The park is

currently in the process of completing an updated resource management plan. Evansburg State Park could be a major destination point for greenway and trail alignments originating in Worcester Township. The Montgomery County Trail Plan shows a trail through Evansburg State Park along the banks of the Skippack Creek.

Peter Wentz Farmstead is a 93-acre County owned Historic Site located at the intersection of Shearer Road and Skippack Pike. The Peter Wentz Farmstead Society is a non-profit organization whose mission is to preserve and interpret an 18th century Pennsylvania German farmstead by stimulating public interest and support of the site's heritage through educational programs and public events focusing on the architecture, crafts, customs and furnishings of the period. In addition to historical interpretation, the park is used for limited passive recreational activities such as bird watching and nature study.



Fischer's Park.

Heebner Park is a 75-acre township owned park located behind the Worcester Township Building on Valley Forge Road. The park is a major municipal park containing active recreation facilities that include baseball fields, soccer fields, playgrounds, basketball courts, tennis courts, and passive recreation facilities include natural areas, meadows and walking trails.

Nike Park is an approximate 9-acre undeveloped park site owned by Worcester Township. The land is located along Trooper Road and proposed development for this park parcel includes: a softball field, football/soccer field, play area, an area for court games such as basketball or volleyball, walking trails, and parking areas.

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Fischer's Park is located in the northwest corner of the township. This park is owned and maintained by Towamencin Township as a recreation area. The majority of the park is located within Towamencin however approximately 23 acres of the park are located in Worcester Township. Fischer's Park has both active and passive recreation facilities.

In addition to Heebner Park and the future Nike Park, Worcester Township owns passive recreation lands that are located along Zacharias Creek. The township has passive lands through the Valley Green Development in the vicinity of Defford Road. Also, the township acquired land roughly following the old alignment of Frog Hollow Road prior to the road realignment in conjunction with the Fawn Creek development. This particular parcel is an important link to connect Heebner Park to the Zacharias Creek.

Lands Permanently Preserved: Worcester Township and Montgomery County Lands Trust joined forces to preserve a 90-acre property along the Zacharias Creek. The conservation effort required grant funding from both the Pennsylvania Department of Conservation and Natural Resources' Community Conservation Partnership Grant and Montgomery County's Municipal Open Space Acquisition Grant Program. In addition, Worcester Township provided necessary match monies, while private funds covered a large portion of the administrative cost. This collective effort resulted in Worcester Township's owning 22 acres of the riparian corridor along the Zacharias Creek, while Montgomery County Lands Trust and Worcester Township co-hold a Conservation Easement on an entire 90+ acre parcel. Under the terms of the easement, Worcester Township has the right to construct and maintain a public trail along the riparian corridor. By mutual agreement, Montgomery County Lands Trust assumed the administrative role of monitoring and enforcing the conservation easement. Additional parcels throughout the township contain conservation easements. These parcels are located in the Cultural Features Map at the end of this chapter.

Act 319 Lands: Act 319, also known as the Farmland And Forest Land Assessment Act of 1974 and often referred to as the Clean and Green Act, was established to preserve farmland, forest land and open space by taxing land according to its use rather than the prevailing market value. The program is administered by county assessment offices and is a voluntary program that generally requires a 10-acre minimum area to remain in a designated use (agricultural use, agricultural reserve and forest reserve). Parcels less than 10 acres and capable of producing \$2000 annually from the sale of agricultural products are also eligible for the agriculture use designation. Land taken out of the permitted use becomes subject to a rollback tax, imposed for up to seven years, and an interest penalty. These parcels are



Methacton High School.

Physical Inventory and Analysis

located in the Cultural Features Map at the end of this chapter.

Schools: Worcester Township and Lower Providence Township comprise the Methacton School District. The Methacton High School is located in the southwest corner of the township at the intersection of Germantown Pike and Kreibel Mill Road. Worcester Elementary School is located just west of the intersection of Skippack Pike and Valley Forge Road. All other schools within the Methacton District are located in Lower Providence Township.

Regional Connections: While the primary focus of this greenway and trail plan is on off-road facilities, there are many proposed on-road bike routes that provide connections to the greater region. The Montgomery County Bike Mobility Plan recommends two primary on-road routes through the township along Skippack Pike and Valley Forge Road. Additionally, secondary on-road routes are recommended along Bethel Road, Germantown Pike, Morris Road, Stump Hall Road, Trooper Road and Whitehall Road. Many of these recommended routes currently do not contain roadway improvements such as widened paved shoulders, signage, or bike lane striping to facilitate use. However, it is a goal of the county to eventually implement these improvements. The Pennsylvania Department of Transportation has established seven statewide Bicycle Touring Routes. Route 'S' is an east-west route across the southern third of the state and passes through Worcester Township. It is located on Trooper Road, Potshop Road, Berks Road, and Skippack Pike. See the Bicycle Route & Trail Map at the end of this chapter.

The Montgomery County Trail Plan proposes three off-road trails in the vicinity of Worcester Township. The first is the Liberty Bell Trail. The Liberty Bell Trail is a proposed off-road trail that follows the former alignment of an interurban trolley, or electric streetcar, that ran from Philadelphia to Allentown from around 1900 to 1951. The Liberty Bell Trail is currently in the planning stage. A feasibility study is being prepared and some portions of the old trolley bed have already been converted into a trail. For example, Hatfield Borough in Montgomery County has developed much of



Germantown Pike.

the trail through its municipality and Perkasie Borough in Bucks County has also developed part of the trail through Lenape Park. The proposed alignment is primarily to the east of Worcester Township running through Whitpain Township. The proposed Liberty Bell trail will connect with the Schuylkill River Trail and the Wissahickon Trail. The Worcester Township trail system could connect to the Liberty Bell Trail through Whitpain Township.

The second off-road trail recommended by the Montgomery County Trail Plan is the Evansburg Trail. This trail is listed as "under development" on the Montgomery County Parks Department web page. This proposed 17-mile trail would ultimately provide a loop through Evansburg State Park connecting to

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the Perkiomen Trail at both ends. The northern end of the loop would connect to the Perkiomen Trail at Schwenksville while the southern end of loop would connect to the Perkiomen Trail at Arcola. While the proposed trail alignment is primarily to the west of Worcester Township, the potential for Worcester Township trail connections to the Evansburg Trail exists through Evansburg State Park.

The third proposed off-road trail proposed within the vicinity of Worcester Township is the Power Line Trail. The Power Line Trail is a 17-mile trail that follows the Philadelphia Electric Company right-of-way corridors. The trail connects to the Evansburg Trail in the west and to the Cross County Trail at the eastern end. It will be linked to the Worcester Township trail system through proposed multi-use trails that lead to the northern part of the township and Morris Road.



Power Line Trail to the north.

Existing Ordinance Protection Summary

The following ordinances found within the Worcester Township Zoning Ordinance currently provide environmental protection for the many creek corridors within the Township.

Floodplain Conservation District

Definition of Floodplain Conservation District Overlay:

1. Federal Emergency Management Agency (FEMA) mapping information.
2. Natural Resources Conservation Service – Alluvial soils mapping information.

Permitted Uses:

1. Cultivation and harvesting of crops.
2. Pasture and grazing land.
3. Plant nursery or orchard.
4. Wildlife sanctuary, preserve, arboretum, and passive recreation facilities.
5. Forestry, lumbering, and reforestation.
6. Utility Transmission Lines.
7. Front, side, or rear yards and required lot area for any district.
8. Roads or drives where no other realistic alignment is possible & only with approval by Supervisors.

Prohibited Uses:

1. Buildings, structures, mobile homes, retaining walls, grading or filling including stormwater control facilities.

Township of Worcester, Montgomery County, Pennsylvania

Physical Inventory and Analysis

2. Relocation of any watercourse.
3. Sanitary landfills, dumps, or junkyards.
4. On-site sewage disposal systems.
5. Private water supply wells.
6. Paved or all weather parking lots.
7. Stripping of topsoil groundcover, vegetation or removal of trees within 20' of a stream bank.

Banned Uses (No Variances will be granted):

1. Structure used for production or storage of hazardous materials.
2. Construction of a hospital, nursing home, jail, or prison.
3. Any construction or expansion to a mobile home park.

Riparian Corridor Conservation District

Definition of Riparian Corridor Conservation District Overlay:

1. Perennial Streams identified by Natural Resources Conservation Service (NRCS) soil survey.
2. Streams that are bordered by alluvial soils as identified by NRCS soils survey (note local alluvial soils must be connected to an alluvial soil listed in Section 150-1456.6 A.b)
3. The Riparian Corridor Conservation District Overlay shall extend a minimum of 75' from the defined edge of an identified waterway or shall equal the extent of the 100-year floodplain, whichever is greater.
4. The district contains two zones:
 - a. Zone one begins at the edge of the waterway and extends 25' measured perpendicular to the waterway.
 - b. Zone two begins at the outer edge of zone one and shall occupy a minimum of 50' in addition to zone one up to a maximum combined width of 75' on each side of the waterway.



Riparian corridor along Zacharias Creek.

Zone 1 Permitted Uses:

1. By right: wildlife sanctuaries, nature preserves, fishing areas or passive recreation areas, and reforestation.
2. Stream bank stabilization.
3. Maintenance of riparian woodlands through removal of invasive species, trash removal, planting of plants on the riparian corridor plant list.

Zone 1 Conditional Uses:

1. Corridor crossing by trails, roads, railroads, utility lines, and farm vehicle and livestock crossings with necessary fencing.
2. Selected cutting of extremely high

Chapter Two

economic value trees when land will be reforested.

Zone 2 Permitted Uses:

1. Open space uses, forest preserves, passive recreation, and recreational trails.
2. Reforestation.
3. Minimum required front, side, and rear yards on private lots.
4. Agricultural uses existing at the time of adoption.
5. Fencing.
6. Maintenance of riparian woodlands through removal of invasive species, trash removal, planting of plants on the riparian corridor plant list.

Zone 2 Conditional Uses:

1. New agricultural uses.
2. Corridor crossing by trails, roads, railroads, utility lines, and farm vehicle and livestock crossings with necessary fencing.
3. Centralized sewer and/or water line and public utility transmission lines.
4. Select cutting of trees when the land will be reforested.
5. Passive use areas such as camps, campgrounds, picnic areas, and golf courses; and active recreation areas such as ball fields provided that these uses do not concentrate storm water flow.
6. Naturalized storm water basins.

Prohibited Uses:

1. Buildings and any other type of permanent structure.
2. Roads or driveways except where permitted as corridor crossings.
3. Motor or wheeled vehicle traffic.
4. Parking lot.
5. Clear cutting of trees and other vegetation.
6. Selection cutting of trees and or clearing except where clearing involves high economic value trees and reforestation is proposed.
7. Dumping of manmade materials.
8. Subsurface sewage disposal areas.
9. Sod farming.

Plan exhibits, as well as a cross section showing the permitted and conditional uses for each of these zones can be found at the end of this chapter.

Issues, Opportunities, and Threats to Greenway Development

Issues

- *Sensitive Riparian Corridors* – Intensified development and a potential lack of applied erosion and sedimentation control measures will cause significant damage to the existing riparian corridors through increased flooding.
- *Community Cohesiveness* – Without any non-motorized connections to existing and proposed recreational facilities, the places where people meet and the sense of community that is created will be limited to destinations only

Physical Inventory and Analysis

accessible by the automobile.

- *Pedestrian Environment* — There is a significant need within the Township for a safe pedestrian environment for not only recreational, but also transportation use.

Opportunities

- *Existing PECO Rights-of-Way* — These existing utility corridors traversing the Township may be used for trail development without impacting private property
- *Township Open Space Land Acquisitions* — Worcester has acquired a number of land parcels for Open Space protection as a result of the 1994 Open Space Plan that may be used for recreational and corridor protection purposes.
- *Undeveloped Land* — There are significant tracts of undeveloped land that may be protected from intensified development pressure either through open space acquisition by the Township, or through ordinances requiring trail easements with any future subdivision or land development.

Threats

- *Local Opposition to Trails* — Township efforts to provide additional recreational and transportation linkages between existing facilities may be thwarted by private landowners unwilling to negotiate trail easements.
- *Increased Residential Development* - The predominant type of developments occurring within the Township are former agricultural fields being subdivided into large lots for single family homes.
- *Code Enforcement* – Existing subdivision and land development ordinances should be enforced as necessary by the Township officials pertaining to the floodplain and riparian corridor conservation districts.

Chapter Two

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HISTORIC PROPERTY**MAP #**

Peter Wentz Farmstead (National Register)	1
Anthony Morris House / Bean House (National Register)	2
Heebner Farmstead	3
Dairy Farm	4
Beyer Farmstead	5
Goulay House	6
Garrett Bean Farmstead	7
Supplee Farmstead	8
Bethel Hill Church	9
Worcester Public School Bldg. #6	10
Dr. Meschter House	11
Detwiler Residence	12
Geyer Residence	13
Farmers Union Hall	15
Fairview Village Assembly Hall	16
Worcester Mennonite Church & Cemetary	17
Old Mill Farm	18
Wentz United Church of Christ (German Reforme	19
Worcester Hist. Society Bldg. (Evan. Church)	20
Thompson Orchards (Jesse Humsher House)	21
Brunner House	22
Water Street School	23
Cedars Country Store	24
Little Residence	25
Rittenhouse Farm	26
Hance Supplee Homestead (Royal Acres)	27

Legend:

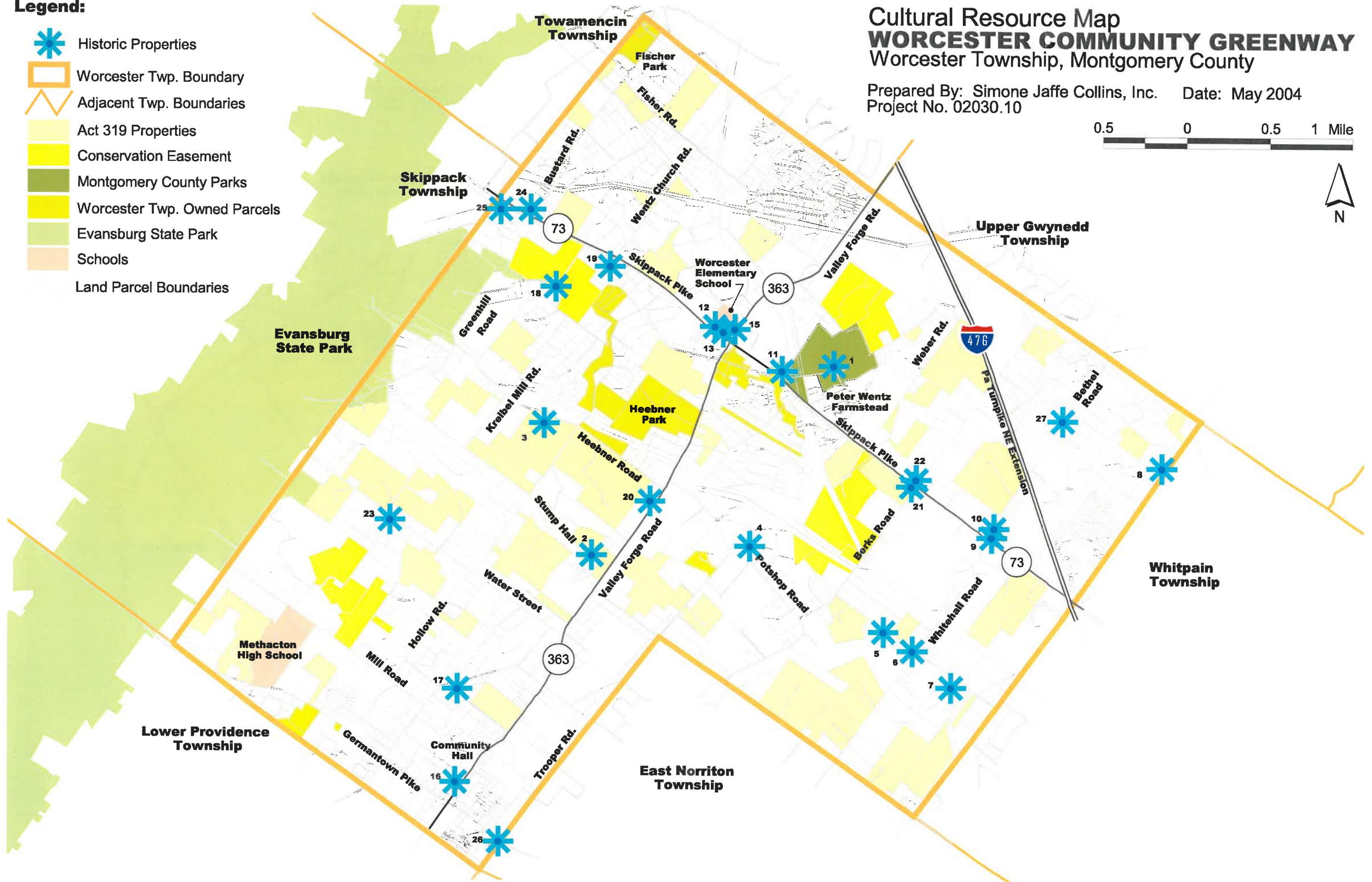
-  Historic Properties
-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries
-  Act 319 Properties
-  Conservation Easement
-  Montgomery County Parks
-  Worcester Twp. Owned Parcels
-  Evansburg State Park
-  Schools
-  Land Parcel Boundaries

Cultural Resource Map












WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc. Date: May 2004
Project No. 02030.10



Legend:

-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries
-  State Bike Route 'S'
-  Montgomery County Primary On-Road Bike Routes
-  Montgomery County Secondary On-Road Bike Routes
-  Montgomery County Off-Road Trails
-  Liberty Bell Trail
-  East Norriton Township Trails
-  Gas Line Right-Of-Way
-  Power Line Right-Of-Way
-  Roads

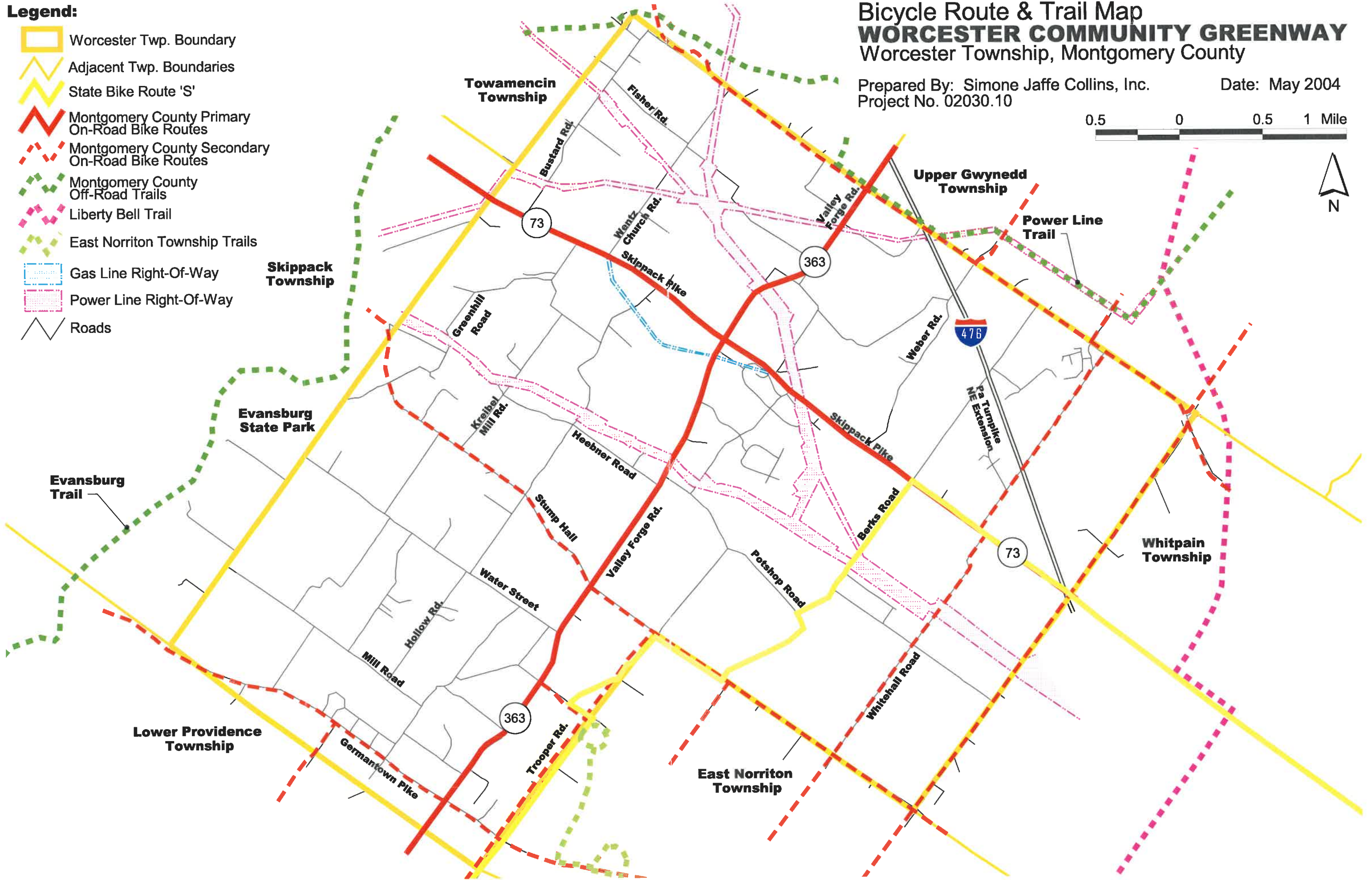
Bicycle Route & Trail Map

WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10



















Date: May 2004



Legend:

-  Worcester Twp. Boundary
-  Interstate / State Routes

DVRPC Land Use 1995

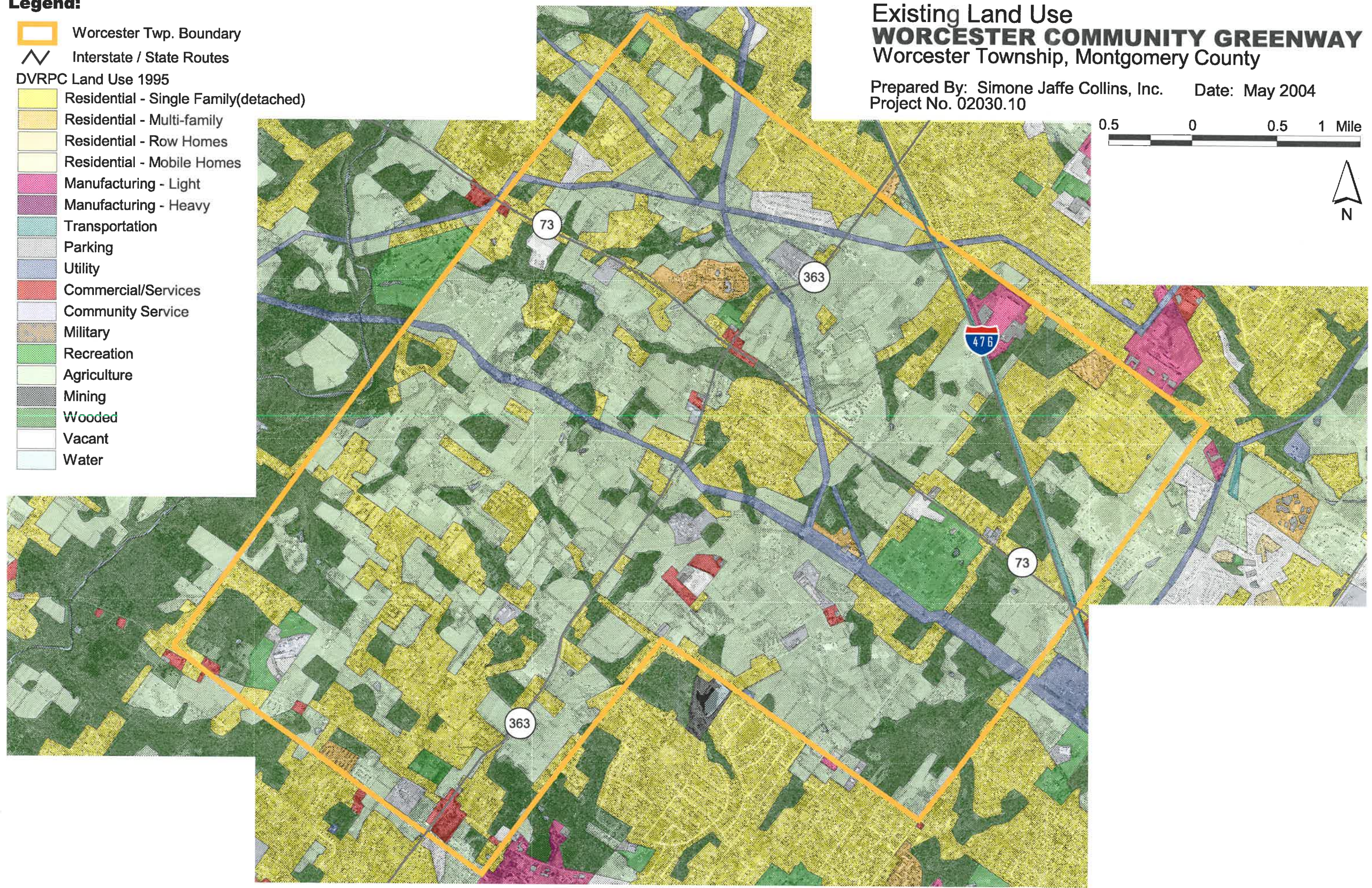
-  Residential - Single Family(detached)
-  Residential - Multi-family
-  Residential - Row Homes
-  Residential - Mobile Homes
-  Manufacturing - Light
-  Manufacturing - Heavy
-  Transportation
-  Parking
-  Utility
-  Commercial/Services
-  Community Service
-  Military
-  Recreation
-  Agriculture
-  Mining
-  Wooded
-  Vacant
-  Water

Existing Land Use







WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc. Date: May 2004
Project No. 02030.10



Legend:

-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries
-  Alluvial Soils - Riparian Corridor Conservation District
-  Floodplain
-  Streams
-  Worcester Township Parcels

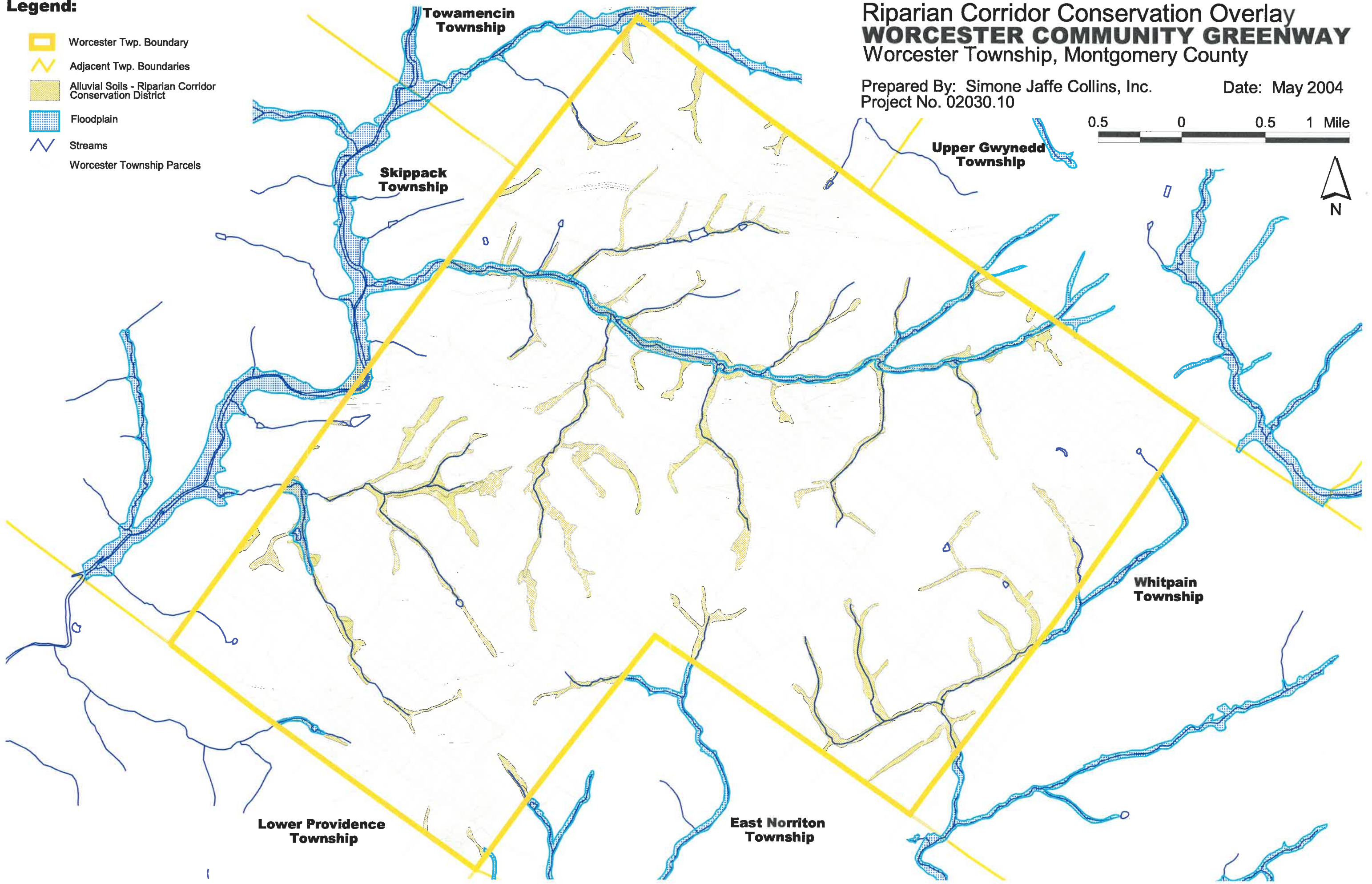
Riparian Corridor Conservation Overlay

WORCESTER COMMUNITY GREENWAY

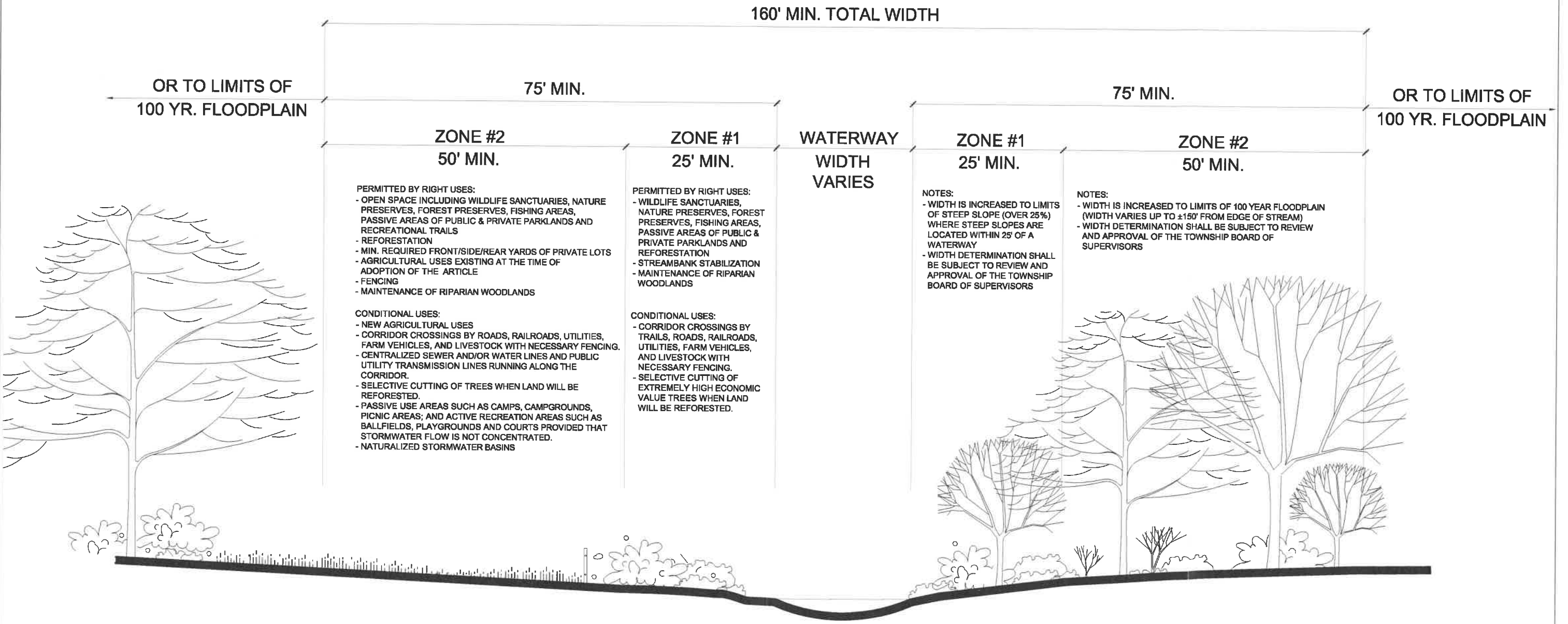
Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10

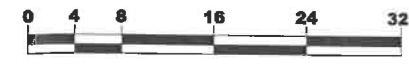
Date: May 2004



02030.10
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**SECTION: RIPARIAN CORRIDOR CONSERVATION DISTRICT/
FLOODPLAIN CONSERVATION DISTRICT**
WORCESTER TOWNSHIP COMMUNITY GREENWAY, MONTGOMERY COUNTY PA








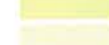










SCALE: 1/16" = 1' - 0"

MAY 2004 SJC PROJECT NO.: 02030.1

LANDSCAPE ARCHITECT:
SIMONE JAFFE COLLINS INC.
LANDSCAPE ARCHITECTURE
57 OLD LANCASTER ROAD
BERWYN, PA 19312
610-889-0948
FAX 610-889-7521

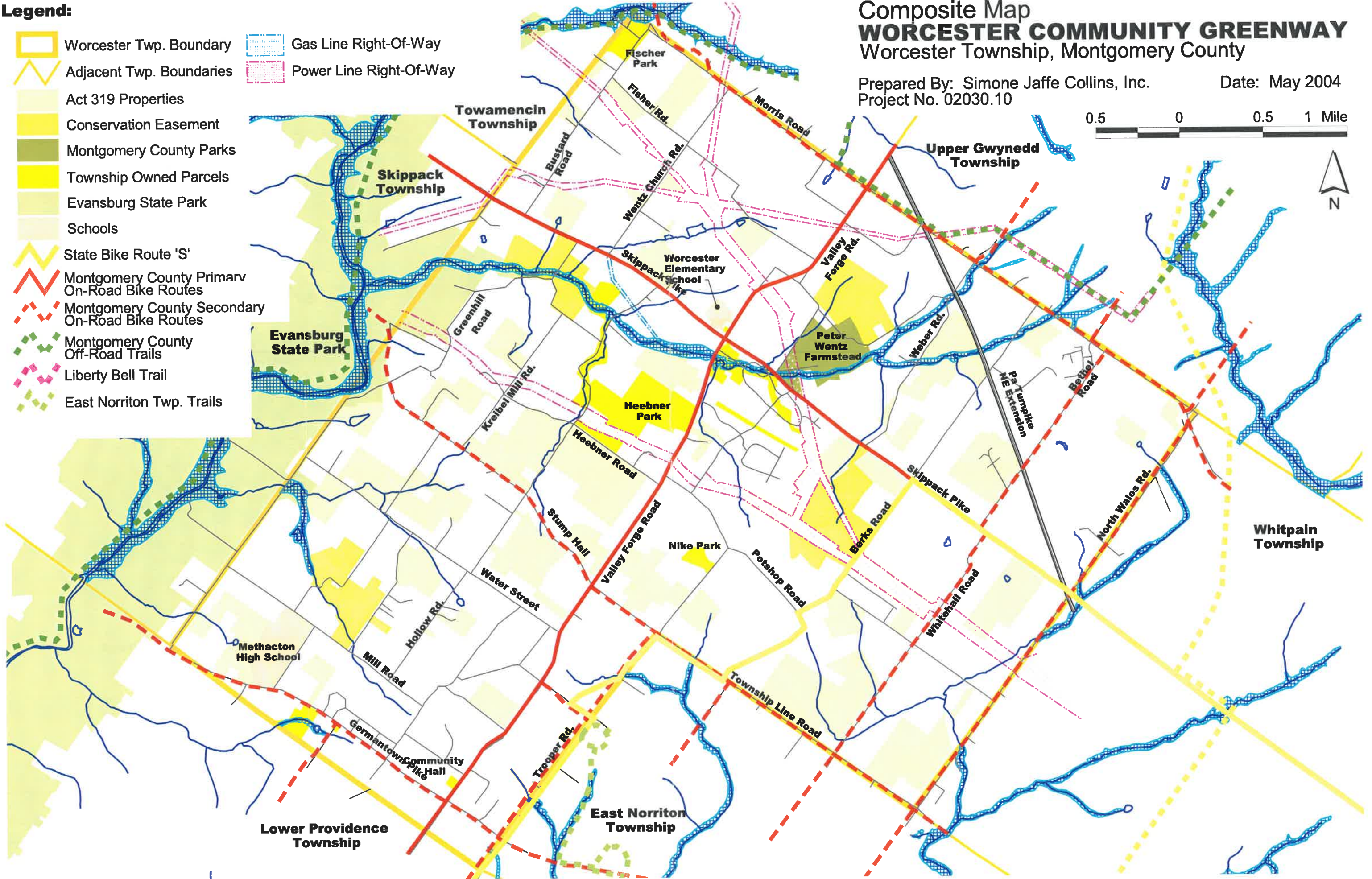
Legend:

-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries
-  Act 319 Properties
-  Conservation Easement
-  Montgomery County Parks
-  Township Owned Parcels
-  Evansburg State Park
-  Schools
-  State Bike Route 'S'
-  Montgomery County Primary On-Road Bike Routes
-  Montgomery County Secondary On-Road Bike Routes
-  Montgomery County Off-Road Trails
-  Liberty Bell Trail
-  East Norriton Twp. Trails
-  Gas Line Right-Of-Way
-  Power Line Right-Of-Way

Composite Map
WORCESTER COMMUNITY GREENWAY
 Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
 Project No. 02030.10

Date: May 2004



Legend:

 Worcester Twp. Boundary

 Interstate / State Routes

DVRPC Land Use 1995

 Residential - Single Family(detached)

 Residential - Multi-family

 Residential - Row Homes

 Residential - Mobile Homes

 Manufacturing - Light

 Manufacturing - Heavy

 Transportation

 Parking

 Utility

 Commercial/Services

 Community Service

 Military

 Recreation

 Agriculture

 Mining

 Wooded

 Vacant

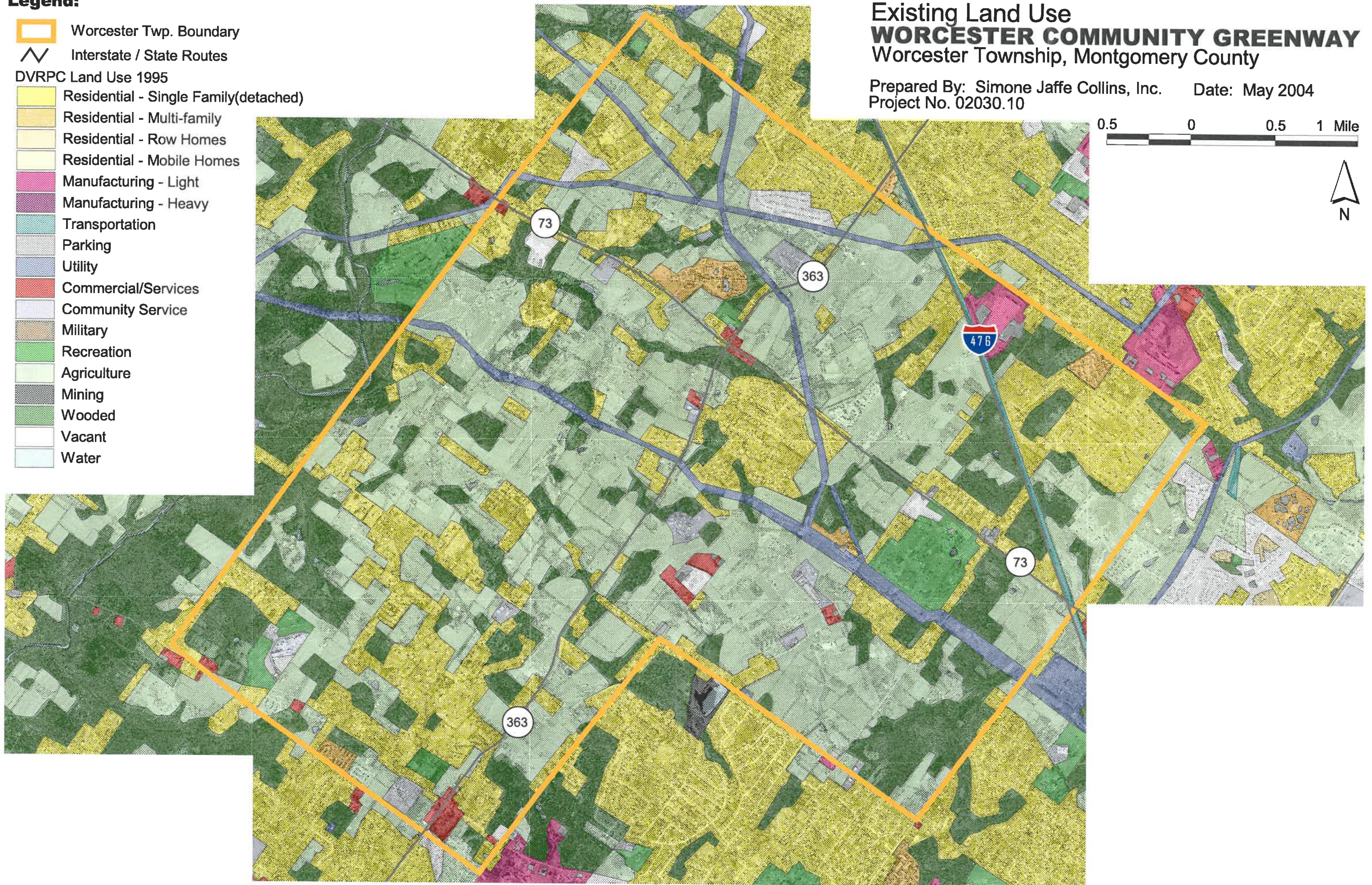
 Water

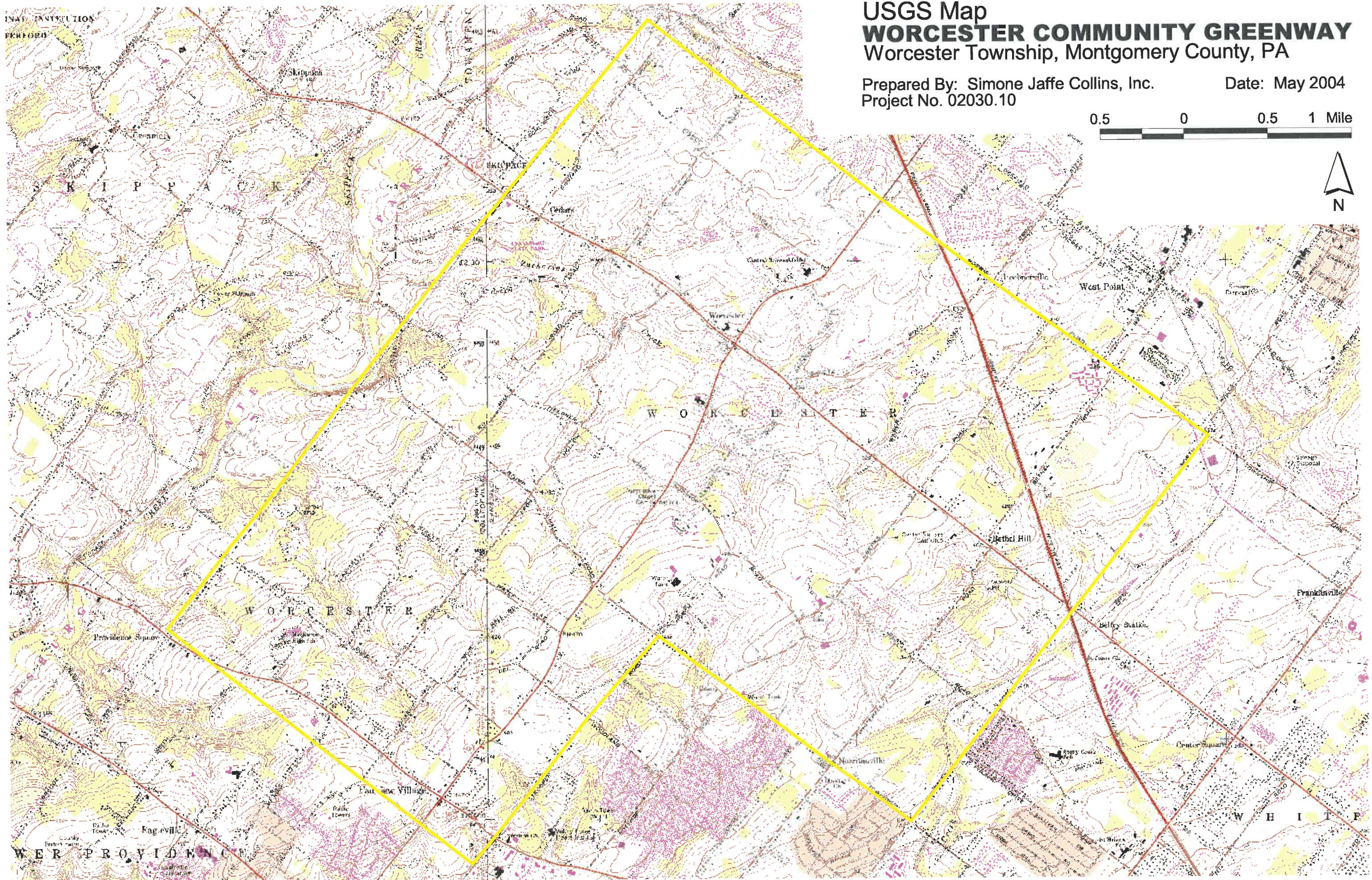
Existing Land Use

WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc. Date: May 2004
Project No. 02030.10





USGS Map
WORCESTER COMMUNITY GREENWAY
Worcester Township, Montgomery County, PA

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10

Date: May 2004



Legend:

-  Worcester Twp. Boundary
-  Adjacent Twp. Boundaries
-  Alluvial Soils - Floodplain Conservation District
-  Floodplain
-  Streams
-  Worcester Township Parcels
-  Watershed Boundaries

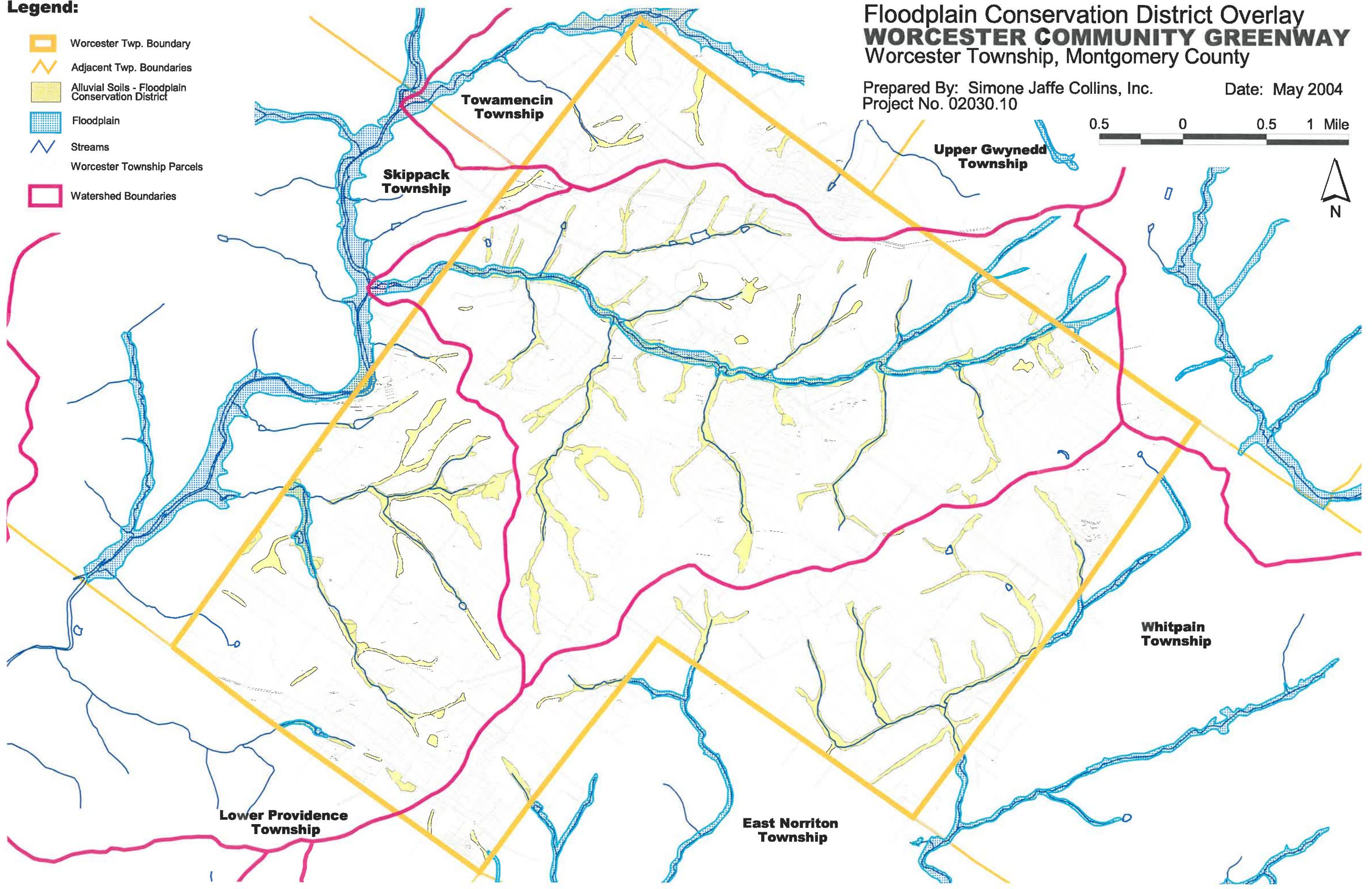
Floodplain Conservation District Overlay

WORCESTER COMMUNITY GREENWAY







Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10

Date: May 2004



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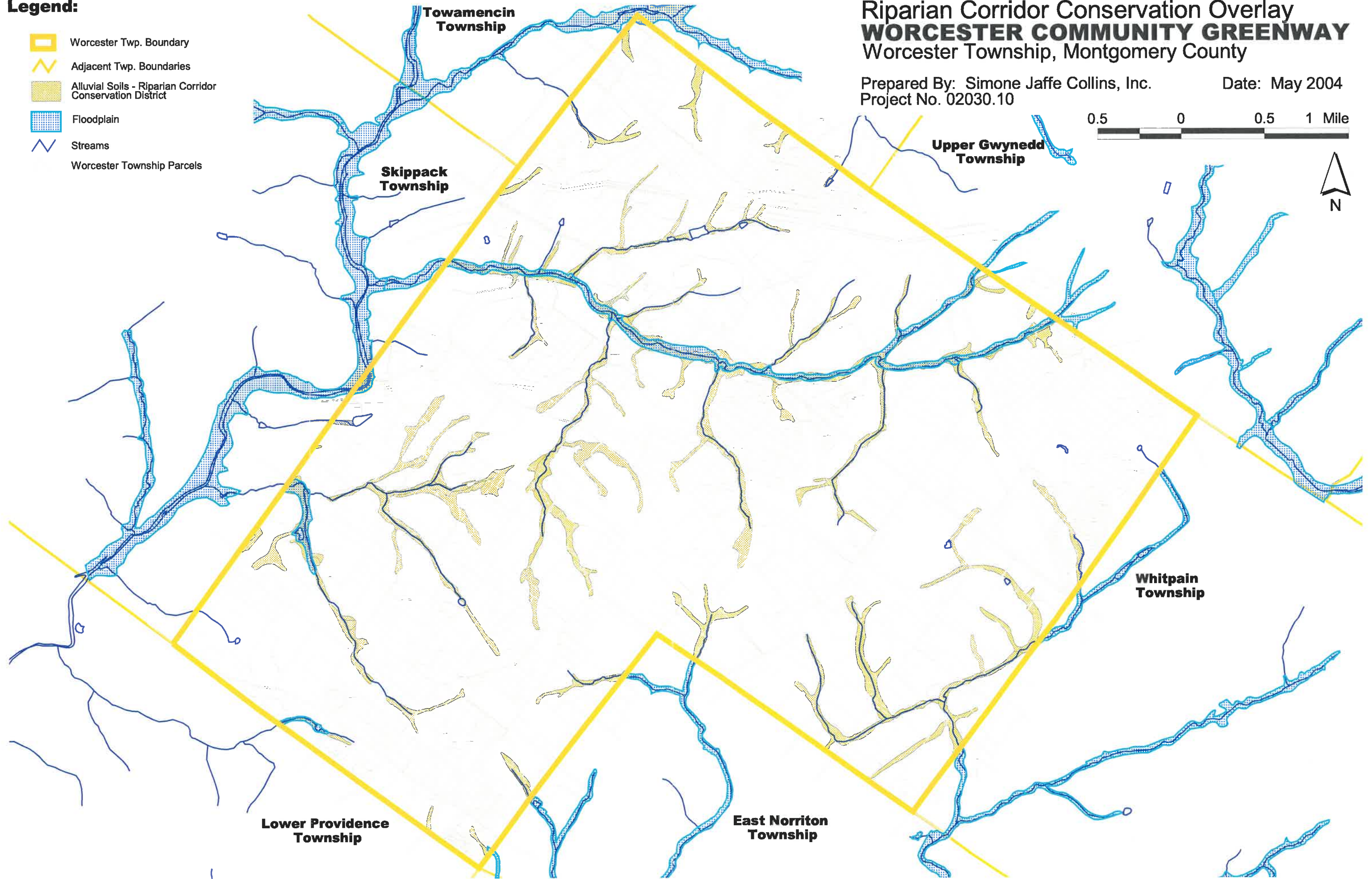
Riparian Corridor Conservation Overlay

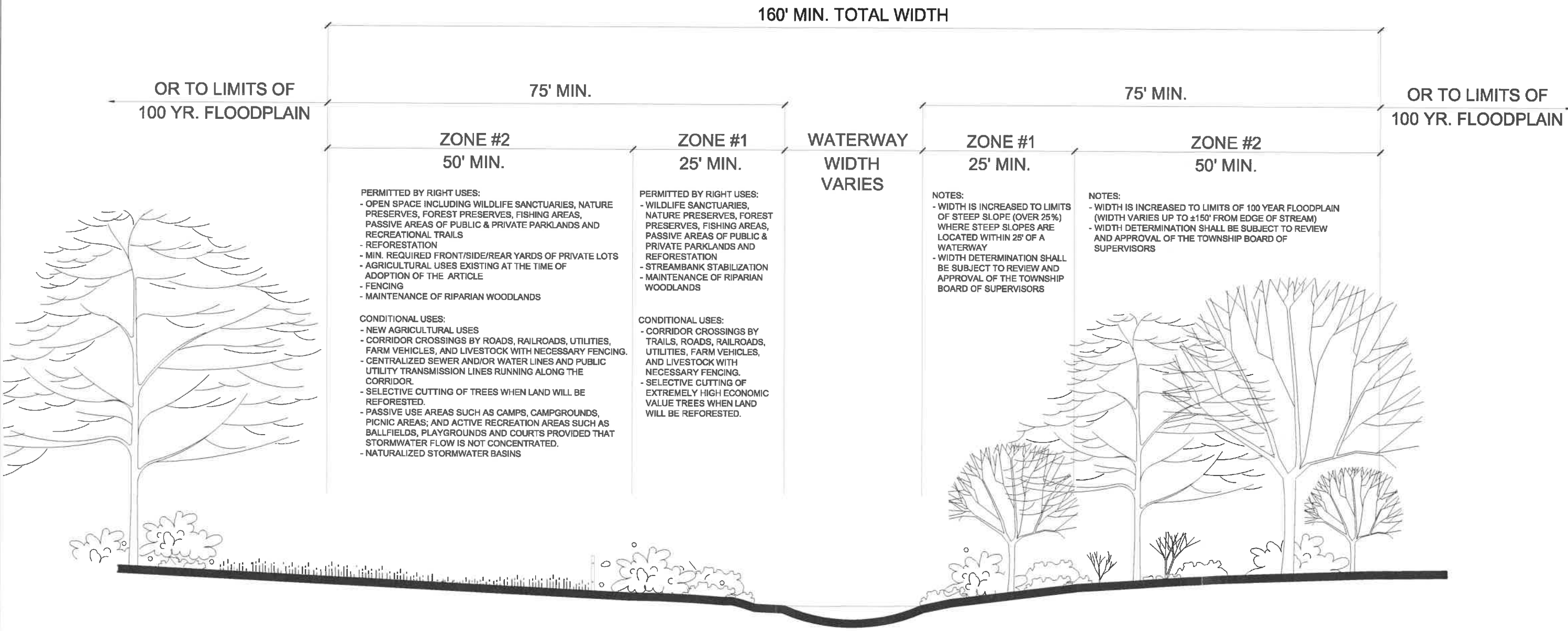
WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
Project No. 02030.10

Date: May 2004





**SECTION: RIPARIAN CORRIDOR CONSERVATION DISTRICT/
FLOODPLAIN CONSERVATION DISTRICT**






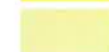










WORCESTER TOWNSHIP COMMUNITY GREENWAY, MONTGOMERY COUNTY PA



MAY 2004 SJC PROJECT NO.: 02030.1

LANDSCAPE ARCHITECT:
SIMONE JAFFE COLLINS INC.
LANDSCAPE ARCHITECTURE
51 OLD LANCASTER ROAD
BERWYN, PA 17312
610-889-0348
FAX 610-889-7521

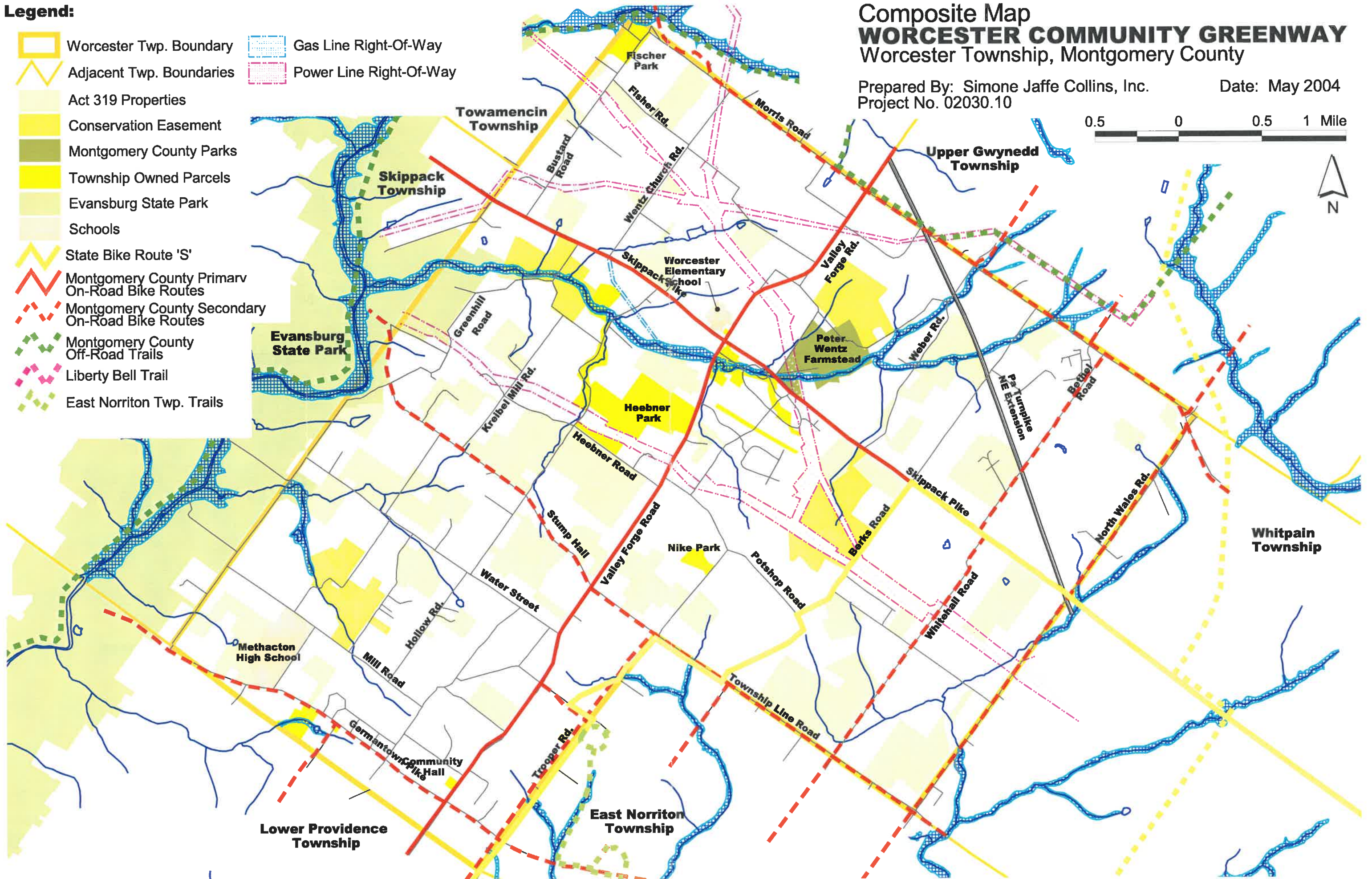
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-  Montgomery County Primary On-Road Bike Routes
-  Montgomery County Secondary On-Road Bike Routes
-  Montgomery County Off-Road Trails
-  Liberty Bell Trail
-  East Norriton Twp. Trails
-  Gas Line Right-Of-Way
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Composite Map
WORCESTER COMMUNITY GREENWAY
 Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.
 Project No. 02030.10

Date: May 2004



Greenway Trail Connection Options

Potential Trail Users

Service Area - It is anticipated that most of the greenway and trail users will be local residents of the township. While it is desirable to link the greenway and trails to regional trails and greenways, it is unlikely that regional users will travel to Worcester Township to use the greenway and trails as linkages are provided primarily to local destination points within the community. As noted earlier, all of the regional off-road trails are located outside of the township limits.

In addition to providing a means of connecting destinations within the township, the greenway and trails also present the opportunity for other forms of passive recreation. Bird watching, fishing along a stream corridor, nature study and educational uses are a few passive activities that may be provided for within the greenway plan. Additionally, there are numerous horse farms located within the community. Local equestrian use of trails is anticipated and good design will minimize the possibility of conflicts between various types of trail users.

Community Character - Worcester Township has managed to maintain the essence of its agrarian landscape in the midst of intense development pressures from all sides of the township. The Worcester Township Community Greenway Plan can serve as another tool to build the Township's open space resources to maintain the unique character of the township.

Demographics - Worcester Township US Census population figures and growth percentages are as follows:

<i>1990 Population</i>	<i>2000 Population</i>	<i>Percent Growth</i>
4,686	7,789	66%

These figures indicate a significant jump in the population and subsequently increased residential developments over the last ten years. The Delaware Valley Regional Planning Commission (DVRPC) within their Regional Data Bulletin No. 73, Population and Employment Forecasts, 2000—2025, March 2002 project Worcester Township to be one of the fastest growing municipalities in terms of population growth within Montgomery County. Below are DVRPC's projected figures:

<i>2010 Forecast</i>	<i>2025 Forecast</i>	<i>2000 to 2010 Percent Change</i>	<i>2000 to 2025 Percent Change</i>
9,580	12,320	23%	58%

Trail Connection Options

Trail User Classifications - The American Association of State Highway and Transportation Officials (AASHTO), and the Pennsylvania Department of Transportation (PennDOT) both classify bicyclists into the following three groups:

Chapter Three

- **Group A – Advanced Bicyclists** – Generally use their bicycles as they would a motor vehicle. They are riding for convenience and speed and want direct access to destinations with a minimum of detour or delay. This group comprises only 5% of the bicycling population
- **Group B – Basic Bicyclists** – Less confident adult riders may also be using their bicycles for transportation purposes, e.g., to get to the store or to visit friends, but prefer to avoid roads with fast and busy motor vehicle traffic.
- **Group C – Child Cyclists** – Riding on their own or with their parents, Child Cyclists may not travel as fast as their adult counterparts but still require access to key destinations in their community, such as schools, convenience stores and recreational facilities.

The Primary and Secondary on-road bicycle routes as described in the Montgomery County Bike mobility Plan are primarily for the advanced bicyclist, or Group A. The multi-use trails proposed to be installed within the PECO right-of-ways are to accommodate all bicyclist user groups as well as pedestrians. The proposed Limited Access trails will be for pedestrian use only.

Trail Types:

Multi-Use Trail (Off-Road) - The American Association of State Highway and Transportation Officials (AASHTO) define a Multi-Use Trail or Shared Use Path as: a bikeway physically separated from motorized vehicular traffic by an open space or barrier and either within the highway right-of-way or within an independent right-of-way. Shared use paths may also be used by pedestrians, skaters, wheelchair users, joggers, and other non-motorized users. Transportation engineers also commonly refer to this trail type as a 'Class 1' bikeway.

As the definition suggests, this trail type provides for a variety of trail users pending on the trail surface paving and available right-of-way width. Another common trait of multi-use trails is their universal accessibility for those with disabilities. This is due to their gentle slopes, adequate widths, and smooth surfaces. Parking areas for multi-use trail segments should provide facility access in accordance with the Federal Americans with Disabilities Act (ADA) guidelines to provide for trail users with disabilities. Adjacent bridle paths are recommended for equestrian users.

Both the Rails to Trails Conservancy (RTC) and AASHTO recommend a multi-use trail to be ten feet (10') wide. The minimum width for a two-way trail is eight feet (8'), and for a one-way trail it is five feet (5'). Depending on the amount of user volume, widths of twelve feet (12') or fourteen feet (14') are recommended to avoid potential conflicts. An additional two-foot (2') shoulder is recommended on either side of the trail surface to provide clearance from trees, poles, walls, fences or any other lateral obstruction. Site conditions may warrant additional safety measures such as fencing and increased shoulder widths.

Hiking Trails - A hiking trail may be defined as a recreational trail that does not meet the design requirements such as width, slopes & surfacing of a multi-use trail. Some advantages of hiking trails are they can allow for access and recreational use of the

Trail Connection Options

land quickly for a relatively low cost. A disadvantage of hiking trails is that they generally limit the number and type of trail users due to their minimal width, steeper slopes, and softer surfaces, and generally do not meet ADA requirements.

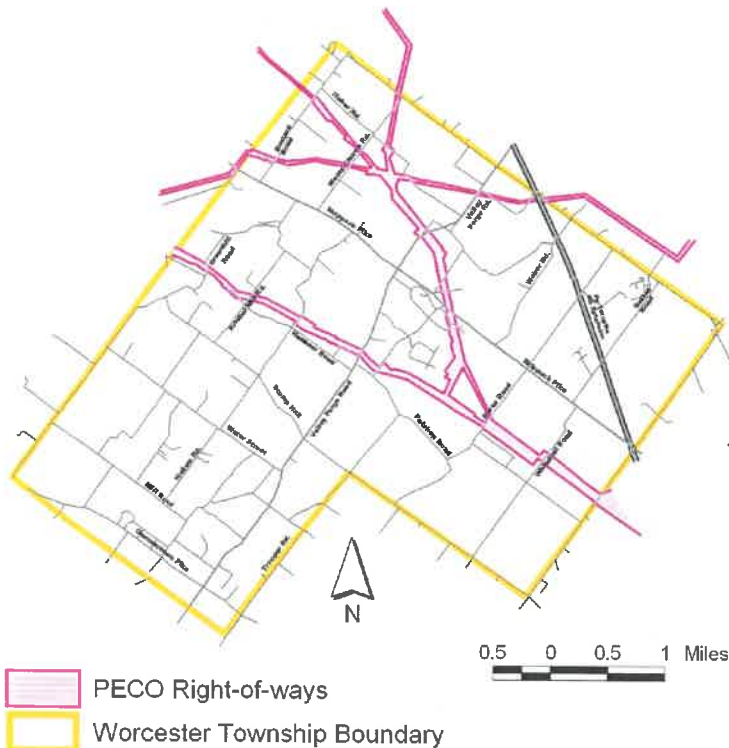
Trail design guidelines pertaining to both multi-use and hiking trails can be found within the appendix of this report.

Trail Surfaces:

Asphalt or macadam surfaces provide for the widest variety of trail users including bicyclist, walkers, joggers, wheelchair users, and in-line skaters. Initial installation costs are relatively high compared to other trail surface types, however long term maintenance costs will remain lower than others if properly installed and maintained.

Crushed limestone surfaces can accommodate all trail user types with the exception of in-line skaters. Initial installation costs for this trail surface are relatively low, however long term maintenance costs increase due this surface's susceptibility to erosion, especially if not properly installed. A crushed limestone surface can also serve as base material for an asphalt surface if trail use increases or funds become available for a surfacing upgrade.

Compacted earth surfaces are the least expensive to install, however they limit the types and number of trail users. Compacted earthen surfaces are primarily used for hiking only or horse trails that receive significantly less trail user volume than paved multi-purpose trails.



Proposed Multi Use Trails (PECO Right-of-Ways)

The best opportunity for a greenway trail development within Worcester Township occurs within the existing PECO right-of-ways. The map to the left shows the location of these right-of-ways (ROW) relative to the entire township. These utility corridors traverse and connect to many of the existing residential neighborhoods, with the exception of those located in the southwest corner. The fact that these utility corridors have one owner, and are generally between 100 and 600 feet in width allows for the development of a 10 to 12 foot wide multi-use trail as well as a separate and parallel equestrian trail. Another benefit is that the land is controlled by one owner, PECO, thus limiting the number of potential land acquisition negotiations, rather than the many that would be

Chapter Three

required with multiple private landowners.

Initial concerns raised by the committee and by the public revolved around the safety and overall desirability of having a trail located within close proximity to these high transmission power facilities. These concerns include the possible effects caused by exposure to the electric and magnetic fields, and how these fields may affect trail use.

The consultant met with representatives of PECO Real Estate & Facilities to discuss the opportunity for trail development as well as discuss the concerns voiced by the committee and public. PECO has allowed other municipalities to develop trails within their ROW, as evidenced by Montgomery County's Power Line Trail just to the north. PECO stated that they would be willing to investigate the possibility of allowing trail development within the Worcester Township ROW. Maintenance and liability as well as access control relative to these trails will be assumed by Worcester as part of any agreement between PECO and the Township.



PECO ROW at Berks Road.

License agreements, both long and short term, are used by PECO to allow adjacent landowners to use the land within the ROW. It is estimated that approximately 50 to 60% of the ROW is being leased for a secondary use. Similar to the process by which easement agreements with private landowners are acquired, the Township will need to approach those adjacent landowners with existing license agreements to see if they may be willing to allow a trail to coexist with their use of the land. Terms of these agreements will also be subject to PECO review. PECO offered to assist the consultant by assembling a summary of the existing license agreement information for adjacent landowners who currently have agreements with PECO for ROW use.

At the time of printing of this DRAFT report, this information gathering process is still being performed by PECO and It is intended that this information, or a summary thereof, will be included within the final report. The consultant will be able to assess from this information where the existing license agreements are located, what adjacent landowners hold them, and subsequently recommend where the best opportunities exist for initial multi-use trail development.



PECO ROW looking north towards Skipack Pike.

Trail Connection Options



PECO ROW looking southeast to Whitehall Road.

Regarding the safety concerns raised, PECO's resident expert on the topic of electric and magnetic fields confirmed that there have been no studies that have proven either way the long term health effects of exposure to these fields. The only factor that a trail user may experience are the effects of induced voltage. Induced voltage occurs when an object within a close proximity to high voltage transmission lines becomes statically charged. When this charge is released, it will give a person a static shock. This natural phenomenon is not life threatening, poses no threat to the safety of a trail user, and is ultimately simply an annoyance. Wetness and humidity contribute to the induced voltage probability.

The likelihood of this occurring is primarily beneath the 500,000 kilovolt transmission lines that extend from the Limerick Power Station. The locations of the 500,000 KV lines will be provided by PECO and will be a factor in the recommended location of a proposed trail. PECO provided the consultant with documents concerning safety, design, and construction of secondary use facilities proposed within the ROW that may be referenced for future design phases.

Notes from the meeting between the consultant and PECO can be found within the appendix of this report.

Proposed Limited Access Trails (Pedestrian and Equestrian Only)



PECO ROW at Wentz Church Road.

This plan proposes three primary phases for the development of Limited Access, or pedestrian & equestrian use only trail systems.

These Limited Access Trails are to be low impact trails generally occurring within a ten to twenty foot right-of-way that the Township will need to acquire from private landowners in the lands that are not currently Township owned. The alignments of these trails were located to limit the number of private property impacts and to link to existing Township destinations via publicly owned land parcels and open space.

These trails are proposed to be from 3 to 5 feet in width and be a compacted earth surface for natural areas such as riparian

Chapter Three

corridors. Hard paved surfaces for the alignments are proposed within existing roadway right-of-ways (ROW). These paved surfaces could be either shoulder improvements or new concrete or asphalt sidewalks. If there is not sufficient space to accommodate these connections within the roadway ROW, the Township may consider the acquisition of an easement through an agreement with adjacent landowners.

Heebner Park to Evansburg State Park

The first and highest priority Limited Access trail system is proposed to generally parallel Hollow Road and the Zacharias Creek riparian corridor to connect Heebner Park with Evansburg State Park. The system proposed by this plan in a secondary phase will provide connections to the Meadowwood Retirement Community, Worcester Elementary School, the Peter Wentz Farmstead, and the Merrymead Farm Complex .



Merrymead Farm Country Market.

This first priority trail will utilize Township-owned land, including a recently acquired parcel through the Markel property (for more information regarding the Markel Property, please refer to the report appendix). At the western end of Heebner Park, the proposed trail will cross Hollow Road and enter into Township open space that parallels a tributary to the Zacharias Creek and Hollow Road. The Township has acquired a number of parcels where a trail may be placed and complete the connection between the parks. Once the trail enters State Park property, it will follow the creek for approximately 1000 feet before it turns south and parallels Green Hill Road until it intersects with the proposed PECO multi-use trail leading to the trailhead location adjacent to the Skippack Golf Course.

Zacharias Creek to Worcester Elementary

A secondary phase to the Zacharias Creek trail would be to provide a connection to the Meadowwood community and Worcester Elementary School. This could be done by following Hollow Road north from the Zacharias Creek, then briefly following and eventually crossing Skippack Pike at the entrance to Meadowwood. A trail placed around the perimeter of Meadowwood could provide a connection to the Worcester Elementary School and the historic Farmers Union Hall. This perimeter trail may also connect to the proposed multi-use trail system within the PECO right-of-way that



PECO ROW near Peter Wentz Farmstead.

Trail Connection Options



Riparian corridor in distance.

would provide a connection to the Peter Wentz Farmstead.

Merrymeade Farm to Heebner Park

The third phase of this limited access trail system would complete the potential loop from Peter Wentz to Heebner Park and provide a spur to the Merrymeade Farm Complex. Beginning at Merrymeade and moving from northeast to southwest, the trail will be placed in an easement through a parcel now or formerly known as the Gerstemeier property (see appendix). Within this parcel is an existing conservation easement that includes a 20' wide trail easement along its northern boundary. One idea suggested for this connection is that it could be used to provide hayrides between Merrymeade and Peter Wentz.

From Peter Wentz, the trail will continue southwest and cross the Skippack Pike (Route 73). A safe pedestrian crossing (to be approved by PennDOT) will need to be provided to connect to Township open space to the south. Continuing westward through Township open space property, the trail will need at least one crossing over either the Zacharias Creek, or its tributary entering from the south, before it reaches Valley Forge Road (Route 363). A safe pedestrian crossing of Rte. 363 will need to be provided to continue westward.

From the western side of Rte. 363 is where the proposed trail alignment departs from alignments proposed in previous studies to follow Zacharias Creek. The residents in the area between Hollow Road and Valley Forge Road (363) have voiced their opinions at the public meetings and with petitions and written letters stating their opposition to a trail along the back edge of their properties, and requested that a proposed alignment shown in initial project mapping be removed from consideration. The Steering Committee discussed the pros and cons associated with this proposed trail segment and decided not to include this trail section in the plan. This segment of the Zacharias Creek will be shown only as a Protected Riparian Lands, citing the Riparian Corridor and Floodplain Conservation District overlay zoning ordinances currently in place, which currently affords a high level of protection to these lands. Copies of the letters opposing this segment of trail can be found in the report appendix.



Township owned Open Space.

Chapter Three

An alternative alignment along Valley Forge Road was proposed to provide a connection to Heebner Park. In order to keep this pedestrian only facility within the existing road right-of-way (ROW), the Township will need to work with PennDOT for the possible installation of shoulder improvements, lane shifting, and/or a new sidewalk facility when designing this connection. If there is insufficient space within the existing ROW, the Township may consider approaching the landowners along the western edge of the roadway to negotiate a trail easement.

Other opportunities for limited access trail development are proposed to do the following: 1) connect Community Hall with Evansburg State Park in the Township's southwest corner; and 2) connect Heebner Park with Nike Park in the south central portion of the Township.



Horses in southwest Worcester Township.

The total length of this proposed limited access trail system is 10.33 miles. Costs for these trail segments can be found in the Opinion of Probable Development Cost Summary Chart at the end of this chapter.

Proposed Greenway Alignments Map and Opinion of Probable Development Costs Summary Chart

The Proposed Greenway Alignment exhibit found at the end of this chapter shows the schematic locations of both the proposed multi-use and limited access greenway trail systems. Both of these systems are labeled and itemized by points and segments. These points and segments correspond to the Opinion of Probable Development Costs spreadsheet following the map exhibit. Each point and segment's existing conditions and proposed improvements with associated costs are provided for both the Multi-Use and Limited Access trail systems. Multi-Use trails are labeled with numbers (1, 2, 3, etc.) and the Limited Access trails with letters (A, B, C, etc.). Corresponding trail segments are labeled within the costs spreadsheet by the numbers or letters associated with their endpoints (2-3, B-d, etc.) This point and segment labeling system will allow the Township to select individual or groups of trail sections when applying for trail funding.



Pond adjacent to Mill Road.

Legend:

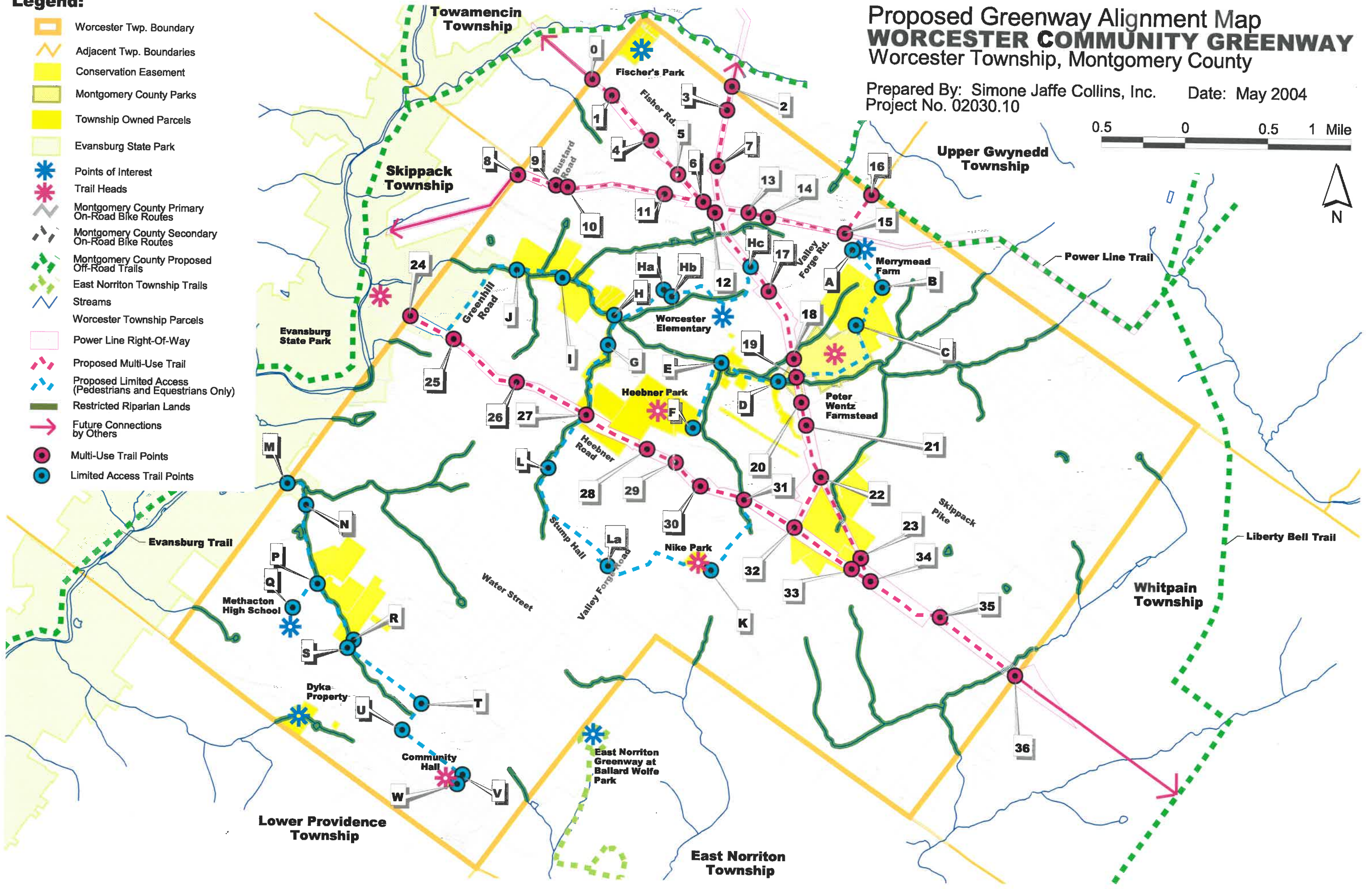
-  Worcester Twp. Boundary
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-  Township Owned Parcels
-  Evansburg State Park
-  Points of Interest
-  Trail Heads
-  Montgomery County Primary On-Road Bike Routes
-  Montgomery County Secondary On-Road Bike Routes
-  Montgomery County Proposed Off-Road Trails
-  East Norriton Township Trails
-  Streams
-  Worcester Township Parcels
-  Power Line Right-Of-Way
-  Proposed Multi-Use Trail
-  Proposed Limited Access (Pedestrians and Equestrians Only)
-  Restricted Riparian Lands
-  Future Connections by Others
-  Multi-Use Trail Points
-  Limited Access Trail Points

Proposed Greenway Alignment Map

WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc. Date: May 2004
 Project No. 02030.10



Worcester Township Community Greenway Plan
 OPINION OF PROBABLE DEVELOPMENT COSTS

MULTI-USE TRAILS Point ID#	Segment ID	Length (FT)	Description	Ultimate Improvements	UNIT	UNIT COST	SUBTOTAL	TOTAL
0	-	-	Terminus at Township Boundary		-	-	-	-
-	0-1	844	Township Boundary to Bustard Road	Multi Use Path (Asphalt)	LF	\$16	\$13,504	\$16,036
				Hiking / Horse Path	LF	\$3	\$2,532	
				Substitute Stone Dust	LF	-\$8	-\$6,752	
1	-	1878	Bustard Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	1-4	-	Bustard Road to Hollis Road	Multi Use Path (Asphalt)	LF	\$16	\$30,048	\$35,682
				Hiking / Horse Path	LF	\$3	\$5,634	
				Substitute Stone Dust Path	LF	-\$8	-\$15,024	
2	-	-	Terminus at Morris Road		-	-	-	-
-	2-3	758	Morris Road to Wentz Church Road	Multi Use Path (Asphalt)	LF	\$16	\$12,128	\$14,402
				Hiking / Horse Path	LF	\$3	\$2,274	
				Substitute Stone Dust Path	LF	-\$8	-\$6,064	
3	-	-	Wentz Church Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	3-7	1802	Wentz Church Road to Fisher Road	Multi Use Path (Asphalt)	LF	\$16	\$28,832	\$34,238
				Hiking / Horse Path	LF	\$3	\$5,406	
				Substitute Stone Dust Path	LF	-\$8	-\$14,416	
4	-	-	Hollis Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	4-5	1403	Hollis Road to Wentz Church Road	Multi Use Path (Asphalt)	LF	\$16	\$22,448	\$26,657
				Hiking / Horse Path	LF	\$3	\$4,203	
				Substitute Stone Dust Path	LF	-\$8	-\$11,224	
5	-	-	Wentz Church Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	5-6	1167	Wentz Church Road to Junction of Trail from Point #6 to Point #8	Multi Use Path (Asphalt)	LF	\$16	\$18,672	\$22,173
				Hiking / Horse Path	LF	\$3	\$3,501	
				Substitute Stone Dust Path	LF	-\$8	-\$9,336	
6	-	-	Multi-Use Trail Junction		-	-	-	-
-	6-12	505	Multi-Use Trail Junction to Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$8,080	\$9,595
				Hiking / Horse Path	LF	\$3	\$1,515	
				Substitute Stone Dust Path	LF	-\$8	-\$4,040	
7	-	-	Fisher Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	7-12	1511	Fisher Road to Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$24,176	\$28,709
				Hiking / Horse Path	LF	\$3	\$4,533	
				Substitute Stone Dust Path	LF	-\$8	-\$12,088	
8	-	-	Terminus at Township Boundary		-	-	-	-
-	8-9	1243	Township Boundary to Bustard Road	Multi Use Path (Asphalt)	LF	\$16	\$19,888	\$23,617
				Hiking / Horse Path	LF	\$3	\$3,729	
				Substitute Stone Dust Path	LF	-\$8	-\$9,944	
9	-	-	Bustard Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	9-10	395	Bustard Road to Hollis Road	Multi Use Path (Asphalt)	LF	\$16	\$6,320	\$7,505
				Hiking / Horse Path	LF	\$3	\$1,185	
				Substitute Stone Dust Path	LF	-\$8	-\$3,160	
10	-	-	Hollis Road Crossing	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	10-11	3125	Hollis Rod to Wentz Church Road	Multi Use Path (Asphalt)	LF	\$16	\$50,000	\$59,375
				Hiking / Horse Path	LF	\$3	\$9,375	
				Substitute Stone Dust Path	LF	-\$8	-\$25,000	
11	-	-	Wentz Church Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	11-6	1249	Wentz Church Road to Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$19,984	\$23,731
				Hiking / Horse Path	LF	\$3	\$3,747	
				Substitute Stone Dust Path	LF	-\$8	-\$9,992	
12	-	-	Multi-Use Trail Junction		-	-	-	-
-	12-13	1080	Multi-Use Trail Junction to Fisher Road	Multi Use Path (Asphalt)	LF	\$16	\$17,280	\$20,520
				Hiking / Horse Path	LF	\$3	\$3,240	
				Substitute Stone Dust Path	LF	-\$8	-\$8,640	
-	12-17	3035	Multi-Use Trail Junction to Valley Forge Road	Multi Use Path (Asphalt)	LF	\$16	\$48,560	\$87,665
				Hiking / Horse Path	LF	\$3	\$9,105	
				Stream Crossing	LS	\$30,000	\$30,000	

Worcester Township Community Greenway Plan
OPINION OF PROBABLE DEVELOPMENT COSTS

Point ID#	Segment ID	Length (FT)	Description	Ultimate Improvements	UNIT	UNIT COST	SUBTOTAL	TOTAL
13	-	-	Fisher Road Crossing (Includes Gates / Bollards)	Substitute Stone Dust Path	LF	-\$8	-\$24,280	\$15,000
-	13-14	638	Fisher Road to Scheid Way Road	Road Crossing	LS	\$15,000	\$15,000	\$12,122
				Multi Use Path (Asphalt)	LF	\$16	\$10,208	
				Hiking / Horse Path	LF	\$3	\$1,914	
				Substitute Stone Dust Path	LF	-\$8	-\$5,104	
14	-	-	Scheid Way Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	14-15	2481	Scheid Way Road to Valley Forge Road	Multi Use Path (Asphalt)	LF	\$16	\$39,696	\$47,139
				Hiking / Horse Path	LF	\$3	\$7,443	
				Substitute Stone Dust Path	LF	-\$8	-\$19,848	
15	-	-	Valley Forge Road	Multi Use Path (Asphalt)	LF	\$16	\$24,192	\$28,728
-	15-16	1512	Valley Forge Road to Morris Road	Hiking / Horse Path	LF	\$3	\$4,536	
				Substitute Stone Dust Path	LF	-\$8	-\$12,096	
16	-	-	Terminus at Morris Road	Road Crossing	LS	\$20,000	\$20,000	\$20,000
17	-	-	Valley Forge Road Crossing (Includes Gates / Bollards)	Multi Use Path (Asphalt)	LF	\$16	\$37,760	\$74,840
-	17-18	2360	Valley Forge Road to Shearer Road	Hiking / Horse Path	LF	\$3	\$7,080	
				Stream Crossing	LS	\$30,000	\$30,000	
				Substitute Stone Dust Path	LF	-\$8	-\$18,880	
18	-	-	Shearer Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	18-19	600	Shearer Road to Schulz Road (Old Alignment)	Multi Use Path (Asphalt)	LF	\$16	\$9,600	\$11,400
				Hiking / Horse Path	LF	\$3	\$1,800	
				Substitute Stone Dust Path	LF	-\$8	-\$4,800	
19	-	-	Schulz Road Crossing (Old Alignment)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	19-20	811	Shearer Road Crossing to Skipack Pike	Multi Use Path (Asphalt)	LF	\$16	\$12,976	\$45,409
				Hiking / Horse Path	LF	\$3	\$2,433	
				Stream Crossing	LS	\$30,000	\$30,000	
				Substitute Stone Dust Path	LF	-\$8	-\$6,468	
20	-	-	Skipack Pike Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$25,000	\$25,000	\$25,000
-	20-21	736	Skipack Pike to Highview Drive	Multi Use Path (Asphalt)	LF	\$16	\$11,776	\$13,984
				Hiking / Horse Path	LF	\$3	\$2,208	
				Substitute Stone Dust Path	LF	-\$8	-\$5,888	
21	-	-	Highview Drive Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	21-22	1752	Highview Drive to Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$28,032	\$33,288
				Hiking / Horse Path	LF	\$3	\$5,256	
				Substitute Stone Dust Path	LF	-\$8	-\$14,016	
22	-	-	Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$45,680	\$84,245
-	22-23	2855	Multi-Use Trail Junction to Berks Road	Hiking / Horse Path	LF	\$3	\$8,565	
				Stream Crossing	LS	\$30,000	\$30,000	
				Substitute Stone Dust Path	LF	-\$8	-\$22,840	
				Multi Use Path (Asphalt)	LF	\$16	\$28,656	\$34,029
				Hiking / Horse Path	LF	\$3	\$5,373	
				Substitute Stone Dust Path	LF	-\$8	-\$14,328	
23	-	-	Berks Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	23-34	784	Berks Road to Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$12,544	\$14,896
				Hiking / Horse Path	LF	\$3	\$2,352	
				Substitute Stone Dust Path	LF	-\$8	-\$6,272	
24	-	-	Terminus at Township Boundary	Multi Use Path (Asphalt)	LF	\$16	\$25,184	\$29,906
-	24-25	1574	Township Boundary to Greenhill Road	Hiking / Horse Path	LF	\$3	\$4,722	
				Substitute Stone Dust Path	LF	-\$8	-\$12,592	
25	-	-	Greenhill Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
-	25-26	2513	Greenhill Road to Kreibel Road	Multi Use Path (Asphalt)	LF	\$16	\$40,208	\$47,747
				Hiking / Horse Path	LF	\$3	\$7,539	
				Substitute Stone Dust Path	LF	-\$8	-\$20,104	
26	-	-	Kreibel Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000

Worcester Township Community Greenway Plan
OPINION OF PROBABLE DEVELOPMENT COSTS

Point ID#	Segment ID	Length (FT)	Description	Ultimate Improvements	UNIT	UNIT COST	SUBTOTAL	TOTAL
	26-27	2476	Kreibel Road to Hollow Road	Multi Use Path (Asphalt)	LF	\$16	\$39,616	\$77,044
				Hiking / Horse Path	LF	\$3	\$7,428	
				Stream Crossing	LS	\$30,000	\$30,000	
				Substitute Stone Dust Path	LF	-\$8	-\$19,808	
27	27-28	2208	Hollow Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
				Multi Use Path (Asphalt)	LF	\$16	\$35,328	\$41,952
				Hiking / Horse Path	LF	\$3	\$6,624	
				Substitute Stone Dust Path	LF	-\$8	-\$17,664	
28	28-29	1033	Sherley Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
				Sherley Road to Valley Forge Road	LF	\$16	\$16,528	\$19,627
				Multi Use Path (Asphalt)	LF	\$3	\$3,099	
				Hiking / Horse Path	LF	\$3	\$3,099	
				Substitute Stone Dust Path	LF	-\$8	-\$8,264	
29	29-30	1069	Valley Forge Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$25,000	\$25,000	\$25,000
				Valley Forge Road to Landis Road	LF	\$16	\$17,104	\$20,311
				Multi Use Path (Asphalt)	LF	\$16	\$17,104	
				Hiking / Horse Path	LF	\$3	\$3,207	
				Substitute Stone Dust Path	LF	-\$8	-\$8,552	
30	30-31	1475	Landis Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$20,000	\$20,000	\$20,000
				Landis Road to Junction Limited Access Trail	LF	\$16	\$23,600	\$88,029
				Multi Use Path (Asphalt)	LF	\$16	\$23,600	
				Hiking / Horse Path	LF	\$3	\$4,425	
				Stream Crossing	LS	\$30,000	\$30,000	
				Substitute Stone Dust Path	LF	-\$8	-\$11,800	
31	31-32	1805	Multi-Use Trail / Limited Access Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$29,680	\$34,295
				Junction Limited Access Trail to Multi-Use Trail Junction	LF	\$3	\$5,415	
				Hiking / Horse Path	LF	\$3	\$5,415	
				Substitute Stone Dust Path	LF	-\$8	-\$14,440	
32	32-33	2272	Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$36,352	\$43,168
				Multi-Use Trail Junction to Berks Road	LF	\$3	\$6,816	
				Hiking / Horse Path	LF	\$3	\$6,816	
				Substitute Stone Dust Path	LF	-\$8	-\$18,176	
33	33-34	698	Berks Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$15,000	\$15,000	\$15,000
				Berks Road to Multi-Use Trail Junction	LF	\$16	\$11,168	\$13,262
				Multi Use Path (Asphalt)	LF	\$3	\$2,094	
				Hiking / Horse Path	LF	\$3	\$2,094	
				Substitute Stone Dust Path	LF	-\$8	-\$5,584	
34	34-35	2566	Multi-Use Trail Junction	Multi Use Path (Asphalt)	LF	\$16	\$41,056	\$48,754
				Multi-Use Trail Junction to Whitehall Road	LF	\$3	\$7,698	
				Hiking / Horse Path	LF	\$3	\$7,698	
				Substitute Stone Dust Path	LF	-\$8	-\$20,528	
35	35-36	2566	Whitehall Road Crossing (Includes Gates / Bollards)	Road Crossing	LS	\$25,000	\$25,000	\$25,000
				Whitehall Road to North Wales Road	LF	\$16	\$41,056	\$88,754
				Multi Use Path (Asphalt)	LF	\$16	\$41,056	
				Hiking / Horse Path	LF	\$3	\$7,698	
				Stream Crossing	LS	\$30,000	\$30,000	
				Railroad Crossing	LS	\$10,000	\$10,000	
				Substitute Stone Dust Path	LF	-\$8	-\$20,528	
36			Terminus at North Wales Road / Township Boundary					

Total Distance (Miles)

11.09

TOTAL MULTI-USE TRAIL SYSTEM
w/ASPHALT SURFACE

\$1,732,830

w/STONE DUST SURFACE

\$1,264,270

Worcester Township Community Greenway Plan
 OPINION OF PROBABLE DEVELOPMENT COSTS

LIMITED ACCESS TRAILS

Point ID#	Segment ID	Description	Length (FT)	Ultimate Improvements	UNIT	UNIT COST	SUBTOTAL	TOTAL
A	-	Terminus at Merrymead Farm	-	-	-	-	-	-
B	A-B	Merrymead Farm to Gerstemeier Parcel	1612	Hiking / Equestrian Path	LF	\$3	\$4,836	\$4,836
C	B-C	Parcel Boundary (Conservation Easement)	-	-	-	-	-	-
D	-	Trail through parcel (Conservation Easement)	1605	Hiking / Equestrian Path	LF	\$3	\$4,815	\$4,815
E	-	Parcel Boundary (Conservation Easement)	-	-	-	-	-	-
F	C-19	Parcel Boundary (Conservation Easement) through Peter Wentz to Multi-Use Trail	3468	Hiking / Equestrian Path	LF	\$3	\$10,404	\$10,404
G	-	Skipack Pike Road Crossing	-	-	-	-	-	-
H	D-19	Skipack Pike Road to Multi-Use Trail	600	Road Crossing	LS	\$10,000	\$10,000	\$10,000
I	D-E	Skipack Pike to Valley Forge Road through Township Owned Land	1948	Hiking / Equestrian Path	LF	\$3	\$1,800	\$1,800
J	-	Valley Forge Road Crossing	-	-	-	-	-	-
K	E-F	Zacharias Creek to Heebner Park along Valley Forge Road	2560	Road Crossing	LS	\$5,844	\$5,844	\$5,844
L	-	Heebner Park (Connect to Existing Trails)	-	-	-	-	-	-
M	-	Fawn Road Crossing	-	-	-	-	-	-
N	G-27	Fawn Road to Multi-Use Trail through Township Owned Land	2488	Road Crossing	LS	\$5,000	\$5,000	\$5,000
O	G-H	Fawn Road to Zacharias Creek through Township Owned Land	1024	Hiking / Equestrian Path	LF	\$3	\$7,464	\$7,464
P	-	Zacharias Creek at Hollow Road - Township Owned Land	-	-	-	-	-	-
Q	H-I	Zacharias Creek at Hollow Road to Greenhill Road - Township Owned Land / Conservation Easement	2240	Hiking Path	LF	\$3	\$3,072	\$3,072
R	-	Zacharias Creek at Hollow Road to Skipack Pike	-	-	-	-	-	-
S	H-Ha	Zacharias Creek at Hollow Road to Skipack Pike	1960	Hiking / Equestrian Path	LF	\$3	\$6,720	\$6,720
T	-	Hollow Road Crossing at Skipack Pike	-	-	-	-	-	-
U	Ha-Hb	Hollow Road to Meadowood Entrance	330	H/E Path, Road Shoulder	LS	\$8	\$15,680	\$15,680
V	-	Skipack Pike Road Crossing	-	-	-	-	-	-
W	Hb-Hc	Meadowood Trail	3730	H/E Path, Road Shoulder	LS	\$8	\$2,640	\$2,640
X	-	Junction with Multi-Use Trail	-	-	-	-	-	-
Y	Hc	Greenhill Road Crossing	-	-	-	-	-	-
Z	-	Greenhill Road to Evansburg State Park Boundary - Conservation Easement Property	-	-	-	-	-	-
AA	I-J	Greenhill Road to Evansburg State Park Boundary - Conservation Easement Property	1539	Hiking / Equestrian Path	LF	\$3	\$11,190	\$11,190
AB	-	Evansburg State Park Boundary	-	-	-	-	-	-
AC	J-25	Evansburg State Park Boundary to Multi-Use Trail	3152	Road Crossing	LS	\$5,000	\$5,000	\$5,000
AD	-	Terminus at Russell Place Park	-	-	-	-	-	-
AE	K-31	Russell Place Park to Multi-Use Trail	2736	Hiking / Equestrian Path	LF	\$3	\$9,456	\$9,456
AF	-	Terminus at Hollow and Stump Hall Road	-	-	-	-	-	-
AG	L	Hollow and Stump Hall Road Intersection to Multi-Use Trail	2150	H/E Path, Road Shoulder	LS	\$8	\$21,888	\$21,888
AH	L-27	Stump Hall to Valley Forge Road	4330	Hiking / Equestrian Path	LF	\$3	\$6,450	\$6,450
AI	-	Valley Forge Road Crossing	-	-	-	-	-	-
AJ	L-La	Valley Forge Road to Russell Place Park	2960	Hiking / Equestrian Path	LF	\$3	\$12,990	\$12,990
AK	-	Township Boundary at Evansburg State Park	-	-	-	-	-	-
AL	La-K	Township Boundary to Boundary of Evansburg State Park	1203	Road Crossing	LS	\$10,000	\$10,000	\$10,000
AM	M	Evansburg State Park Boundary	-	-	-	-	-	-
AN	M-N	Evansburg State Park Boundary to Kreibel Mill Road	2552	Hiking / Equestrian Path	LF	\$3	\$8,880	\$8,880
AO	-	Evansburg State Park to Kreibel Mill Road	-	-	-	-	-	-
AP	N-P	Kreibel Mill Road Crossing	-	-	-	-	-	-
AQ	P-Q	Hiking Trail at Kreibel Mill Road to Melhaddon High School	1175	Hiking / Equestrian Path	LF	\$3	\$7,656	\$7,656
AR	P-R	Kreibel Mill Road to Merrybrook Road	2230	Hiking / Equestrian Path	LF	\$3	\$9,400	\$9,400
AS	-	Merrybrook Road	-	-	-	-	-	-
AT	R-S	Merrybrook Road to Mill Road Intersection	311	Hiking / Equestrian Path	LF	\$8	\$2,488	\$2,488
AU	-	Merrybrook Road - Mill Road Intersection	-	-	-	-	-	-
AV	S-T	Mill Road from Merrybrook Road to Quarry Hall Road	2950	Hiking / Equestrian Path	LF	\$8	\$23,600	\$23,600
AW	-	Mill Road - Quarry Hall Road Intersection	-	-	-	-	-	-
AX	T-U	Quarry Hall Road from Mill Road to Griffith Road	1063	Hiking / Equestrian Path	LF	\$8	\$8,504	\$8,504
AY	-	Quarry Hall Road - Griffith Road Intersection	-	-	-	-	-	-
AZ	U-Y	Griffith Road from Quarry Hall Road to Valley Forge Road	2383	Hiking / Equestrian Path	LF	\$8	\$19,064	\$19,064
BA	-	Griffith Road - Valley Forge Road Intersection	-	-	-	-	-	-
BB	V-W	Valley Forge Road from Griffith Road to Community Hall	258	Hiking / Equestrian Path	LF	\$8	\$2,064	\$2,064
BC	-	Terminus at Community Hall	-	-	-	-	-	-
Total Distance (Miles)								10.33
TOTAL LIMITED ACCESS TRAILS								\$302,301

Implementation and Funding Strategy

Implementation and Funding Strategy

Phased Implementation Plan

1. Limited Access Pedestrian / Equestrian Trails Phase

Priority #1 - Design and Construct the trail connection between Heebner Park and Evansburg State Park. The Township already owns the land and trail easements necessary to implement this trail connection. This should be the first implementation project resulting from this plan.

The consultant and members of the Study Committee met in early December to perform a site walk along the Zacharias Creek from Hollow Road to Evansburg State Park. The purpose of this walk was to investigate a trail location through Township owned land and the conservation easement through the Markel property. An initial alignment recommendation map can be found at the end of this chapter.

Priority #2 - Acquire the land or trail easements necessary to make the Zacharias Creek to Worcester Elementary and Peter Wentz Farmstead connection possible. The existing right-of-way along Hollow Road and short section of Skippack Pike are wide enough to include an adjacent trail. PennDOT will need to be consulted regarding providing safe crossings of Skippack Pike at the Meadowwood entrance (Trail Point Hb) and at Valley Forge Road and the PECO right-of-way (Trail Point 17). Agreements for control of the land will need to be reached with the Meadowwood Community, who have expressed their support of the plan, and with any existing lessees within the PECO right-of-way between Meadowwood and the Peter Wentz Farmstead. Existing conditions of high traffic volume and the lack of adequate pedestrian facilities at the intersection of Valley Forge Road (Rt. 363) and Skippack Pike (Rt. 73) will require significant improvements to allow for safe pedestrian connections to Worcester Elementary and the Farmers Union at this intersection.

Priority #3 - Merrymeade Farm to Peter Wentz Farmstead to Heebner Park. Control for part of this connection exists through Township owned land and a trail easement through the Gerstemeier property. Easements through the Merrymeade Complex and coordination with PennDOT will be required to obtain passage for the rest of the route. The more difficult portion of this connection will be the development of a trail and at least one road crossing within the Valley Forge Road right-of-way between the Zacharias Creek and entrance to Heebner Park.

In general, the Township should actively pursue, or at least keep an eye on for future possibilities, for the acquisition of trail easements through the privately owned land along the proposed 'Limited Access' trail corridors. As stated in Chapter Three, these 'Limited Access' trails will be for pedestrian and equestrian use only and will require an easement of 10 to 20 feet, depending on the existing site conditions. These easements should generally follow along the edges of existing parcel lines so as to minimize any perceived or real impacts to private property. Additional landscape

Chapter Four

screening may be installed as part of the negotiation process to ensure privacy where necessary and/or desired by the land owner.

2. Multi-Use Trails Phase

The Township should continue to work with PECO to identify the existing license agreements on PECO right-of-ways and subsequently the key areas within these right-of-ways where a multi-use trail will be most effective in terms of length and service to the local community. Certain individual sections, such as 1) between Meadowwood and the Peter Wentz Farmstead, and 2) between Heebner Park and Evansburg State Park may take priority over other sections when considering the necessity to connect to the limited access trail system.

Agreements with PECO and negotiations with the local landowners who have existing PECO license agreements will be necessary. Once agreements are in place and a continuous section of the right-of-way can be developed, the Township should consult a landscape architect and civil engineer to resolve any alignment and potential safety and accessibility issues associated with the trail's detailed design. The Township should attempt to acquire and develop as much of the existing PECO right-of-ways as possible since use of these utility corridors will minimize any actual or perceived private property impacts and will provide for the most available lands on which to develop these recreation and transportation connections.

3. Restricted Riparian Lands

All of the riparian corridors within the Township, as identified on the Proposed Greenway Alignments exhibit at the end of Chapter Three, are to be Restricted Riparian Lands.

This designation will provide additional protection to existing riparian corridor and floodplain overlay ordinances by 1) identifying these lands as potential sites for restoration projects in the event of damage caused by either increased runoff and erosion or from invasive plant materials; and, 2) ensuring that there will be no public access granted to these lands in the form of trails.

Timetable

It is anticipated that the full implementation of the Worcester Township Greenway system will require at least ten to fifteen years. Plan implementation will be the responsibility of the Township. The process and costs for acquiring license agreements from PECO and from individual lessors of sections of the PECO right-of-way will be time consuming. Additionally, the purchase of lands or easements through private property will require patience and a long-range outlook for implementation of the system. Multiple grants must be obtained over a period of a decade or more to engineer and build the system.

There will be many advantages to building limited access trails on land already owned by the Township. As these trails are utilized, there will be a growing realization in the Township about the real benefits of these trails. Residents will soon

Implementation and Funding Strategy

view these recreation linkages as integral components of community infrastructure. Fears about loss of privacy and crime that some hold will slowly melt away as neighbor meets neighbor on built sections of the trail.

Operation, Maintenance, and Security

Maintenance

Annual trail maintenance costs as estimated by the National Park Service can typically run from \$500 per mile for low-use trails to \$5,000 per mile for high-use trails. It is anticipated that sections of the Worcester Township Greenway will experience both levels of use, equalizing in relative terms to an average "moderate" trail use. Trail use is anticipated to be highest in the March to October months.

Typical trail maintenance tasks include clearing fallen trees across trails, removing dangerous trees or limbs, bridge inspections, maintaining adequate shoulder clearances along trail, cleaning drainage structures, repairing erosion and damaged trail surfaces, removing invasive plant species, trash pick-up and removal, undertaking periodic inspections, and other associated tasks.

Experience on other trails has shown that with the aid of volunteers, these maintenance costs can be brought down significantly. The utilization of volunteer labor is an important component in managing a trail. The cleaning of drainage swales, drainage structures, and trash pick-up and removal along the trail are important volunteer tasks that can have immediate positive results.

Maintenance Task Schedule:

The following is an outline of the trail maintenance tasks that should be performed annually to maintain the trails in safe condition. Some tasks such as trash pick-up, drainage structure cleaning, plantings and other maintenance tasks can be completed by volunteers. This work should be coordinated with appropriate township staff. Professional maintenance personnel from the township's public works departments best perform material-intensive tasks requiring larger equipment.

December, January and February

- Trails maintenance work in the winter months can continue dependent on weather conditions. Typical winter trail work may include:
- Trash pick-up and removal.
- Removal of dangerous trees or tree limbs.
- Clearing free-hanging vines on trees in ROW
- Minor repairs to trails (erosion repair, etc.)
- Inspect and repair/replace signs, etc as needed.
- Minor repairs to structures, fences, and bridge railings.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

March

Chapter Four

- Trash pick-up and removal.
- Trail-wide inspection for winter damage. Schedule repair work over the next two to three months.
- Obtain bare-root and other tree and shrub plant materials for spring revegetation projects.
- Install spring plantings (continue into April.)
- Distribute / post information about major trail repair and expansion projects for the spring
- Remove downed trees as required.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

April

- Bridge / Structure inspections (every other year) - staggered schedule
- Trash pick-up and removal.
- Complete tree and shrub plantings.
- Complete herbaceous and ground cover plantings.
- Begin major trail improvement project(s).
- Prepare and seed areas to prevent erosion.
- Remove downed trees as required.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

May

- Trash pick-up and removal.
- Complete spring plantings.
- First spraying of invasive species.
- Continue trail repair.
- Remove downed trees as required.
- Mow and trim (first time)
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

June

- Trash pick-up and removal.
- Continue trail repair.
- Plan for fall planting.
- Removed downed trees as required.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

July

- *Trash pick-up and removal.*
- *Continue trail repair.*
- *Undertake second spraying of invasive species.*
- *Remove downed trees as required.*

Implementation and Funding Strategy

- *Mow and trim (second time)*
- *Keep drainage ways clear and clean out culverts as required*
- *Keep bridge deck surfaces clear and fencing/railing free of vegetation*

August

- Trash pick-up and removal.
- Continue trail repair.
- Distribute / post information about major trail repair and expansion projects for the fall
- Remove downed trees as required.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

September

- Trash pick-up and removal.
- Continue trail repair.
- Undertake third spraying of invasive species.
- Remove downed trees as required.
- Mow and trim (Third time)
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

October

- Trash pick-up and removal.
- Continue trail repair.
- Complete fall planting of balled and burlapped trees in "structured" areas (i.e. trail heads, picnic areas.)
- Plan for spring planting.
- Remove downed trees as required.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

November

- Trash pick-up and removal.
- Continue trail repair.
- Remove downed trees as required.
- Keep drainage ways clear and clean out culverts as required
- Keep bridge deck surfaces clear and fencing/railing free of vegetation

Maintenance should not be deferred. Deferring maintenance for short-term savings is a faulty strategy with a poor chance of long-term success. Most funding agencies do not fund operational costs. If the trail quality deteriorates and does not provide a high quality recreation experience, it will lose popular support and thus funding. Maintenance costs will only increase and must be planned for by the Township and any management partners.

The Farmers Union Horse Company has expressed an interest in assisting the

Chapter Four

Township with the creation and maintenance of the equestrian trails (ref: letter in appendix).

Operations and Security

As uses of each trail section increases, both operations and security of the trail will become somewhat easier. Initially, while trail use is low, there may be a greater occurrence of unwanted activity. Littering, vandalism and underage drinking are typical negative activities that occur on some trails. As runners, hikers, cyclists and other trail users populate the trail, they will become the eyes and ears of "authority". Increasing numbers of trail users will have cell phones. People engaged in negative activities will not wish to be seen performing these activities and they usually will go elsewhere. This has been the general experience on trails across the country.

Trail users also help the township maintain and operate the trails. When there are problems, trail users notify the township about the issue. This is a beneficial process that leads to the smooth operation of the trail. It is important that municipal office phone numbers and e-mail addresses be posted at the various trail heads and trail connection access points as a part of trail signage.

There will inevitably be injuries that occur on the trail. The multi-purpose sections of the trail will be designed to be accessible by police vehicles and ambulances to deal with these occurrences. Municipal maintenance vehicles, such as pickup trucks, will also access the trail for periodic inspections or maintenance. Bollards, gates and other vehicular controls will keep out private motor vehicles.

Potential Funding Sources

Surface Transportation Program (STP):

Eligible projects include the construction of bicycle transportation facilities; construction of pedestrian walkways; bicycle safety brochures, maps and public service announcements. Any bicycle project must be primarily a transportation project and STP projects should encourage desirable traffic patterns. Additionally, STP projects should sensitize people to environmental and social concerns.

Ten percent of STP funds are set aside for Transportation Enhancements (TE). TE projects enhance the environs of the transportation network. STP projects are not required to demonstrate impacts on traffic or transit.

TEA-21 Enhancements - The Transportation Equity Act for the 21st Century (TEA-21) is a federal program that funds transportation related projects and is a direct successor to the 1991 Intermodal Surface Transportation Efficiency Act (ISTEA). The bill allocated approximately \$217 billion nationwide over six years and includes funding for recreational trails and parks. In Pennsylvania, the Department of Transportation (PennDOT) administers several TEA-21 bicycle and pedestrian related programs. Currently, the reauthorization of TEA-21, or TEA-3 as it will be called, is being deliberated in Congress and is expected to be passed in the very near future. More information on this program and its reauthorization can be found on the website:

<http://www.tea3.org/>
Legislative Funding:

Township of Worcester, Montgomery County, Pennsylvania

Implementation and Funding Strategy

State and federal elected officials can often include items into legislation for worthy projects in their districts. A conversation between county and municipal officials and legislators is the way to begin this process. This should be a well-coordinated effort between the county and Worcester Township. This type of funding should be targeted toward capital improvement projects.

DCNR - Community Conservation Partnerships Program

The Community Conservation Partnerships Program is a combination of several funding sources and grant programs: the Commonwealth's Keystone Recreation, Park and Conservation Fund (Key 93), the Environmental Stewardship and Watershed Protection Act (Growing Greener), and Act 68 Snowmobile and ATV Trails Fund. The Program also includes federal funding from the Land and Water Conservation Fund (LWCF) and the Recreational Trails component of the Transportation Equity Act for the Twenty-first Century (TEA-21).

The C2P2 contains the following grant components: Community Recreation, Land Trusts, Rails-to-Trails, Rivers Conservation, Snowmobile/ATV, Heritage Parks, Land and Water Conservation Fund and Recreational Trails. Except for the Heritage Parks grants, all other components have been combined into one annual application cycle (generally late summer/early fall), and use a single application format and process with one grant manual and one set of application forms. Applications selected for federal LWCF funding require some supplemental information to enable submission of the application to the National Park Service (NPS). Generally, all components require a match, usually 50 percent of cash or in-hand contributions.

PA Historic and Museum Commission (PHMC):

The competition in this program is considerable for relatively small grant awards. Application and administration for these grants are time consuming and this should be considered when deciding whether to apply. Perhaps the best target for PHMC KEYstone funds is for the museum function of preparing an interpretive plan for a trail that highlights historical sites. This source might be applicable to the trail proposal in the Peter Wentz Farmstead.

PA Growing Greener:

The Growing Greener Program signed into law by Governor Tom Ridge in 1999 will invest millions over five years to preserve farmland and protect open space; eliminate the maintenance backlog in State Parks; clean up abandoned mines; restore watersheds; and provide new and upgraded water and sewer systems.

In 2002, the state legislature added additional monies to the program due to its great popularity. Four different agencies are involved in helping communities "grow greener" under the Environmental Stewardship & Watershed Protection Act: Departments of Environmental Protection, Agriculture, Conservation and Natural Resources and PENNVEST. Of these four agencies, projects that may be applicable to the trail development will most likely be funded by the Department of Conservation and Natural Resources.

The Act authorizes grants for acid mine drainage abatement, mine cleanup efforts, abandoned oil and gas well plugging and local watershed-based conservation projects. These projects can include: watershed assessments and development of

Chapter Four

watershed restoration or protection plans, implementation of watershed restoration or protection projects, stormwater management wetlands, riparian buffer fencing and planting, streambank restoration and agricultural BMPs. These grants are available to a variety of eligible applicants, including: counties, authorities and other municipalities; county conservation districts; watershed organizations; and other organizations involved in the restoration and protection of Pennsylvania's environment. These grants will support local projects to clean up "non-point" sources of pollution throughout Pennsylvania.

Since many of the proposed trails and greenways include areas along waterways, there will be many opportunities for re-establishment of riparian buffers. It may be possible to blend Growing Greener grants with other grants for trail construction. This funding source would be most applicable to greenway corridors along township creeks.

DCED Community Revitalization Funds:

The Department of Community and Economic Development (DCED) Community Revitalization Fund is a state program that supports local initiatives that improve the stability of communities and enhance local economies. The grant program covers a wide range of eligible uses including: acquisition of land, buildings, and right-of-ways; recreation projects; programs and developments that build capacity of the local community and relevant local organizations to better serve the needs of the community, and other reasonable and necessary expenses related to community-based activities. Active support of the district's state senator and / or state representative is critical in a successful grant application.

PennDOT:

The Pennsylvania Department of Transportation may provide assistance with any on-road cycling route that is proposed. PennDOT may provide signs and installation of "share the road" markings and, if any shoulder widening is necessary, the local district may provide these improvements through their "betterment" maintenance funds. Since the township greenway and trail system consist solely of off-road routes, this funding source would not be applicable. However, the township should support county efforts to engage Penn DOT for on-road trail improvements.

Home Town Streets / Safe Routes to School Program

The PA Department of Transportation (PennDOT) has just announced a new four-year funding program called "Hometown Streets & Safe Routes to School". The intent of this program is to fund streetscape, transit, street lighting, pedestrian and bicycle-related improvements in town centers for safety and aesthetic purposes. \$200 million will be available over the four-year period. The new program requires that all federal and state environmental compliance regulations be met – as required for any federally-funded transportation project. The program guidance document can be found online at:

<http://www.dot.state.pa.us/pennDOT/Bureaus/CPDM/Prod/Saferoute.nsf>

Montgomery County:

Montgomery County may be able to provide matching funds (50/50) to state, federal or local funds through the Municipal Open Space Grant Program. This program will fund both land acquisition and development of trail and park facilities. Eligible applicants are municipalities and non-profit organizations. More information can be

Implementation and Funding Strategy

found in the report appendix.

Worcester Township:

Often, grant sources allow services “in-kind” in place of cash to count as a match. It is strongly suggested that the township immediately begin and keep a detailed inventory of municipal staff and/or official time spent on the greenway project. Occasionally, grantors may allow time spent to date to count as part of the in-kind match for funds. This record will also demonstrate a continuing commitment on the part of the township to the successful implementation of the master plan.

Private Foundations:

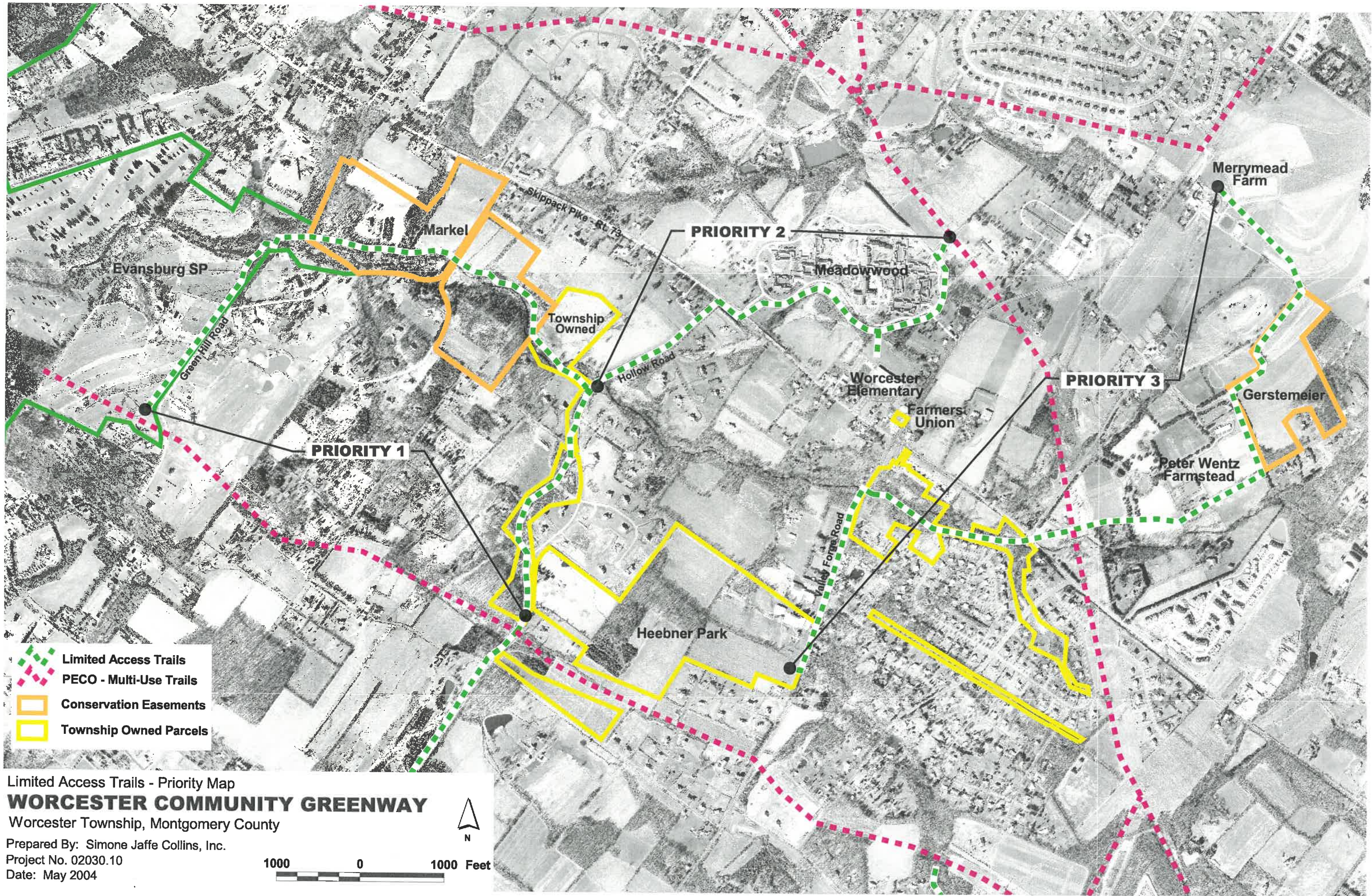
There are various corporations and foundations that support public works such as trail development. The competition for these funds has become brisk, but the opportunities should be researched. Funding must often be to non-profit organizations. The Montgomery County Lands Trust has already collaborated with the township and may be interested in working with the township in this regard.

Schools:

Local schools may also be of assistance in several ways. The student body might get involved with clubs, fundraising events, and trail cleanup days. The faculty could incorporate the trail into various curricula with students helping to develop and possibly maintain the trail as part of a classroom assignment or after school club. While the amounts of funds raised may be relatively small, this process builds constituents and support that is critical to the long-term success of the greenway and trail system.

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Limited Access Trails - Priority Map

WORCESTER COMMUNITY GREENWAY

Worcester Township, Montgomery County

Prepared By: Simone Jaffe Collins, Inc.

Project No. 02030.10

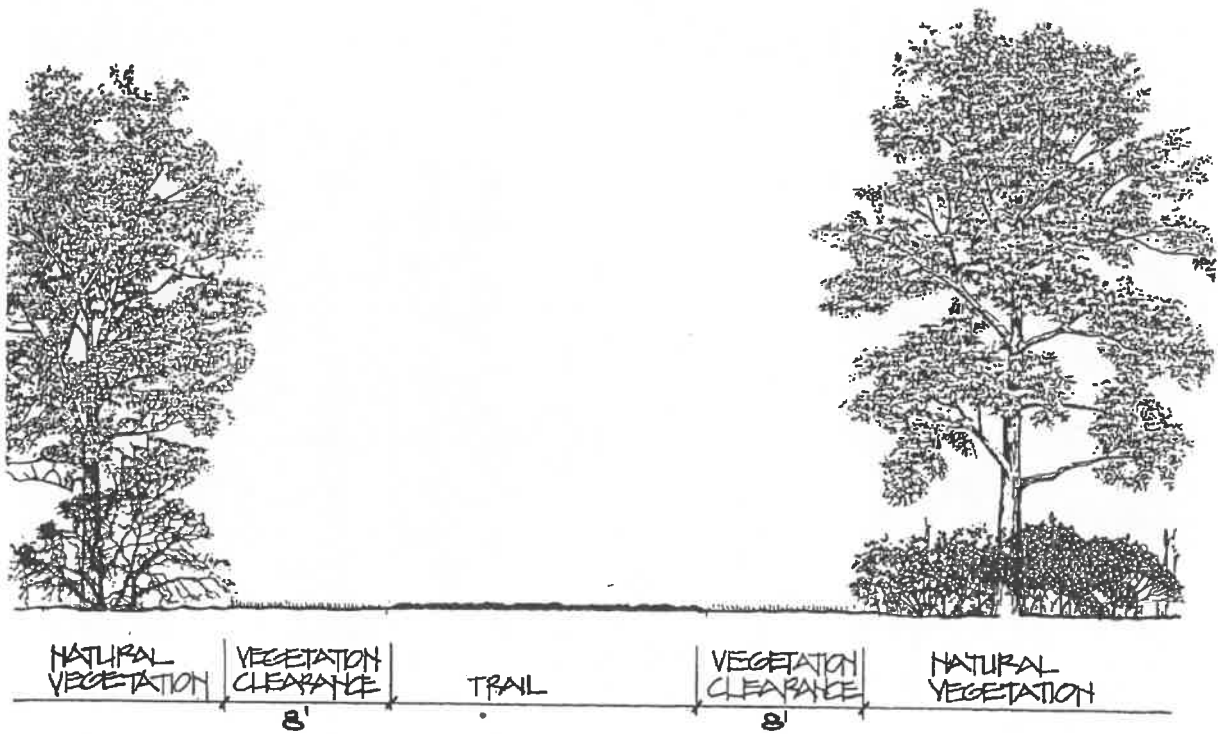
Date: May 2004



APPENDIX

Contents:

- Trail Design Guidelines
- Creating an Open Space System – Worcester Township
 - Resident Petition / Letters
- Public and Steering Committee Meeting Notes and Attendance Lists
- Key Organization/Individual Interviews Summary
 - Greenway Survey Results
 - Markel/Gerstemeier Easement Info
 - PA Recreational Use Statute
- Montgomery County Open Space Program Summary Recommendations
 - PNDI Review Letter



Vegetation clearance for trail preparation.

Source: Rails-to-Trails Conservancy

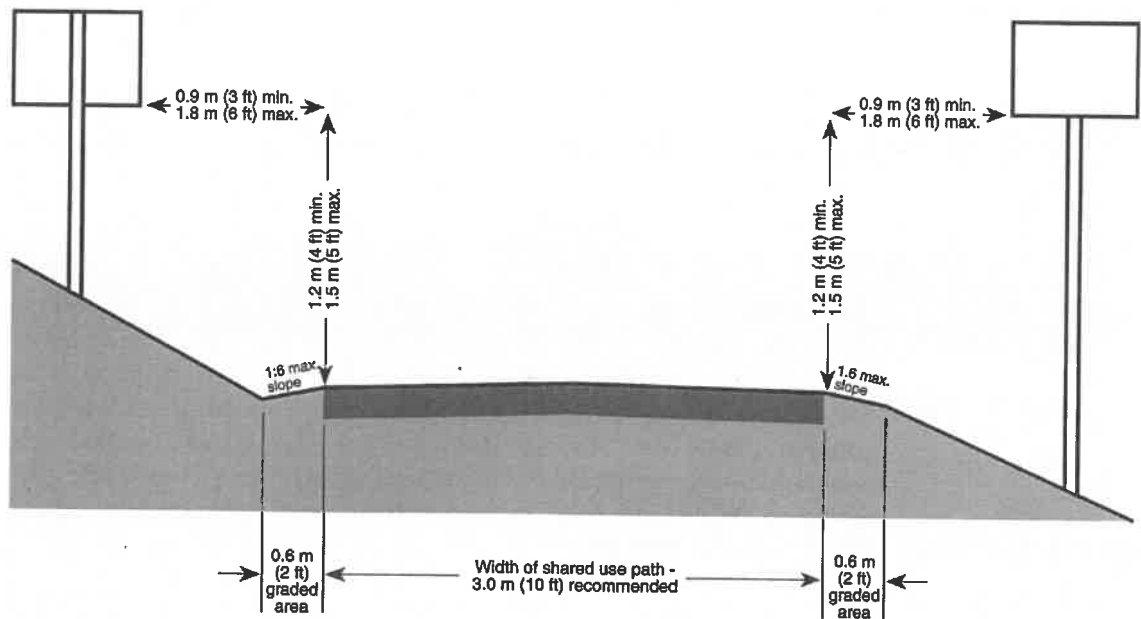


Figure 17. Cross Section of Two-Way Shared Use Path on Separated Right-of-Way

Source: AASHTO

Appendix

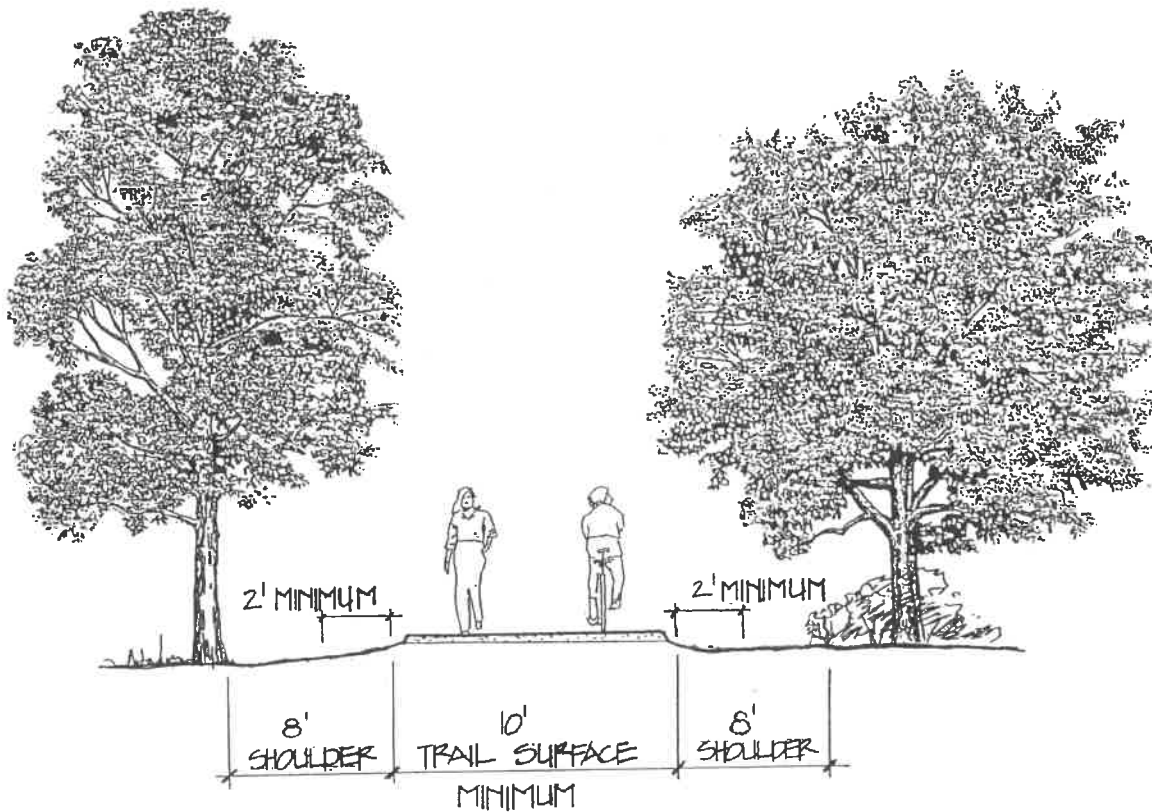


Figure 2. Typical off road trail cross section.

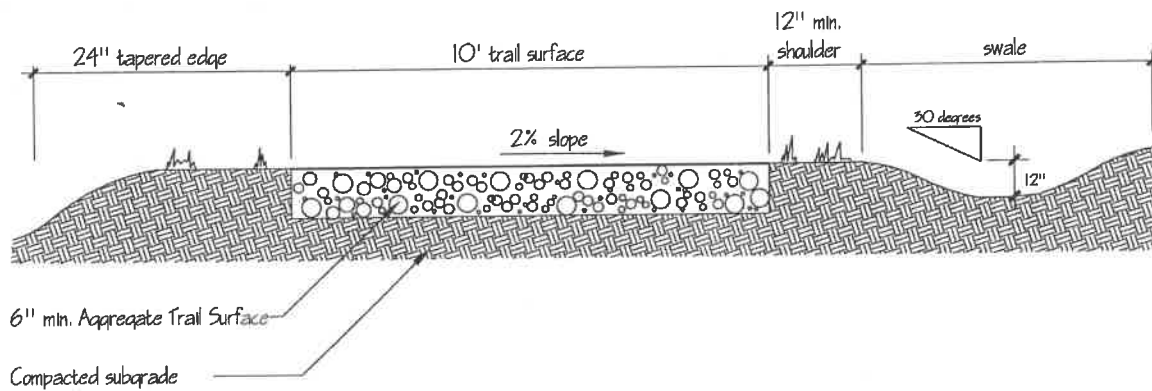
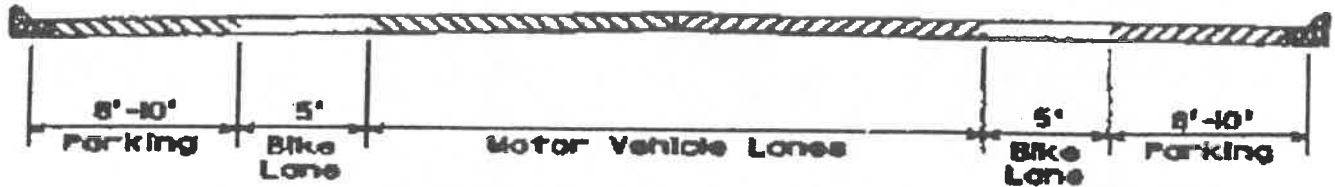
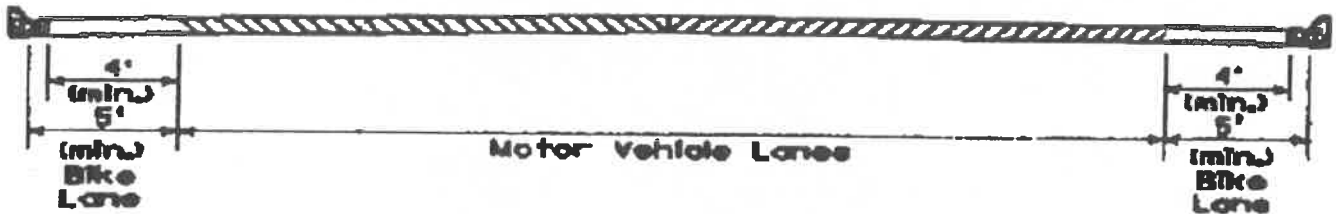


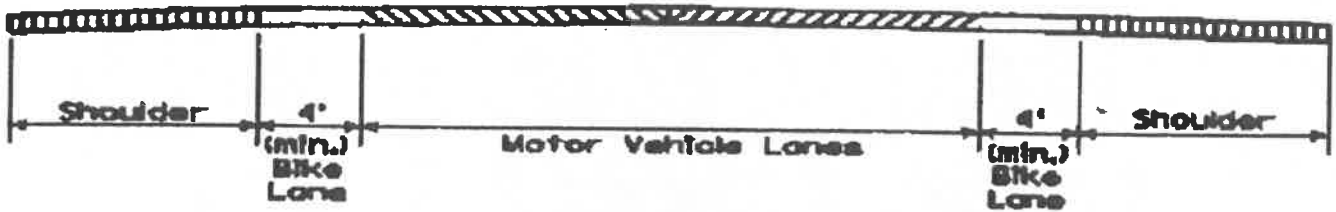
Figure 3. Typical off road trail cross section.



(b) CURBED STREET WITHOUT PARKING



(c) STREET OR HIGHWAY WITHOUT CURB OR GUTTER
+ PREFERRED *



(d) STREET OR HIGHWAY WITHOUT CURB OR GUTTER

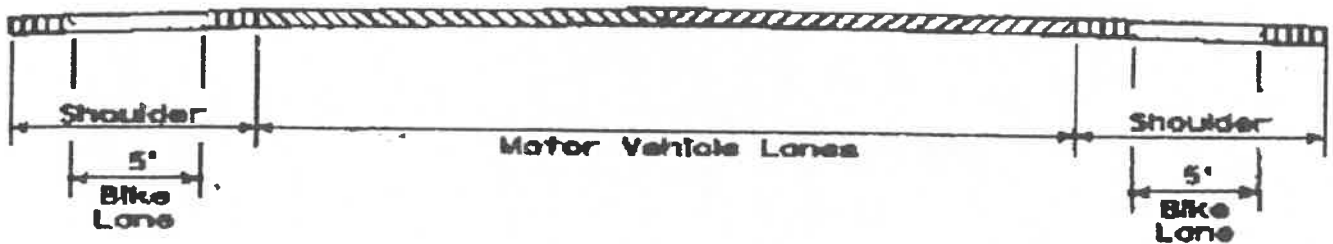


Figure 4. Typical on-road trail cross sections.

Appendix

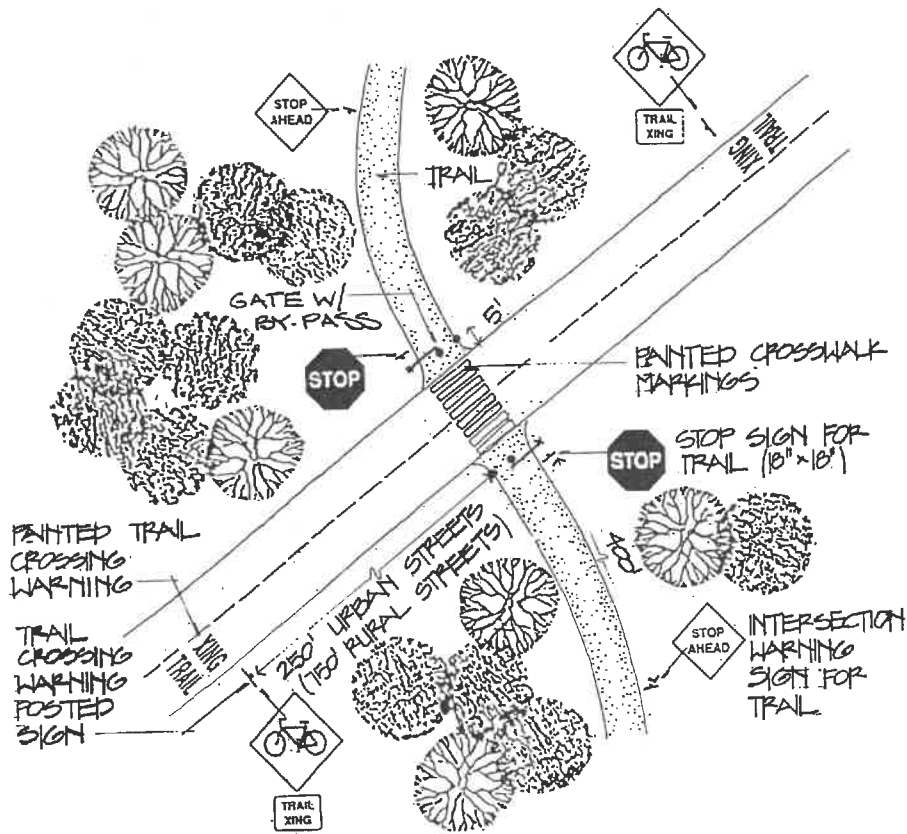


Figure 5. Typical road / trail intersection.

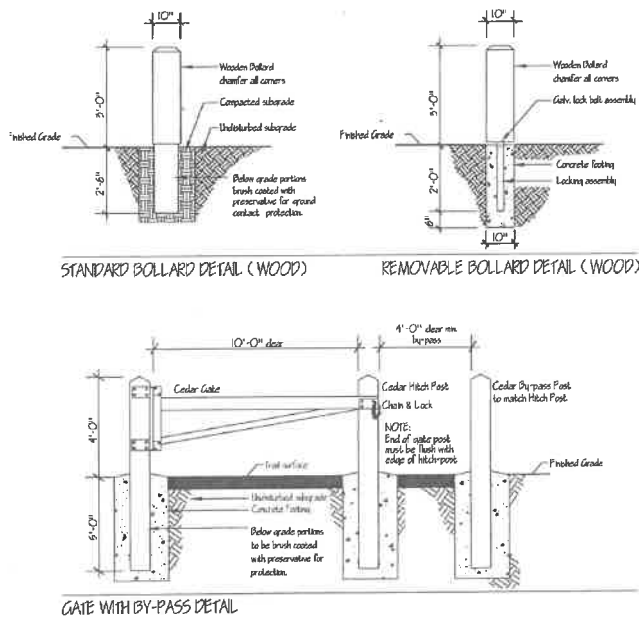


Figure 6. Typical bollard / gate detail.

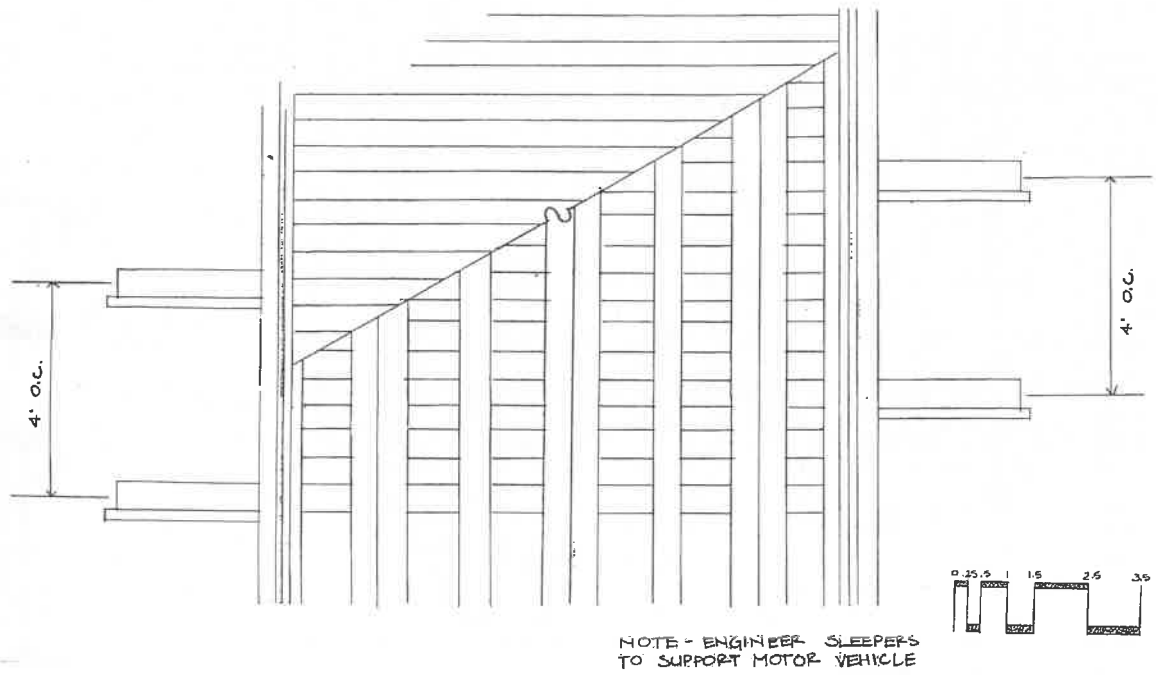


Figure 7. Typical bridge crossing-plan view.

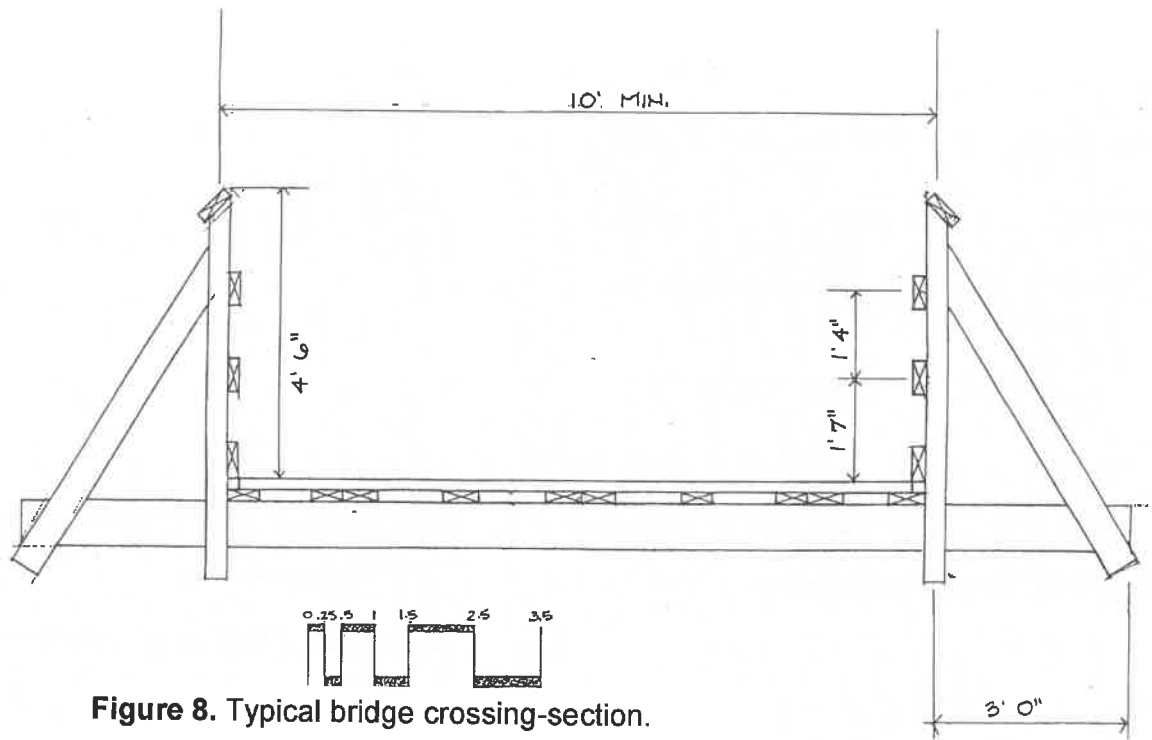


Figure 8. Typical bridge crossing-section.

Appendix

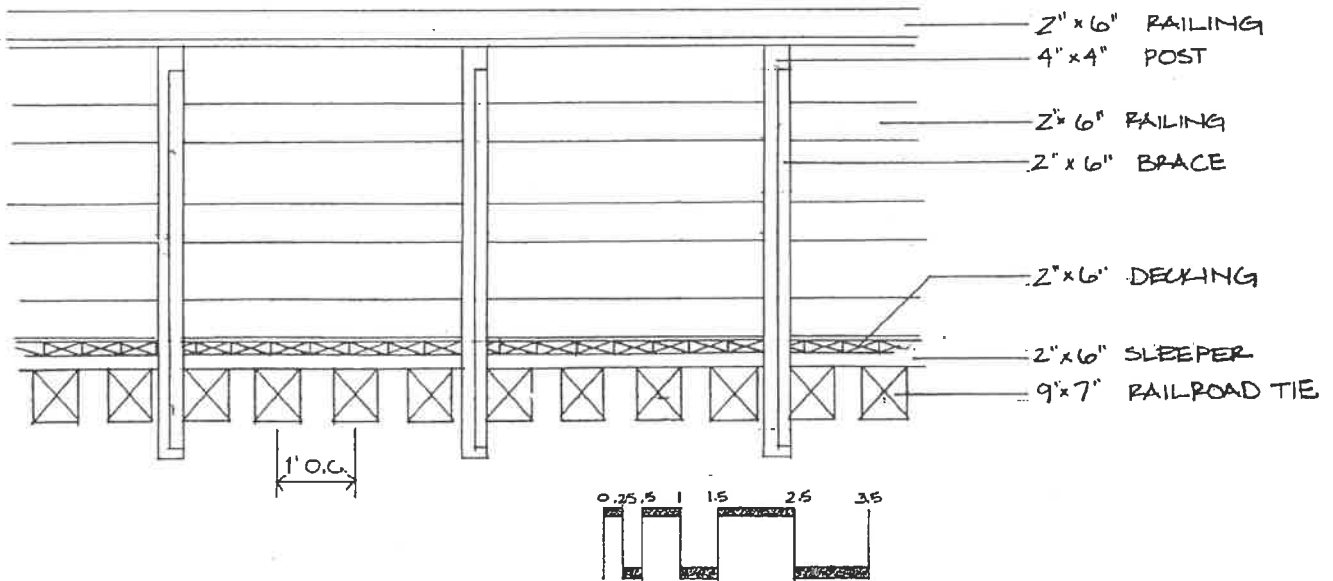


Figure 9. Typical bridge crossing-elevation.

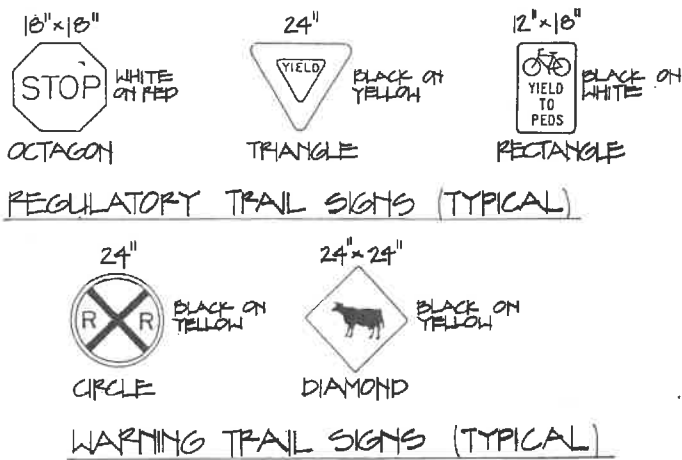


Figure 10. Typical trail signage.

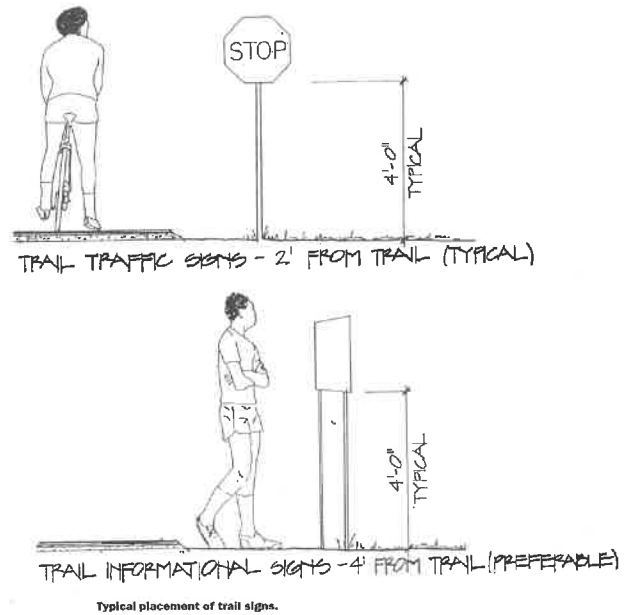


Figure 11. Typical trail signage.

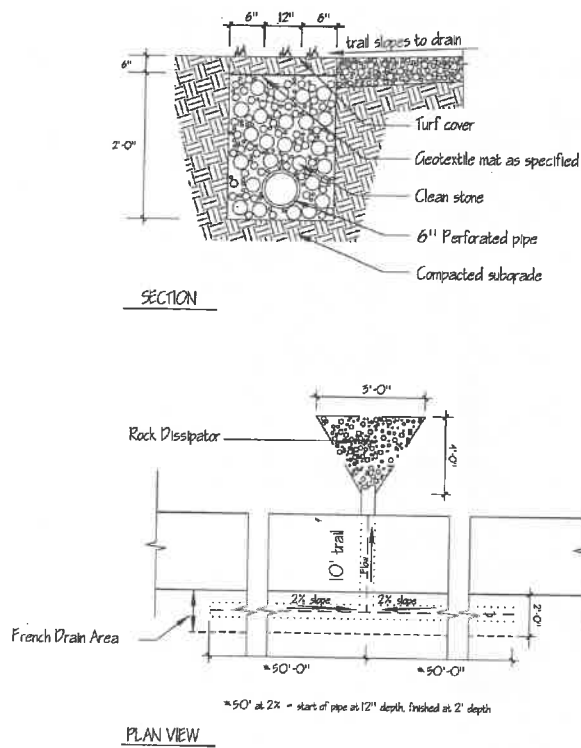


Figure 12. Typical trench drain detail.

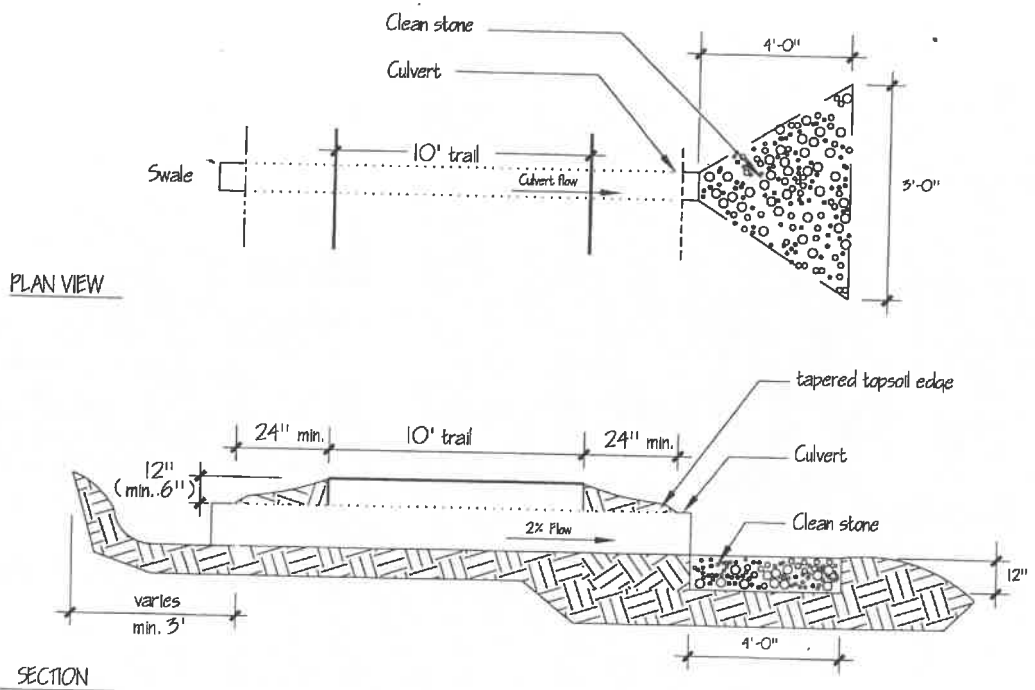


Figure 13. Typical swale, culvert and rock dissipater detail.

Appendix

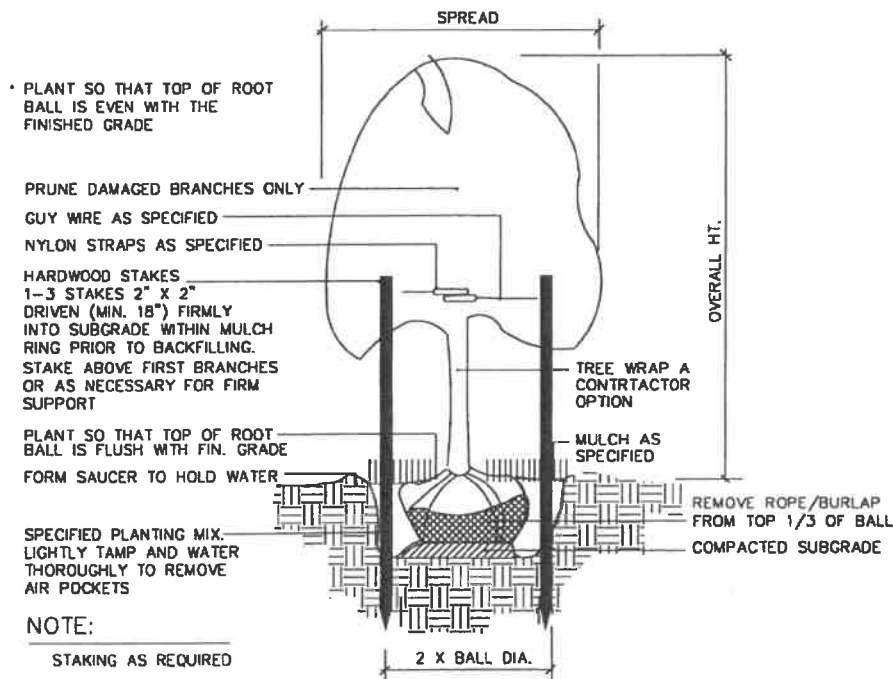


Figure 14. Typical tree planting detail.

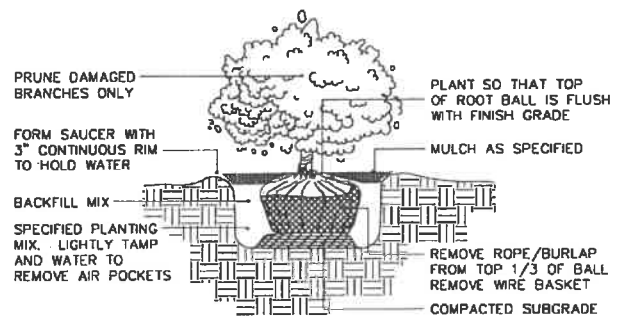
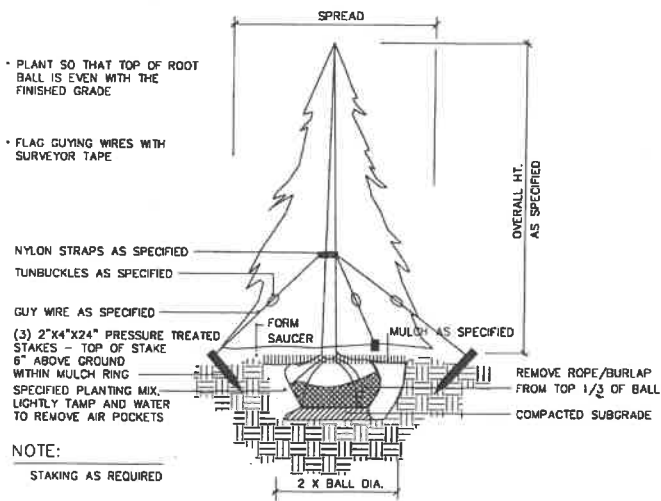
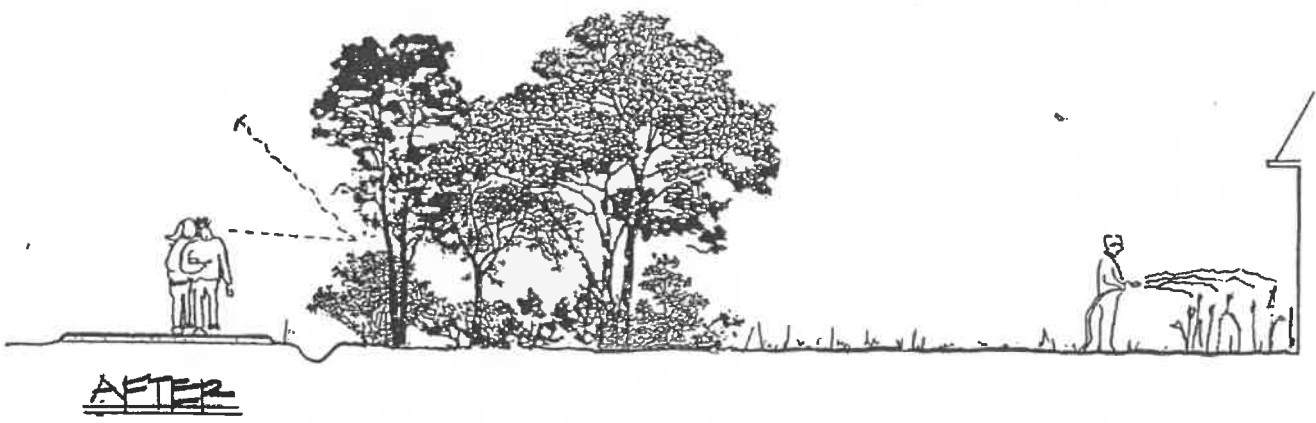
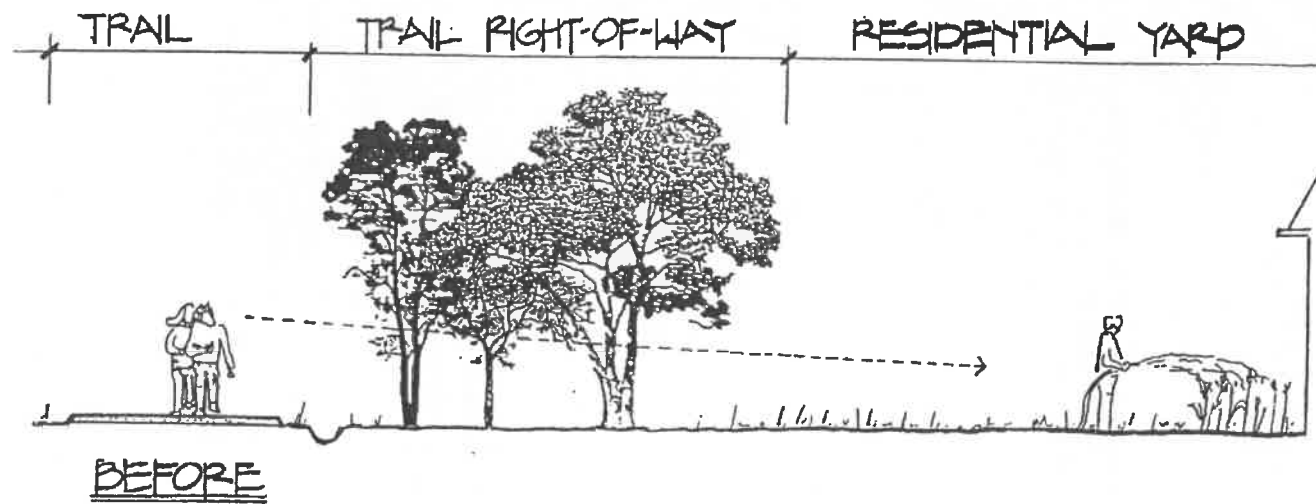


Figure 15. Typical shrub planting detail.

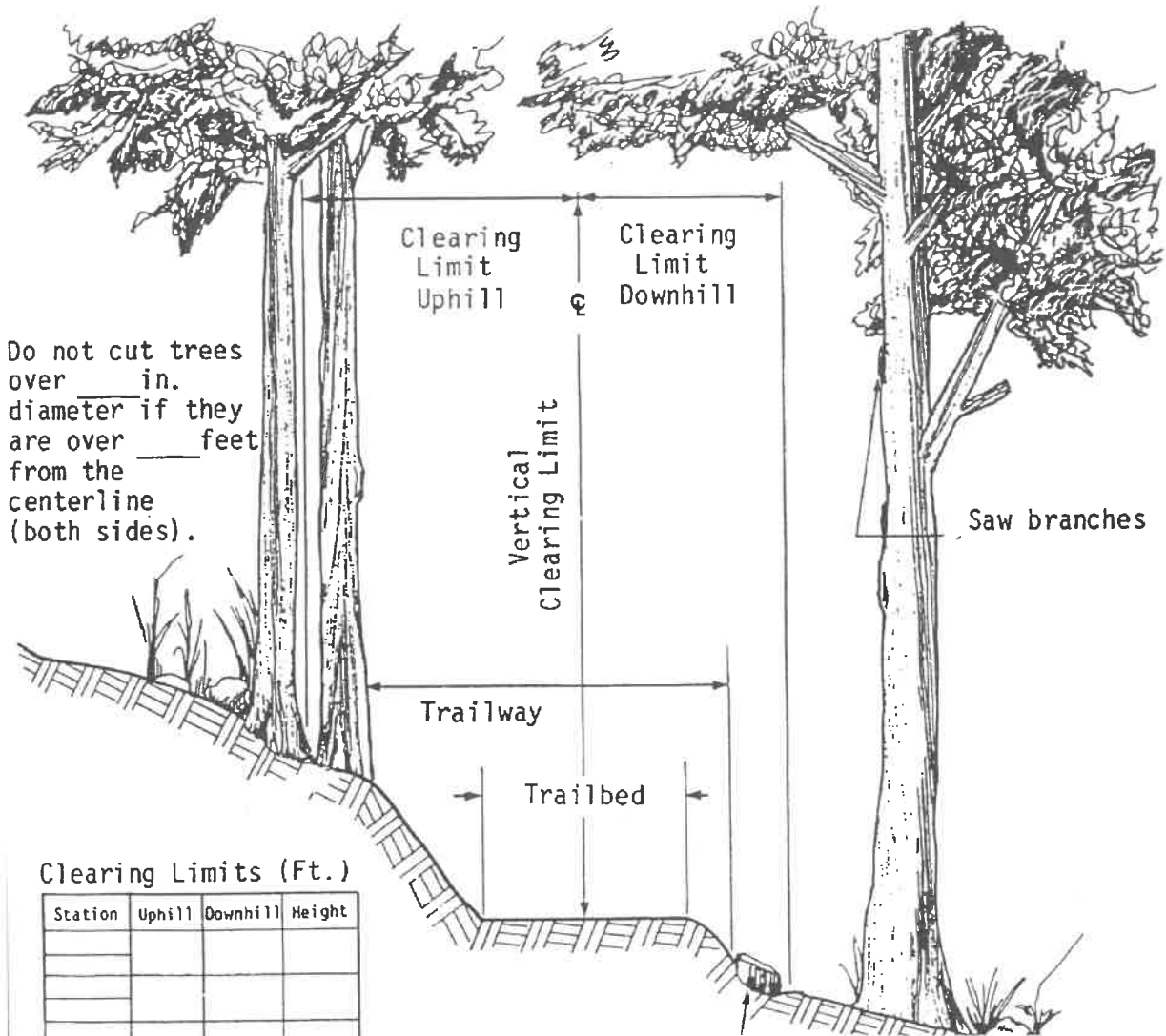


Natural screening for trail neighbors.

Figure 17. Natural screening for trail neighbors.

Appendix

Clearing Limits



Do not cut trees over _____ in. diameter if they are over _____ feet from the centerline (both sides).

Saw branches

Clearing Limits (Ft.)

Station	Uphill	Downhill	Height

All trees _____ in. or less in diameter shall be cut if they are within _____ feet of centerline (both sides).

Stump Height Requirements* (Inches)

Stump Position	Side Slope	Uphill	Downhill
Stumps left in place between the trailway and clearing limits	Side slope less than 10%		
	Side slope over 10%		
Stumps outside the clearing limits	Side slope less than 10%		
	Side slope over 10%		

Trail Name _____

Trail Number _____

*All heights measured from uphill side of stumps.

Figure 18. Typical vegetation clearances.

Clearing Limits

Brush extending into the clearing limits that is over 12 inches in height and 1/2 inch in diameter shall be cut flush with the main stem at a branch-fork or at ground level if a fork main stem is nonexistent.

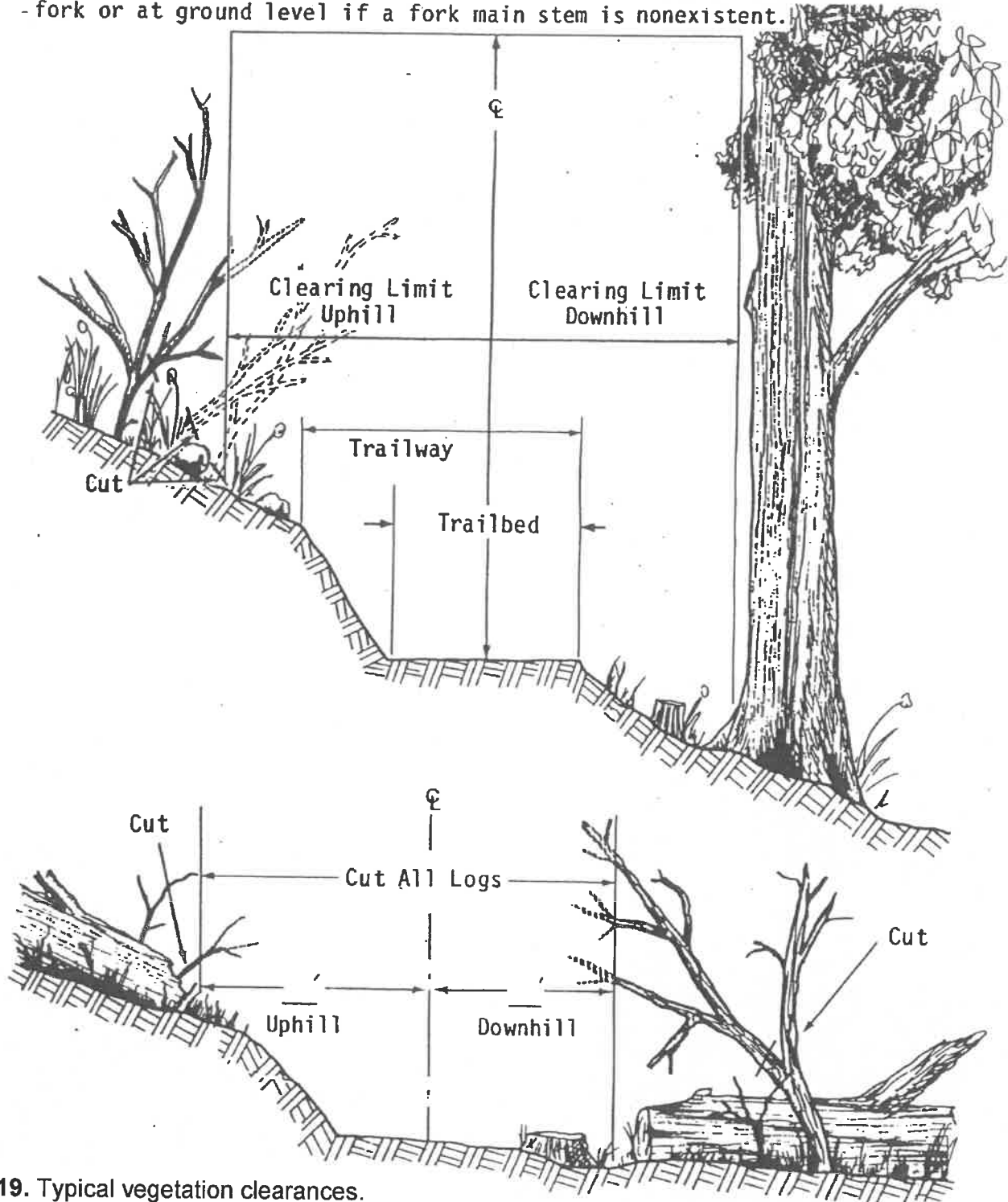


Figure 19. Typical vegetation clearances.

Appendix

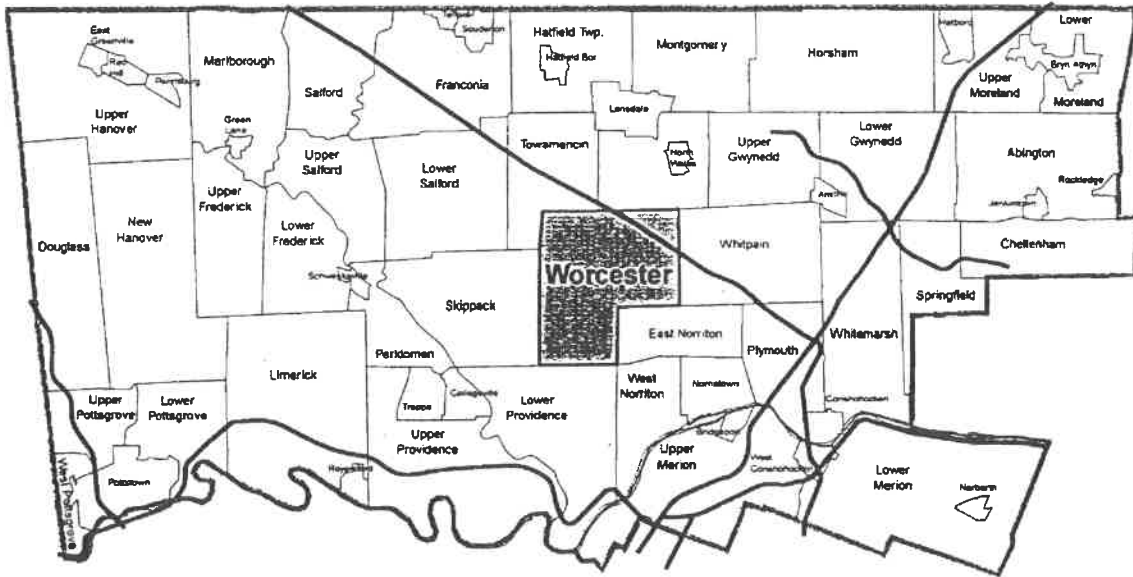
Creating an Open Space System

Worcester Township
Montgomery County, Pennsylvania

Fall 2000

Regional Setting

Worcester Township is located at the geographic center of Montgomery County in southeastern Pennsylvania. Montgomery County is the third most populated county in Pennsylvania exceeded only by Allegheny and Philadelphia Counties. Worcester has remained remarkably rural even though its neighboring townships have received tremendous growth over the last 30 years. However, development from surrounding townships is spilling into Worcester. This development is forever changing the area, an area filled with history as well as open space and recreation opportunities.



Served by three major transportation routes, State Routes 73 and 363 and Germantown Pike, Worcester is well connected to nearby employment centers in Lansdale, Fort Washington, Plymouth Meeting, Upper Providence Township, King of Prussia, and Norristown. As a result of its convenient location, openness and greenness, Worcester is a highly attractive area for new residential development. As the demand for houses in the countryside increases, large tracts of land previously held by private family ownership are becoming available for residential development.

Because Worcester is relatively undeveloped in comparison to its neighbors, yet close to growth centers, the township has a high development potential. Township officials and residents have had the opportunity to watch suburban development spread across neighboring townships. Anticipating development pressure within its own borders, the township's Board of Supervisors has taken a number of steps to control development. These steps include updating the township's Comprehensive Plan (1995), preparing an Open Space Plan (1994), and amending its Zoning Ordinance and Subdivision and Land Development Ordinance to preserve open space and significant natural features. The township continues to amend its ordinances to maintain the township's rural character.

Even with the above planning tools, the landscape of the township is forever changing to a more suburban place. Consequently, the Township Board of Supervisors recently began an open space initiative to preserve the township's farms and open space, to protect environmentally sensitive areas, and to provide recreation opportunities for residents. This initiative includes partnering with state, county and non-profit organizations and private landowners.

Open Space Vision

Worcester possesses a variety of natural features including streams, woodlands, open areas, and magnificent views of the Schuylkill and Perkiomen Valleys which make it a desirable place to live. These irreplaceable features will continue to attract people who wish to share these country amenities that they cannot find in other suburban areas. However, as more and more people come to capture the country atmosphere, there will be less of it to be enjoyed. Consequently, Worcester is creating a unique program of open space preservation and recreation areas in order to retain this asset.

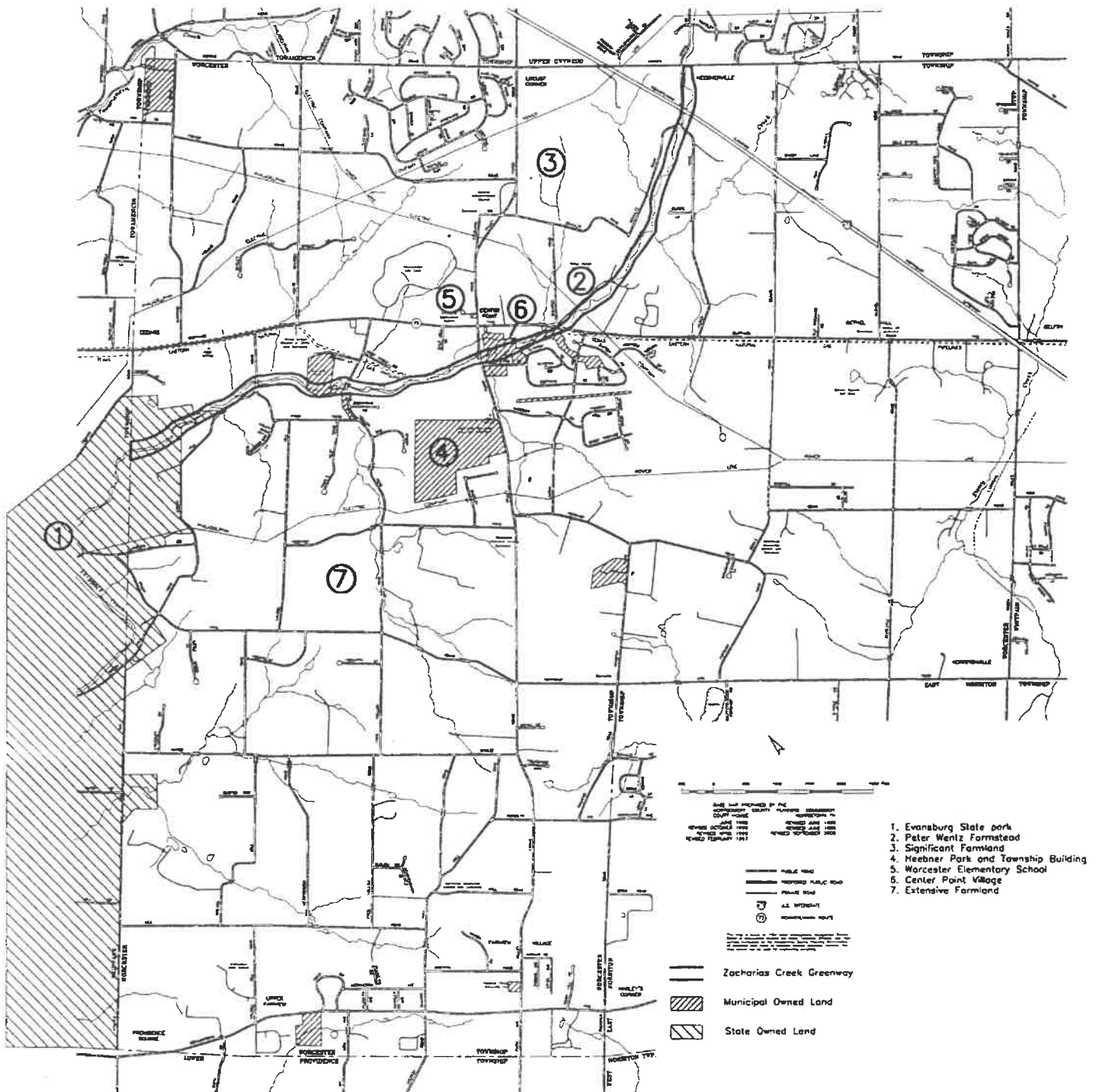
This open space system envisions different open space components as building blocks to create a network of interrelated open space land and trails. These components include county parks, farmland, greenways and trails, natural areas, scenic roads and cultural and historic landscapes. More specifically, the township's proposed open space network includes the following:

1. Conserve open space and parks rather than permitting sprawl development to reduce costs for new public services such as schools, sewers, trash, water, and roads.
- ② Establish a greenway along the Zacharias Creek to carry floodwaters, minimize erosion, protect water quality, provide wildlife habitat, and provide recreation opportunities.
- ③ Provide a multipurpose trail along the Zacharias Creek to connect Evansburg State Park and Peter Wentz Farmstead with each other and the regional trail system.
- ④ Preserve farmland having prime agricultural soils to provide areas for growing produce and raising farm animals close to the greater Philadelphia market.
5. Preserve farmland surrounding Peter Wentz Farmstead to buffer the historic site from development and to preserve the unique attributes of the farmstead to foster an understanding of the township's and region's heritage.

Zacharias Creek Corridor

A connected system of open space is more effective than a collection of separate tracts, both for the preservation of natural resources and for recreational uses. Greenways and trails are the keys to creating a system of connected open space. A greenway connects open space, recreation areas, and historic and cultural sites with each other and to populated areas.

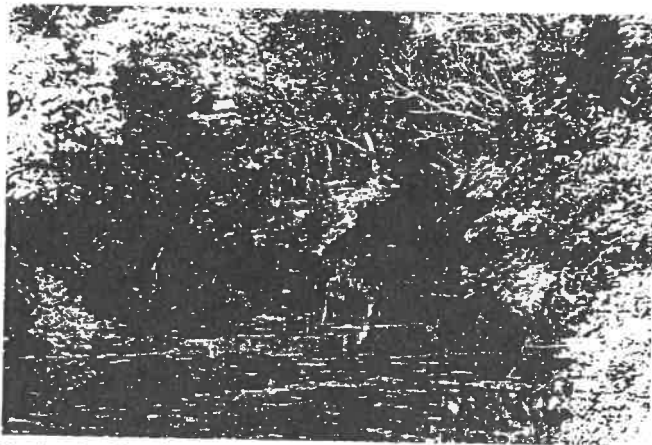
WORCESTER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA



The most prominent potential linkage in Worcester is the Zacharias Creek. The Zacharias Creek has a course of approximately four miles. It flows west across the northern portion of the township before it empties into the Skippack Creek. The benefits of establishing a greenway along the Zacharias Creek include the following:

- Preserving and creating open spaces
- Creating new opportunities for outdoor recreation and non-motorized transportation
- Protecting the environment
- Preserving culturally and historically valuable areas
- Providing a hands-on environmental classroom

An open space system along the Zacharias Creek can be compared to a necklace. The proposed greenway and trail are the string of the necklace while the destination points are the beads of the necklace. Along the Zacharias Creek, there are significant beads. These include the following:



Zacharias Creek

- Evansburg State Park (1)
- Peter Wentz Farmstead (2)
- Significant farmland (3)
- Heebner Park and Township Building (4)
- Worcester Elementary School (5)
- Center Point Village (6)

The proposed greenway is important because it connects these various places and creates a useful system of open space. The number behind the places listed above refers to its location on the accompanying map. These beads are discussed in greater detail below.

Evansburg State Park

The Zacharias Creek empties into the Skippack Creek at Evansburg State Park. Evansburg State Park comprises approximately 3,350 acres and lies entirely within Montgomery County. The park stretches across five townships including Worcester Township. The park provides a number of passive recreation opportunities including hunting, fishing, picnicking, nature study, horseback riding, and hiking.

The 1985 draft master plan for Evansburg State Park proposes a number of trails, including a multi-use trail along the Skippack Creek. Almost the entire length of the park is designated for

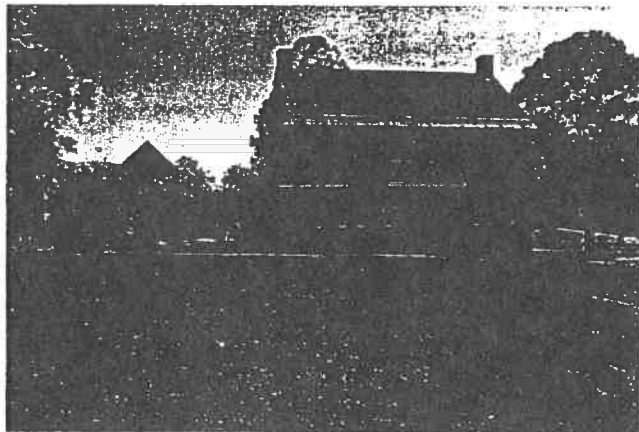
the trail. The trail would link together picnicking areas and activity areas in the park. Eventually, the proposed trails in the park will connect to the county's proposed trail along the Perkiomen Creek. The Perkiomen Creek Trail, in turn, will connect with the Schuylkill River Trail. The Schuylkill River Trail, a county park, parallels the river for 11.5 miles from the Valley Forge National Historical Park to the Philadelphia border. The trail continues another 10.5 miles to the Philadelphia Art Museum. Montgomery County is studying the feasibility of extending the trail westward from Valley Forge to the county line to connect it with the Thun Trail in neighboring Berks County.

Peter Wentz Farmstead

The Zacharias Creek flows through Peter Wentz Farmstead. The 82-acre farmstead is a County Historic Site and is listed on the National Register of Historic Places. With its strategic location to Philadelphia during the American Revolution, General George Washington chose Peter Wentz Farmstead for his headquarters. At the farmstead, Washington planned the Battle of Germantown which took place on October 4, 1777.

Today, the restored farmstead is managed by Montgomery County as an eighteenth century working farmstead. The reconstructed barn houses farm animals that are typical of the period. There are gardens, orchards and fields cultivated as they would have been in the period. Various informational programs, events, and demonstrations are presented year around at the farmstead. In 1999, over 11,000 people visited Peter Wentz Farmstead.

In addition to its designation as a historic site, Peter Wentz Farmstead is within the Schuylkill River Heritage Corridor. The corridor was designated a State Heritage Park in April 1995. The designation helps to preserve and promote the unique cultural heritage of the Schuylkill River corridor and its contribution to the anthracite coal industry. Peter Wentz Farmstead is included in the corridor as an agricultural reach. The farmstead helps to tell the story of agriculture as it defined settlements and culture. In October 2000, the Schuylkill River corridor was designated a National Heritage Area.



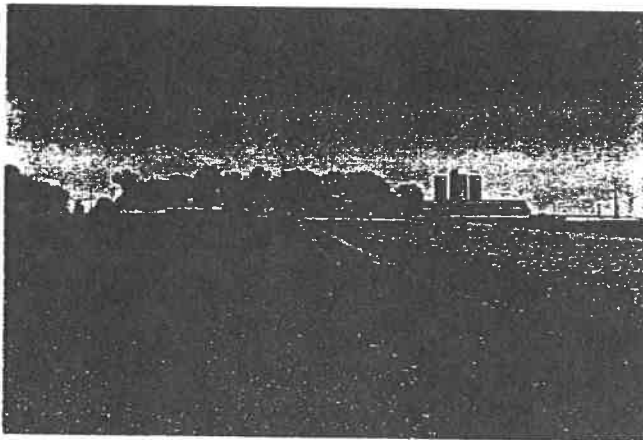
Peter Wentz Farmstead

The historic farm buildings at Peter Wentz Farmstead are surrounded by significant farmed and open land. The views surrounding this site are largely undisturbed, and the visual impact of the site is enhanced by long views toward surrounding private farmland. As residential development in this area increases, the quality of the Peter Wentz Farmstead lands will become increasingly unique. For this reason, adjoining properties that can preserve or buffer the site's rural character are extremely important.

Farmland

Early in the county's history, Worcester Township established a reputation for superior farming. Worcester contains the largest expanse of the best farming land in the county. Worcester's agricultural security district has almost 1300 acres and encompasses 31 farms. The area around Peter Wentz Farmstead has one of the largest concentrations of agricultural security district farms as well as one of the township's largest concentrations of prime agricultural soils. This area also provides scenic views and overlooks Peter Wentz Farmstead. Because the farms are near the crossroads of State Routes 363 and 73, the visual impact of the area is enjoyed by many. Recognizing the quality of this area for its farming and scenery, the township has identified the farms around Peter Wentz Farmstead as a target preservation area.

Many people associate with one Worcester farm in particular, Merrymead Farm. Merrymead Farm is a Pennsylvania Century Farm. This citation is presented to farms that have been owned and lived in by members of a family for over 100 years. Merrymead Farm has been in continuous family ownership, the Rothenberger family, since 1829. In addition to its agricultural operations, Merrymead Farm offers farm-related activities for families and school groups. These include such activities as taking hayrides, winding through a cornfield maze, picking a pumpkin, seeing farm animals, and eating ice cream at the farm's store. Worcester boasts another Pennsylvania Century Farm, the Lloyd A. Heebner farm. The Heebner farm has been in continuous family ownership since 1754.



Merrymead Farm

The Heebner Farm is located in a second area of extensive farmland (7). The area extending from Valley Forge Road towards Evansburg State Park contains prime agricultural soils and two large groups of agricultural security district farms. This area is in the heart of the township's undeveloped area. Additionally, this area is crossed by scenic roads and has long range views of the Skippack Valley from Valley Forge Road, Route 363.

The township's farmland is one of its largest reservoirs of potential open space. Consequently, the township encourages farmers to participate in the Montgomery County Farmland Preservation Program, a state program administered at the county level. Under the program, the development rights of the farm are purchased. There are currently no permanently preserved farms in Worcester Township. In the past year, however, five farmers have applied to the program. Two of those farms are located in the target preservation area. Another two are located in the second area of significant farmland and include a riparian corridor.

Changes in the state's Agricultural Conservation Easement Purchase Program limit state funding for conservation easements to \$10,000 per acre. The cost of development rights on farms in Worcester exceeds this limit, making farmland preservation more challenging. Consequently, the township is emphasizing techniques to reduce the cost of purchasing development rights, including donation or bargain sales and the involvement of various conservation organizations.

Farmland contributes significantly to the rural character of the township. It is, therefore, important to preserve critical blocks of farmland to ensure the survival of various related farm activities. A group of preserved farms will allow flexibility in leasing farmland, providing custom equipment services, selling, storing and harvesting crops, and maintaining a core community built around farming.

Heebner Park/Township Building

Worcester owns approximately 28 acres of land around its township building. Only a small portion of this land is used for the township building, parking lot, and maintenance facilities. Participating in the county's Open Space Program, the township purchased a 46-acre tract adjacent to the township building in December 1996. The additional land will be used for a community park. The park will provide a mix of active and passive recreation including playing fields, a walking trail, and a restoration forest area.

The township building and park are not directly along the Zacharias Creek greenway. One property separates the park from the greenway corridor. The township hopes to eventually connect Heebner Park and the greenway. If this were accomplished, the park could be used as a trailhead intended to connect to the Zacharias Creek greenway and then to Evansburg State Park and the regional trail system.

Center Point Village

The village of Center Point is the exact center of Montgomery County. Located at the intersection of Routes 363 and 73, the village is a focal point of the township. Center Point has a number of services, such as retail facilities, that would complement a trail along the Zacharias Creek. A greenway and trail could strengthen these existing businesses as well as provide additional recreation-related opportunities for economic growth.

Worcester Elementary School

Trails and greenways are hands-on environmental classrooms. The Worcester Elementary School is conveniently located across the street from the Zacharias Creek greenway. The greenway will provide opportunities for school children to learn first-hand about the environment. Although not along the Zacharias Creek, the Methacton High School is located near a tributary of the Skippack Creek in the more southern part of the township. A greenway along this stream would provide not only educational value but also a connection between the high school and Evansburg State Park.

Stringing the Beads

For greenways, the string is as important as the beads. Because of the destination opportunities along the Zacharias Creek, the greenway is a logical location for trail development. Trails are the most popular recreation facilities used by people today. They are extremely popular because they satisfy a wide range of recreational interests. Trails can be used by walkers, joggers, bicyclists, equestrians, nature enthusiasts, adults, and children. Trails are also an alternative to automobile travel to and from work, school, and retail centers.

A trail along the Zacharias Creek would connect to a regional trail system. It would connect to the trails in Evansburg State Park. It would also link to a greater trail system at the other end of the township. Continuing northward from Peter Wentz Farmstead, the Zacharias Creek greenway extends to the township line. From this point, linkages to the Green Ribbon Preserve Trail and the proposed Liberty Bell Trail are possible.

Worcester is fortunate to have a network of streams running through the township. Even though the Zacharias Creek is the most prominent, other streams in the township could be used for trails. The township's first step, however, is to establish a greenway system. Providing trails within these greenways is a longer term goal.

Besides providing recreational opportunities, a greenway serves many important environmental functions. The greenway will protect stream banks from erosion and will safeguard water quality. Greenways along streams carry and dissipate floodwaters, promote water quality by filtering sediment and nonpoint pollution, foster groundwater infiltration and aquifer recharge, reduce erosion, and preserve wildlife habitat.

The township has already begun to acquire land along the Zacharias Creek greenway. This land is located in two areas between Evansburg State Park and Peter Wentz Farmstead. About 0.4 of a mile of the creek crosses township land. Furthermore, Worcester owns approximately 36 acres of land that has direct access to the Zacharias Creek.

In addition to stream corridors, other linear features in Worcester could be used for trails and open space linkages. Existing utility corridors would be the easiest to use. Worcester is crossed

by a number of PECO transmission lines. One PECO transmission line, bisecting the farmed area around Peter Wentz Farmstead, could be used to connect the historic site to the regional trail system.

Creating a necklace of open space will be challenging. To create an open space system, Worcester will use a range of preservation strategies including various acquisition methods, land use controls, and cooperative partnership agreements. Even in combining these techniques, completing the proposed open space system is a long-term effort. Worcester intends to continue updating its ordinances to preserve open space and protect significant natural features. Acquisition of land will be accomplished as properties become available or an agreement with a landowner can be negotiated. The township recognizes that addressing a landowner's financial needs or concerns about development limitations or public access may slow down the acquisition process. Additionally, Worcester's own financial resources will limit its ability to purchase land and easements.

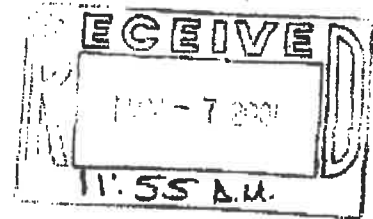
Summary

Worcester is assembling an open space system for future generations to enjoy. The township's vision is to preserve a number of clusters of open space at both ends of the township and to link them along riparian corridors and eventually with trails. These properties will mark the area between the developed area and the undeveloped core of the township.

The township's vision includes a variety of open space components. These include riparian corridors, farmland, historic sites, natural areas, and scenic roads — many of the features that make the township unique. To piece this system together, the township needs to build partnerships with state and county agencies, conservation organizations, and private individuals. With a strong commitment to this vision, Worcester believes that its can conserve its best asset, its rural character.

May 4, 2001

Board of Supervisors
 Planning Commission
 Worcester Township
 1721 Valley Forge Road
 P.O. Box 767
 Worcester, PA 19490



Re: Peter Wentz Greenway

To the Worcester Board of Supervisors and Planning Commission:

In the Spring 2001, Volume 5, Number 1, issue of the *Worcester Crier*, there was an article on the continued planning of the Peter Wentz Greenway. This article described the development of a "Greenway" that would allow for travel between Peter Wentz Farm and Evansburg Park. The article further noted that the Township envisions acquiring the necessary property to complete the Greenway by purchase or conservation easements within the next few years. The land remaining to be acquired is located, in part, along the Zacharias Creek that extends between Valley Forge Road and Hollow Road.

We the owners of the property along Zacharias Creek between Valley Forge Road and Hollow Road are strongly opposed to the location of the Peter Wentz Greenway on our property and are not interested in selling our land for the purposes of this project. The placement of the walkway on our property would diminish its value and would eliminate the security and privacy we all sought when we purchased the land and continually strive to achieve. The opportunity for acquiring this property by the Township has long since past given the number of private homes now located along the said portion of the creek.

Further, the proposed plan has a number of serious issues that negatively impact walkway users, Worcester Township and its residents, and adjacent property owners as follows:

- **Walkway Users:** The proposed plan requires pedestrians to cross two major highways. This presents a safety hazard for pedestrians, drivers, and especially children. In addition, the risk of possible injuries is likely to increase over time as development continues to escalate in our area. Other issues are that the proposed length of the Greenway may not be practical as a round trip walk for most potential users, and the Greenway bypasses the Township's major recreation facility, Heebner Park. This presents the real possibility that pedestrians will "cut through" private property to get from the Park to the Greenway or vice versa.
- **Worcester Township and Residents:** What is the potential liability for the Township and its residents if someone is injured crossing two dangerous highways or along the Greenway? This is a known risk that the Township must mitigate in its design. There is also a potential liability to residents along the creek if someone leaves the Greenway and becomes injured on private property. Is the Township prepared to be accountable for the trash, security, maintenance requirements, and environmental oversight that would be required along the entire proposed Greenway?
- **Adjacent Property Owners:** The Township already owns or has approved open space that would facilitate connecting Heebner Park with Evansburg Park. Although the sale of our property is not a consideration to us, acquisition costs for the property along Zacharias Creek would be expensive for the Township because the adjacent properties are fully developed and property prices have risen significantly over the approximate last ten years. The compensation to property owners would also have to include full impact of the walkway such as negative impact to the resale value of properties and loss of privacy. The current proposal would result in expensive land acquisition costs that could be circumvented.

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 PC

We recommend that the Township investigate its known option for the placement of the Greenway by locating the Greenway beginning at Heebner Park where walking trails and ample parking are under construction. The Greenway to Evansburg could then utilize the Township property located at portions of the old and existing Hollow Road that runs along the tributary of Zacharias Creek. Adopting the option to begin the Greenway at Heebner Park versus Peter Wentz Farmstead and to follow the Township's property along Hollow Road circumvents the Township's major obstacles of devising a safe means of crossing two major highways as is required with the originally proposed or with the Meadowood plan.

Given that alternative viable options exist, we the owners of property along Zacharias Creek between Valley Forge Road and Hollow Road request that you eliminate any further consideration to the placement of the Greenway on our property. There is strong agreement that the current proposed Greenway plan abridges our rights by compromising our property values, reducing our privacy and security, and changing the nature of our community. Our commitment will remain through whatever lobbying and legal remedies required to redirect the current plan to more appropriate alternatives. As a result of our strong opposition to the proposed plan, we ask that you respond to our letter in writing. We further request that you notify us prior to any discussions and meetings on the subject so that we may present our opposition to the current plan for the Greenway in person.

<u>Barbara M. Andon</u> Barbara M. Andon	<u>5/4/01</u> Date	<u>Thomas R. Skopek</u> Thomas R. Skopek	<u>05MAY2001</u> Date
<u>Joan T. Bown</u> Joan Bown	<u>5/5/01</u> Date	<u>John A. Bown</u> John Bown	<u>5/5/01</u> Date
<u>Renee Bryant</u> Renee Bryant	<u>5/4/01</u> Date	<u>Russel Bryant</u> Russel S. Bryant	<u>5/4/01</u> Date
<u>Claire S. Crans</u> Claire S. Crans	<u>5/6/01</u> Date	<u>Gary L. Crans</u> Gary L. Crans	<u>05/06/01</u> Date
<u>Nadine C. Haines</u> Nadine Haines	<u>5/4/01</u> Date	<u>Robert Haines</u> Robert Haines	<u>5/4/01</u> Date
<u>Susan B. Lehman</u> Susan B. Lehman	<u>5/4/01</u> Date	<u>William E. Lehman</u> William E. Lehman	<u>5/4/01</u> Date
<u>Andrea McManus</u> Andrea McManus	<u>5/6/01</u> Date	<u>Kevin McManus</u> Kevin McManus	<u>5/6/01</u> Date
<u>Ledna Ryan</u> Ledna Ryan	<u>5-5-01</u> Date	<u>Scott Ryan</u> Scott Ryan	<u>5/5/01</u> Date
<u>Betsy Ryan</u> Betsy Ryan	<u>5/5/01</u> Date	<u>Tom Ryan</u> Tom Ryan	<u>5/5/01</u> Date
<u>Russel Bryant, Jr.</u> Russel Bryant, Jr.	<u>5/6/01</u> Date		

Board of Supervisors Addressees: Frank L. Davey, Chairman; John H. Graham, Vice Chairman; and Chase E. Kneeland, Secretary

Planning Commission Addressees: Frank A. D'Lauro, Chairman; Patricia Ann Quigley, Vice Chairman; Beth Stearns, Ph.D., Secretary; Gordon Todd, Member; and Gerald M. McDonnell, Member.

CC: Charles A. Sardo, Sr., Township Manager

SEP 2

Philip J. Moldofsky M.D.

3239 Fawn Road
PO Box 551
Worcester, PA 19490-0551

September 22, 2003

Charles A. Sardo, Sr
Township Manager
Worcester Township
1721 Valley Forge Rd
PO Box 767
Worcester, Pa

Re: The Greenway Plan

Dear Mr Sardo:

We want to add our strong opposition to that voiced at The township meeting on September 18 regarding The proposed route of The "Greenway" along The Zacharias Creek.

Our property on Fawn Road is along the Zacharias between Hollow and Greenhill Roads. Placement of The Greenway along The creek in this segment would greatly degrade The safety, security and privacy which we sought in purchasing our

home and property. The creek here is a very isolated segment which I believe, if opened by access path, would be a magnet for nighttime (as well as daytime) activity by youths and others for purposes not intended by the Township. In addition, the township must be aware of the flooding that occurs regularly along this segment. (I brought photos to the meeting demonstrating rushing waters about 150 yards wide - normally about 4 yards wide - behind our property.) Flooding at this time is of little consequence because the flood plain is approximately empty of people and constructions/paths. But, building paths and encouraging people - adults with some judgement, and children with less - is clearly a public safety issue.

At the Greenway meeting, alternate routes, including PECO right-of-way areas were outlined. It appears that the PECO property could be appropriately used to connect Heebner Park to Evansburg without the economic, security, and safety impact on Worcester Township property owners and the safety risks to Greenway users that the Zacharias route would entail.

Philip J. Moldofsky M.D.

3239 Fawn Road
PO Box 551
Worcester, PA 19490-0551

We join the many resident voices at the September 18 meeting in asking that the Zacharias Creek Greenway route be removed from the master plan now, at this stage in the planning.

We would appreciate your acknowledgement of this notice of opposition to the Zacharias route and request that you notify us prior to meetings on the subject so that we may continue to present our opposition to the Zacharias route for the Greenway.

Philip Moldofsky M.D.
Nancy Moldofsky

cc. Board of Supervisors
Planning Commission
Simone Jaffe Collins, attn Pete Simone

OCT 01 2003

**Lehman
3199 Zacharias Road
Collegeville, PA 19426
610-584-5336**

September 28, 2003

Mr. Brian E. Styche
Simone Jaffe Collins
511 Old Lancaster Road
Berwyn, PA 19312

Re: Proposed Greenway along Zacharias Creek

Dear Mr. Styche:

Thank you for your presentation at the Worcester Public Meeting on September, 18, 2003. Pursuant to many of the issues raised at that meeting we would like to reiterate some of our objections to the existing walking trail proposal.

Here are some of our objections:

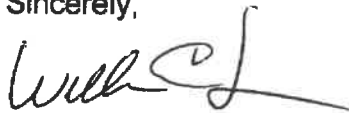
1. The termination point in Evansburg Park has no facilities, parking, or trails. This area is designated for "Park Hunting". Mourning Dove and Resident Goose season begin on September 1st; archery, small game, and deer run through until the end of the year. After passing through this area, you would be on the Skippack Golf Course.
2. Traveling southbound, Hollow Road bends sharply to the left after crossing the Zacharias Creek bridge. This makes pedestrians crossing Hollow invisible to northbound traffic until a vehicle is on the bridge. Since Hollow Road was widened and smoothed, traffic volume and speed has greatly increased. We have witnessed 6 accidents in the last twelve months on or immediately after the bridge.
3. Much of the land east of Hollow Road and north of the creek is flood plain and wetlands. In recent years, this area has become very susceptible to flooding, limiting access in the Spring. A trail would disturb the existing wildlife, including Green and Great Blue Herons, Mallards, Red Fox and Whitetail Deer.

- continued -

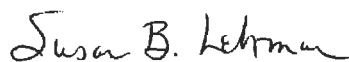
4. The stream that flows from the Meadowood Retirement Community to Zacharias Creek just east of the bridge has grown in width to the point that a pedestrian bridge would be required. Such a bridge would be very prone to flood damage.
5. The creek flows through a private community with private roads. A Greenway would give access to the backyards and back doors of these homes, raising security issues. In our experience, response times from the State Police range from 45 minutes to 2 hours.
6. A Greenway would have a negative impact on the value of the property that it passes through.

In conclusion, we strongly believe that a Greenway walking trail along Zacharias Creek is undesirable and potentially exorbitantly expensive.

Sincerely,



William E. Lehman



Susan B. Lehman

OCT 07 2003

October 3, 2003

Simone Jaffe Collins
Attn: Mr. Brian E. Styche, RLA
511 Old Lancaster Road
Berwyn, PA 19312

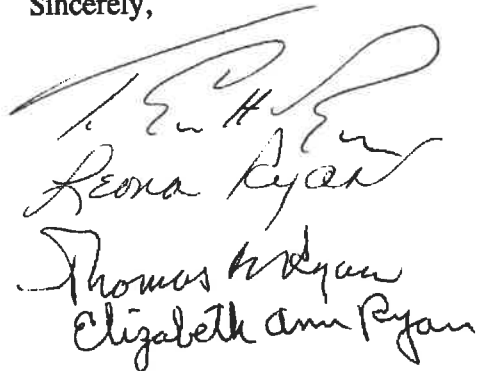
Ref: Worcester Community Greenway
Proposed Greenway Alignment Map

Dear Mr. Styche:

This letter provides confirmation to the views expressed by T. Scott Ryan at the September 18th Public Meeting regarding the above referenced matter.

We, the undersigned, oppose the proposed greenway trail along the Zacharias Creek through our property, and request immediate removal of this proposed trail from the Alignment Map. The mere concept of the greenway, and the potential development thereof, is detrimental to our living situations, and contrary to the reasons we have chosen this "private property" as our home in Worcester for over forty years.

Sincerely,


Leona Ryan
Thomas W. Ryan
Elizabeth Ann Ryan

CC: Township of Worcester
Board of Supervisors

OCT 20 2003

October 17, 2003

Mr. Brian Styche, RLA
Simon Jaffe Collins
511 Old Lancaster Road
Berwyn, Pa 19312

Dear Brian,

We had attended the public Worcester Greenway meeting on Thursday, September 18th, 2003. We would like to reiterate our opinion concerning the footpath and public access to the Zacharias Creek between Hollow Road and Valley Forge Road. As a homeowner along the creek we emphatically **do not** want public access to the creek behind our house. As stated many times at the meeting, it is not only a privacy issue, but also a public nuisance and security issue for those of us whose backyards are on the creek.

We would ideally like the proposed path removed from the master plan. I understand that although the path access will be removed, the creek will remain part of the greenway without access as a protected area. If this is the case, we would like to insure that the township, at some later date, does not change this classification for whatever reason.

We are unfortunately out of town on Wednesday, October 22nd, the next public meeting, but be assured that we do support removing the path from the master plan and will be attending future meetings.

Sincerely,

Bob + Nadine Haines

Bob & Nadine Haines
3179 Zacharias Road
Collegeville, Pa 19426

Cc: Chuck Sardo, Township Manager

FEB - 2 2004

February 1, 2004

To: Worcester Board of Supervisors
Planning Commission and township manager

Re: Worcester Township Greenway Plan

From: Henry and Roberta DeMito
1803 Valley Forge Road

Dear Worcester Township officials,

The draft, prepared by Simone Jaffe Collins Landscape Architecture Firm for the township of Worcester, Montgomery County, is well done. However, letters of opposition are well written by many property owners demanding a change in the proposed Greenway Plan.

We want to add our opposition and request, also, that the possibility of a trail alternative to follow the west side of Valley Forge Road between Zacharias creek and Heebner Park be completely eliminated. As other property owners are concerned about privacy, security, trash, maintenance, and safety issues, so are we. We are most concerned about the safety of people being exposed to the hazardous traffic conditions along Valley Forge Road (Rte. 363).

We are situated on Valley Forge Road near the township building, the firehouse, the Worcester Trade Center which includes the post office, A multi-apartment complex, the intersection of Hickory Hill Drive, Bateman Landscaping, the Center Point Pond, the Defford Road intersection and the Wawa Shopping complex. For 33 years, we have watched and assisted victims of automobile accidents and traffic hazards that occur weekly in front of our home. To place a trail on a state highway like this is ludicrous. Anyone familiar with this commercial corridor knows how hazardous it can be. More distractions along the road would only serve to make conditions worse.

We like Worcester the way it is and we are content with the active and passive recreational facilities that are already available such as the the grounds of Methacton High School and Worcester Elementary school, Heebner Park (75 acres), Nike Park (9 acres), Fischer Park (23 acres), bike touring route S, Frog Hollow Tennis Club, Kinetix Fitness Center and three golf courses. If the Greenway Plan is to be implemented, we recommend staying with the power line trail, which seems to be the best for trail development and safety without impacting private property.

Please acknowledge this letter of opposition and notify us of future meetings.

Sincerely,

Henry J. DeMito
Roberta A. DeMito



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

6/20/03

Worcester Township Community Greenway Plan
SJC# 02030.10

STEERING COMMITTEE MEETING #1 MINUTES

Date/Time: 6/19/03, 7 PM

Location: Worcester Township Community Hall

In Attendance: Tony Sherr – Steering Committee Member
Barbara Andon – Steering Committee Member
Melissa Miles-Wallace – Steering Committee Member
Mark Rothenberger – Steering Committee Member
Peter Simone – Simone Jaffe Collins, Inc.
Brian Styche – Simone Jaffe Collins, Inc.
David Stauffer – Simone Jaffe Collins, Inc.

Notes:

1. Peter S. began the meeting with an overview presentation of project goals, committee meeting schedule, and review of initial mapping information. Additionally, the card process was shown and explained for use at the first public meeting.
2. Peter S. explained the different types of greenways that will be considered: Full-Access – multi-use facilities including separate bicycle, equestrian, and pedestrian trails where greenway width is substantial; Limited Access – greenways that may contain site constraints that allow limited facilities such as hiking trails that would be primarily used by a small population of local users; and No Access – areas designated entirely for environmental protection and restoration.
3. Tony S. questioned a possible trail connection to the Perkiomen Trail. Peter S. explained that a connection to the Perkiomen Trail is feasible through access in Evansburg State Park. As part of the greenway study, SJC will identify potential regional trail connections however the focus of the plan will be within the boundaries of Worcester Township.
4. Melissa M. stated that an additional connection could be made to the Wissahickon Trail. Peter S. explained that the plan will primarily focus on areas within the township boundaries and discussed the use of greenways in regards to localized use versus Worcester Township as a destination.
5. Barbara A. asked if the consultants had a feel for where trails should be located. Peter S. stated that the existing power line right-of-ways, and the Zacharias Creek corridor would be the most obvious areas for establishment of trails. Peter S. discussed potential issues with private property owners and with potential trail crossings of major roads. Additionally, PECO right-of-way ownership and potential limitations to proposed trail uses were discussed.
6. Peter S. briefly explained the procedure for the first public meeting and discussed the timeframe for the plan to be completed and ultimately constructed.

SIMONE JAFFE COLLINS \ X:\02030 Worcester
Greenway\Meetings\030620_mtgminsC1.doc

511 OLD LANCASTER ROAD BERWYN, PENNSYLVANIA 19312
(610) 889-0348 FAX (610) 889-7521
EMAIL • SJC@SIMONEJAFFECOLLINS.COM

7. The Steering Committee collectively identified the following as a list of destination points for the greenway: Peter Wentz Farmstead, Heebner Park, Evansburg State Park, Merrymead Farm, schools, and local churches.
8. Barbara A. identified that the township owns additional land at the Fawn Creek Development near the intersection of Hollow Road and Fawn Road. She stated that a connection might be possible from Heebner Park to Zacharias Creek. SJC will identify the additional township owned property and map the location for presentation at the first public meeting.
9. Mark R. asked about ownership of property for a proposed trail system. Peter S. discussed potential trail access through the use of an access easement across privately owned land versus the township outright purchasing property for the trail. Peter S. stated that the township would likely not consider the condemnation of private property for establishment of the proposed greenway.
10. Mark R. brought up the issue of potential conflicts between horse and pedestrian trail users. Peter S. discussed the possibility of separate trails for equestrian and pedestrian trail users. Also, signage, enforcement of trail rules, and emergency access to trails was discussed.

Next Meeting: Public Meeting #1 – Thursday, July 10, 7 pm, @ Worcester Township Community Hall.

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Brian E. Styche
Project Manager
cc: Attendees

**Worcester Township Community Greenway Plan
Public Meeting #1**

July 10, 2003, 7 PM @ Community Hall, 1031 Valley Forge Road, Worcester, PA

NAME	ADDRESS	PHONE	EMAIL
Barbara Audon	3180 Deer Creek Road	815-652-7895	
Thomas Skopak	3180 Deer Creek Road	215-652-2588	
Tony Sherr	1188 Reichenbach Road	610-584-1142	tsherr@mmmlp.com
Marybeth Kuhnberg	2264 Valley Forge Road	610-584-8213	
John Harris	183 Knebel Mill Rd.	610-584-8395	
Chuck Sarno	1721 V F Rd	610-584-1710	



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

7/31/03

Worcester Township Community Greenway Plan
SJC# 02030.10

STEERING COMMITTEE MEETING #2 MINUTES

Date/Time: 7/29/03, 7:15 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
Melissa Miles-Wallace – Steering Committee Member
Mark Rothenberger – Steering Committee Member
Chuck Sardo – Worcester Township Manager
Tony Sherr – Steering Committee Member
Peter Simone – Simone Jaffe Collins, Inc. (SJC)
David Stauffer – SJC
Brian Styche – SJC

Notes:

1. Peter S. began the meeting by discussing an article prepared for the township newsletter. The article outlines the public meeting schedule and includes background information about the community greenway plan. The newsletter is scheduled for publication during the second week of August. Additionally, Peter S. stated that the Times Herald should be contacted about publishing an informational greenway article prior to the first public meeting. SJC to coordinate with township staff.
2. Brian S. explained the status of conversations with PECO regarding use of the power line right-of-way for trails within Worcester Township. PECO's initial comments indicate that they are favorable to the use of the right-of-way for trails as long as they are dealing with a municipal entity and access to the right-of-way is controlled. SJC will walk segments of the right-of-way to gain an understanding of the existing conditions and potential access concerns prior to the first meeting with PECO officials. Chuck S. noted that he would be willing to attend the meeting with PECO officials.
3. Tony S. questioned the possible health concerns of trail users within PECO power line right-of-ways. Peter S. indicated SJC is not an expert in the area however to his knowledge there are no known health concerns associated with using a trail within an electrical power line right-of-way. Peter S. noted however there are likely differing opinions on the topic.
4. Tony S. noted a general concern that use of the power line right-of-ways throughout the township does not result in additional open space being preserved within the township. Peter S. responded that there may in fact be an increase in preserved open space though implementation of the greenway plan however an increase in township open space is not necessarily a goal of the Worcester Community Greenway Plan.
5. The existing use of land within the PECO right-of-way was discussed. Mark R. indicated that many farmers, landscapers, and horse owners lease the land from PECO to use

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Greenway\Meetings\030730_mtgmisc2.doc

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areas of the right-of-way. SJC shall question PECO regarding the amount or percentage of land within the township that is currently leased.

6. Melissa M. noted that the power line right-of-ways are important corridors for wildlife and that maintenance of the right-of-way will allow for control of invasive plant materials.
7. Chuck S. indicated that PECO is currently clearing the right-of-way in the western portions of the township. Additionally, Chuck S. indicated that a developer was recently granted a waiver of planting trees on the condition that the developer would be required to plant trees at Heebner Park. Chuck S. noted that a similar waiver request could be granted based on the condition that the developer installs landscape materials within the PECO right-of-way.
8. By reviewing the Montgomery County Trail Plan, Brian S. explained how the Worcester Township Greenway plan can connect to other regional trails proposed within the county such as the Evansburg Trail through Evansburg State Park and the Liberty Bell Trail to the east of the township.
9. Brian S. discussed the Proposed Greenway Alignment Map. The PECO power line right-of-ways are shown as Full Access Trails indicating that multi-use facilities are proposed and may include separate bicycle, equestrian, and pedestrian trails where greenway width is substantial and slope is not excessive. The next level of proposed trails indicated are Limited Access Trails. The Limited Access alignments include: the Zacharias Creek corridor linking Peter Wentz Farmstead to Evansburg State Park, a link from Stump Hall Road to Zacharias Creek, a link from Russell Place Park to the power line trail, and finally a trail from the Community Hall to Evansburg State Park that includes a link to Methacton High School. All riparian corridors within the township are shown as environmental protection areas.
10. Barb A. indicated that existing letters have been filed with the township indicating that residents between Hollow Road and Valley Forge Road are opposed to a trail along the Zacharias Creek. The township does not own land along the creek in this location so any proposed trail would impact private property and require an easement or purchase of land by the township. Chuck S. to forward copy of petition to SJC.
11. Mark R. discussed the potential users of the trail. Peter S. indicated local residents would be the primary users of the Worcester Township Greenway trails. Additionally, Peter S. discussed the ability of residents to use the trails for recreation or for use as an alternative means of reaching destinations within the township.
12. Melissa M. inquired about the administration of the conservation easements located within Worcester Township. Chuck S. indicated that the Montgomery County Lands Trust oversees the parcels with conservation easements.
13. Peter S. discussed initial talks with Evansburg State Park. The park is currently working on finalizing a master plan that has been in the works for the past three years. The park manager generally stated that Evansburg State Park is not interested in providing trail connections to surrounding townships. SJC will contact DCNR to determine the reason for this sentiment as it generally goes against the state's goal of providing greenway connections.
14. David S. discussed the existing protections provided to the township's stream corridors through the Floodplain Conservation District and Riparian Conservation District components of the Worcester Township Zoning Ordinance. SJC shall determine if any additional zoning requirements are necessary to further protect the environmentally sensitive areas of the township.
15. Peter S. discussed the need for acquisition of land or the acquisition of an easement to allow a trail to pass through private property. Peter S. noted that an easement for a proposed trail could be coordinated with a local land trust organization or environmental group.

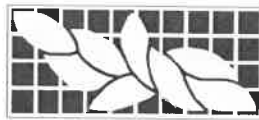
16. Tony S. noted that it would be very helpful to see photographic images of existing trails to visually demonstrate the different trail types that are proposed within the greenway plan. SJC shall provide images of existing trails to committee members.

Next Meeting: Committee Meeting #3 – Thursday, August 21, 7 pm, @ Worcester Township Community Hall.

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE

A handwritten signature in black ink, appearing to read "David T. Stauffer". The signature is written in a cursive, flowing style.

David T. Stauffer
cc: Attendees



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

9/10/03

Worcester Township Community Greenway Plan
SJC# 02030.10

STEERING COMMITTEE MEETING #3 MINUTES

Date/Time: 8/21/03, 7 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
Mark Rothenberger – Steering Committee Member
Chuck Sardo – Worcester Township Manager
Brian Styche – Simone Jaffe Collins (SJC)

Notes:

1. Brian S. distributed a handout comprised of an agenda and images of multi-use, equestrian, and hiking trails. These images will be included in the presentation at the next public meeting.
2. Brian S. reviewed the SJC analysis of the PECO right-of-ways including photos, and discussed a prepared list of questions SJC would ask PECO at a meeting to be held 8/27/03.
3. Barbara A. suggested SJC ask PECO about the potential terms and costs associated with any potential agreements, in addition to the prepared question list.
4. Brian S. stated that SJC will be contacting the local newspapers to ask them to prepare an article to advertise the Public Meeting to be held September 18th and provided an overview of what SJC will be presenting at the meeting.
5. Barbara A. reiterated her desire to remove the proposed limited access greenway trail along Zacharias Creek between Valley Forge Road and Hollow Road citing the petition that residents from this area submitted to the Township stating their opposition to a trail.
6. Chuck S. stated that eventually the steering committee will recommend to the Township Board of Supervisors what proposed trail alignments should be included within the report, but for now all potential alignments should be open for discussion and public review.
7. Mark R. questioned if the plan would formalize or preserve any existing pedestrian or bicycle pathways currently used as shortcuts to destinations like schools, etc. Brian S. responded that the plan will describe methods such as easement agreements that the Township could use to negotiate with individual landowners to formalize these connections.
8. Barbara A. and Mark R. suggested and Brian S. agreed that SJC should investigate the possibility of a trail alternative to follow the western side of Valley Forge Road between Zacharias Creek and Heebner Park.

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**Next Meeting: Public Meeting #2 – Thursday, September 18, 7 pm, @ Worcester
Township Community Hall.**

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE

A handwritten signature in black ink, appearing to read "Brian E. Styche". The signature is written in a cursive, somewhat stylized font.

Brian E. Styche, RLA
Associate

cc: Attendees



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

9/5/03

Worcester Township Community Greenway Plan
SJC# 02030.10

PECO REAL ESTATE MEETING NOTES

Date/Time: 8/27/03, 9:00 AM

Location: PECO Offices, 2301 Market Street, Philadelphia

In Attendance: Dennis Wilson – PECO Real Estate & Facilities
Nate Sanborn – PECO Real Estate & Facilities
Peter Simone – Simone Jaffe Collins, Inc. (SJC)
Brian Styche – SJC

Notes:

1. Peter S. began the meeting with an overview of the project and stated that it is in the early stages of the design process. The PECO right-of ways have been identified as an opportunity for trail development.
2. Peter S. questioned how PECO generally deals with lessees in terms of length of lease, costs, etc. Dennis W. responded that PECO formerly would have leases free of charge, but they now levy a charge for two reasons: 1) generate revenue, and 2) maintain awareness on the part of the lessees.
3. Dennis W. stated that PECO is expecting to review another trails plan being developed by Montgomery County and questioned whether or not the Worcester project was part of that plan. Peter S. replied that this is a separate plan.
4. Dennis W. stated that PECO has both short term and long term leases for use of its right-of-way. The short term leases or license agreements typically are 30 day agreements. Other long term leases range between 10 and 40 years.
5. Brian S. questioned about approximately how much of the right-of-ways within Worcester Township were being leased. Nate S. stated that much of the land is being leased but was not sure of a percentage.
6. Peter S. asked if it were possible to acquire easements through parcels already leased and what that process might be. Dennis W. stated that the Township could negotiate with those individuals, however any agreement between a subtenant (Township) and a current lessee would be subject to PECO approval. If the original lessee terms expire, the Township would be able to negotiate a continuation of the lease terms directly with PECO.
7. Brian S. asked if it were possible for PECO to compile a list of properties being leased within Worcester Township so that SJC can begin to identify potential trail connections. Dennis W. responded that the PECO system is quite antiquated and cumbersome and that it would take considerable time to compile that information.

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8. Brian S. questioned if PECO has any information or research pertaining to electromagnetic radiation, as this is a potential concern for trail users. Dennis W. provided SJC with Chuck Boeggeman's direct phone number, PECO's resident expert on EMF and induced voltage issues.
9. Brian S. asked if there were any design guidelines, safety measures, etc. for a trail development within the right-of-ways. Dennis W. responded that typically, trails are located within 15' of the edge of the right-of-way. Dennis W. also provided SJC with a document entitled 'Conditions for Working in the Vicinity of Electric Transmission Lines of PECO Energy Company and its Subsidiaries' and a direct contact number for Bill Magee, PECO's reviewing engineer if there are any questions.
10. Peter S. asked about the extent of the maintenance responsibilities that would be expected of the Township if a trail were to be placed within the right-of-way. Dennis W. answered that it would only be for the area associated with the trail.
11. Brian S. asked about the potential liability assumptions. Dennis W. stated that any lessee would assume all liability within their respective lease area.
12. Peter S. asked when SJC might be able to receive the lease information from PECO. Dennis W. estimated at the earliest by end of September (2003).
13. Brian S. stated that SJC would be willing to help shortcut the process if at all possible by providing any additional information that PECO may need.

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Brian E. Styche, RLA
Associate

cc: Attendees
Steering Committee Members

**Worcester Township Community Greenway Plan
Public Meeting #2**

September 18, 2003, 7 PM @ Community Hall, 1031 Valley Forge Road, Worcester, PA

NAME	ADDRESS	PHONE	EMAIL
GARY GRAMS	3170 BERRY CREEK RD P.O. BOX 934 - WORCESTER PA	(610) 584-8370	GERAMS@aol.com
Beth Stearns	1616 Hollow Rd " Collegeville PA	610 584 5659 "	
Kate Conway	"		
Watson Olszewski	Montco Planning Commission	610-278-3749	wolszews@mail.montcopa.org
Dee Dee McBrane	3025 Stump Hill Rd. Collegeville PA	610-584-6196	ddmcgrane@junior.com
DAVE PLACE	3059 W. GREEN TOWN AVE FAIRVIEW WYOMING PA 19403	610 539 - 8008	PLVDVD1@aol
David John Place	3054 Griffith Rd PO BOX 323 VALLEY FORGE PA	610-222-9280	Place2@aol.com
Russ Bryant	1809 VALLEY FORGE RD WORCESTER	610-584-4495	
Melanie Faagan	3232 Fisher Road Lansdale PA 19446	610-584-1051	mfagan5@cs.com
Mark Lethinberger	2264 Valley Forge Rd Lansdale PA	(610) 584-8213	
Fenwick D'Lauro	Box 5167A WORCESTER	610 19490	

**Worcester Township Community Greenway Plan
Public Meeting #2**

September 18, 2003, 7 PM @ Community Hall, 1031 Valley Forge Road, Worcester, PA

NAME	ADDRESS	PHONE	EMAIL
Dave + Mrs. Cron	Box 133 Cedar Pk	610 222-0139	
Jean Belyea	272 W. Main Ct	610-584-3478	
PAUL FELTONS	88 Willow Way Lansdale (Meadowbrook)	610-584-3895	
Pat Quigley	1050 Quarry Hill Rd. Norristown 19403	610 584 1829	PATQUIGLEY@aol.com
Barb Andon	3180 Deer Creek Rd		
Kim David	1704 BMTS Rd Norristown Pa.	610-584-1805	KimDavid@DavidProPhoto.com
Kerrie McManus	3160 DEER CREEK Rd	610-584-7285	McMANUS515@AOL.COM
BILL & SUSAN KETHMAN	3199 ZACHARIAS Ln	610-584-5336	
T. Scott Ryan	1980 S. H. H. Mill Rd.	610-584-1965	
Phyllis Moldovsky MD	3239 FAWN Rd	610 222 3916	
Robert Nadine Haines	3179 Zacharias Rd. Collegeville Pa	610-584-7520	
Susan Caughlan	2186 Overhill Drive	610 584-5619	sgc@dca.net
Jamie Steigerman	1088 Grange Ave Collegeville PA	610-489-7904	
Beth Pillsbury	Monty Co. Planning Comm.	610-278-3738	bpillsing@mac.com, montyco.org



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

9/30/03

Worcester Township Community Greenway Plan
SJC# 02030.10

PUBLIC MEETING #2 MINUTES

Date/Time: 9/18/03, 7 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
Paul Felton – Steering Committee Member
Mark Rothenberger – Steering Committee Member
Peter Simone – Simone Jaffe Collins, Inc. (SJC)
David Stauffer – SJC
Brian Styche – SJC
(See attached Attendance Sheet)

Notes:

1. Peter S. began the meeting by giving an overview of the project that included a review of the project goals and project schedule. Additionally, Peter S. reviewed existing planning documents that have been developed and explained how they relate to the Worcester Township Community Greenway.
2. Peter S. discussed the equestrian community, historic properties, existing parks, and schools located within Worcester Township. Peter S. indicated that the cultural resources of the township are likely destination points for proposed trails within the greenway plan.
3. Peter S. discussed equestrian, hiking trails, and multi-use trails while showing representative examples of these three trail types. Peter S. also explained the width and slope requirements of the three trail types in regards to different types of trail users.
4. Asphalt, compacted earth, and stone dust trail surfaces were discussed along with construction costs and maintenance requirements of these trail surfaces.
5. Peter S. discussed the PECO power line right-of-ways throughout the township along with issues associated with trail development within the right-of-way that include: maintenance, safety, existing leases, and exposure to electromagnetic radiation.
6. Peter S. reviewed the on-road bicycle routes that are located within Worcester Township. These include Bicycle Route 'S' designate by the State of Pennsylvania as a bicycle touring routes as well as primary and secondary on-road bicycle routes identified by the Montgomery County Trail Plan.
7. Peter S. discussed the stream watersheds that are located within the township and reviewed the existing protection of riparian corridors that is provided by the Floodplain Conservation District and Riparian Corridor Conservation District provisions within the Worcester Township Zoning Ordinance.

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8. Peter S. reviewed the proposed greenway and trail alignment map and indicated that the draft plan will prioritize the alignments for development. The meeting was then open to the audience for comments and questions.
9. An audience member questioned how the current plan differs from the 1994 Township Open Space Plan. Peter S. indicated that the current study looks at more alignments and goes into greater detail than the 1994 Township Open Space Plan.
10. Barb A. asked that Peter S. review the existing land in the vicinity of Heebner Park and Hollow Road that is currently owned by Worcester Township.
11. It was stated that numerous private residences along Zacharias Creek are not interested in seeing a trail developed between Hollow Road and Valley Forge Road along the Zacharias Creek. The residents indicated that they have expressed this sentiment to the township by filing a petition. Peter S. indicated that SJC has received a copy of the petition from the township.
12. A resident asked why the township is not required to notify landowners that would be affected by the proposed alignments. Peter S. indicated that the greenway master plan is not considered a legally binding document. The master plan is a planning tool only and may or may not be implemented by the township in part or in totality. He encouraged residents to put their concerns into writing so that they may be included in the final planning document.
13. Peter S. indicated that there may be additional ways to protect riparian corridors without providing public access. One possibility discussed was establishing conservation easements, especially since lands along creeks are already protected by township ordinances.
14. A concern over unauthorized trail access by motorized vehicles was discussed along with liability of property owners. Peter S. indicated that bollards and gates can be provided however these are not foolproof. Unauthorized access is an enforcement issue and Peter S. noted that as trail use increases the unauthorized use often diminishes. Regarding liability, Peter S. discussed the PA Recreational Use of Land and Water Act that deals with liability for property owners who allow public access to their land.
15. A resident questioned why the township would be interested in constructing a trail and investing money in an area that frequently floods. Peter S. indicated that similar trails in other locations regularly flood and sustain minimal, if any damage as trails generally do not contain significant structures.
16. A comment was addressed regarding trails crossing roadways. Peter S. indicated that trail crossings of state roads will require PennDOT approval and that specific standards for construction must be followed to provide safe and adequate road crossings.
17. An attendee stated concern over traffic accidents that have occurred on Hollow Road at the bridge crossing of Zacharias Creek.
18. A concern was noted in regards to a proposed township trail alignment that would connect to areas of Evansburg State Park now used for hunting. An attendee responded that they frequent Evansburg State Park throughout the year and have never encountered problems with hunters.
19. An attendee stated that they would like to see the proposed section of trail along Zacharias Creek between Hollow Road and Valley Forge Road removed from the plan. Peter S. indicated that the Study Committee will ultimately determine the final alignments and designated greenways in the planning document.
20. Peter S. indicated to members of the audience that SJC would email audience members a copy of the current proposed alignment map. It was indicated that individuals without email would be mailed a copy of the proposed greenway alignment map.

**Next Meeting: Committee Meeting #4 – Thursday, October 9, 7 pm, @ Worcester
Township Community Hall.**

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE

A handwritten signature in black ink, appearing to read "David T. Stauffer". The signature is fluid and cursive, written over the printed name below.

David T. Stauffer

cc: Study Committee Members



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

10/22/03

Worcester Township Community Greenway Plan
SJC# 02030.10

STUDY COMMITTEE MEETING #4 MINUTES

Date/Time: 10/9/03, 7 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
John Harris – Worcester Township Supervisor
Melissa Miles-Wallace – Steering Committee Member
Mark Rothenberger – Steering Committee Member
Tony Sherr – Steering Committee Member
Peter Simone – Simone Jaffe Collins, Inc. (SJC)
David Stauffer – SJC

Notes:

1. Peter S. distributed draft report text that has been compiled to date and asked that committee members review the text and provide SJC with any comments or recommendations.
2. Peter S. reviewed a draft cost estimate provided to give an overview of the detailed trail development costs that will be provided in the draft report. Peter S. indicated that the report would likely not contain easement cost information from PECO as they have been bogged down from recent storms and have been unable to provide input.
3. A question was raised regarding available funding sources for construction of the greenway and trail improvements. Peter S. briefly identified applicable funding source and discussed DCED Grants, Federal Enhancement Grants, and PA Growing Greener Grants that may be a source of funding for riparian corridor enhancements.
4. Peter S. reviewed the "Creating an Open Space System – Worcester Township" document that was prepared by the Montgomery County Planning Commission in 2002.
5. Peter S. reviewed the Evansburg State Park Master Plan mapping information that was provided by the Department of Conservation and Natural Resources. Specifically, proposed trail alignments within the state park were reviewed in relation to proposed trails shown on the draft Worcester Community Greenway Proposed Alignment Map.
6. Existing conservation easements were discussed in regards to the township's requirement to construct a trail as a condition of funding provided for the easement located along the Zacharias Creek in the vicinity of Greenhill Road. SJC shall acquire the specific wording of the conservation easement to determine the width of land in which the township can construct a trail.

7. Peter S. gave a brief overview of the PA Recreational Use of Land and Water Act and discussed the Duquesne Law Review article that was mailed to study committee members.
8. Mark R. questioned if it is possible to prevent people from leaving designated trails. Peter S. indicated that the trail could be designed to include signage and fencing where necessary to prevent people from leaving trails.
9. Peter S. reviewed the existing protection of riparian corridors that is provided by the Worcester Township Zoning Ordinance Floodplain Conservation District and Riparian Corridor Conservation District provisions. Peter S. explained the difference between the legal parameters of the Worcester Township Zoning Ordinance in relationship to the Community Greenway Master Plan that is an advisory document.
10. Conservation easements were discussed in regards to additional levels of riparian corridor protection. Conservation easements do not permit the township to build trails on private property. The township must either acquire an easement to build a trail through private property or the township may buy additional parcels of land to allow for trail construction.
11. Peter S. discussed the proposed alignment between Hollow Road and Valley Forge Road along the Zacharias Creek. Four alternatives were reviewed:
 1. Show a limited access hiking trail through this area that would require the township to acquire easements or purchase property to construct a trail;
 2. Designate the alignment as a greenway with no public access;
 3. Resident's desire to protect the corridor can be achieved through conservation easements; or
 4. Committee can opt not to make a recommendation.
12. It was discussed that the labeling of an area as a greenway offers no further protection than what protection currently exists through the Worcester Township Zoning Ordinance.
13. Peter S. indicated that it would be desirable to show a public access trail along Zacharias Creek between Hollow Road and Valley Forge Road however it is not a critical connection as alternative routes exist. Peter S. also discussed the master plan as a long-range planning document.
14. Barb A. expressed concern over decreased property values if trails are constructed. Peter S. stated that studies have shown that trails had no affect on property values or slightly increase property values.
15. The committee determined that public access would not be shown along the Zacharias Creek between Hollow Road and Valley Forge Road. Also, the committee determined that alignments shown as proposed no access greenways should be labeled as no access greenways/protected riparian lands.
16. The committee also stressed the importance of reviewing the existing riparian land protection that is in place when the draft plan is presented to the public at the next meeting.
17. SJC shall revise the proposed alignment map to show the East Norriton Township Greenway trails that begin at Ballard Wolfe Park.
18. The proposed limited access alignment through Peter Wentz Farmstead shall be extended to the north through the parcels protected by conservation easements to allow access to Merrymeade Farm. John H. indicated that the township had previously recognized this alignment and the potential for hayrides to be conducted between Merrymeade Farm and the Peter Wentz Farmstead.

**Next Meeting: Public Meeting #3 – Wednesday, October 22, 7 pm, @ Worcester
Township Community Hall.**

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE

A handwritten signature in black ink, appearing to read "David T. Stauffer". The signature is fluid and cursive, with the first name "David" being the most prominent.

David T. Stauffer

cc: Study Committee Members

**Worcester Township Community Greenway Plan
Public Meeting #3**

October 22, 2003, 7:00 PM @ Community Hall, 1031 Valley Forge Road, Worcester, PA

NAME	ADDRESS	PHONE	EMAIL
GARY CRANS	3170 DEER CREEK RD, PO. BOX 924 WORCESTER	(610) 584-8370	EG-CRANS@aol.com
BILL MALLON	1724 GREEN HILL RD CEDARS 19423	610 584-7899	WKMALLON@aol.com
DAVID PLACE	3057 W GERMAN TOWN PK. FAIRVIEW VILLAGE 19403	610 534-8008	
David John Place	3054 Griffith Rd Fairview Village 19403	610-222-9280	place2@aol.com
RUSSELL BRYANT	1809 VALLEY FORGERD WORCESTER 19490	610-584-4495	rbryantjr@juno.com
Melanie Fagan	3832 Fisher Road Lansdale PA 19446	610-584-1051	mfagan5@cs.com
Barbara Andon	3180 Deer Creek Rd Collegeville PA 19426	610-584-7526	barbara-andon@comcast.net
Beth Stearns	1616 Hollow Rd Collegeville PA 19426	610 584 5659	beth113@comcast.net
Kim David	1704 Pines Road NARRITTOWN PA. 19403	610-584-1905	KimDavid@DavidBrothers.com
Philip Magdo (Fishard)	3239 FAUN RD PO Box 551 Worcester PA 19490	610-222-3916	
J. Scott Tegan	1950 Sh. Hill Rd. PO Box 231 Warrington, Pa. 19403	610-584-1965	
Susan Caughlan	2686 Overhill Drive Center Point PA 19403	610 584-5619	sgc@dea.net
John Harris	1133 R. Siebel Mill Rd. Fairview UG.	610-584-8395	
ANN L LAUMBER	3349 Stump Hill Rd. PO Box 449 Worcester	610-584-4787	clcrebay@aol.com
SUSAN LETHRAD	2199 Zacharys Road, Collegeville, PA 19426	610-584-5336	SLLEHRAD@IGI.NET



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

11/18/03

Worcester Township Community Greenway Plan
SJC# 02030.10

PUBLIC MEETING #3 MINUTES – DRAFT PLAN PRESENTED

Date/Time: 10/22/03, 7 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
David Stauffer – Simone Jaffe Collins, Inc. (SJC)
Brian Styche – SJC
(See attached Attendance Sheet)

Notes:

1. Brian S. began the meeting by reviewing the draft plan report and the components of the report that include an Inventory and Analysis Section, a Trail Connections Section, and an Implementation and Funding Strategy. It was noted that the report would be made available for review at the Worcester Township Building. Review comments are encouraged and the township will have comment forms available.
2. Brian S. briefly reviewed the project goals and project schedule along with mapping information that has been developed. Additionally, Brian S. reviewed existing planning documents such as the 1994 Worcester Township Open Space Plan that recommends open space linkages.
3. Brian S. discussed the existing township cultural and environmental resources. The Floodplain Conservation District and Riparian Corridor Conservation District provisions of the Worcester Township Zoning Ordinance were reviewed in regards to the protection of these environmentally sensitive areas of the township.
4. The proposed Greenway alignment map was reviewed and the PECO right-of-ways throughout the township were discussed as the primary trails within the Worcester Community Greenway suitable for the development of multi-use facilities. Brian S. discussed the township requirement to lease lands within the right-of-way for trail construction and stated that the township would be required to maintain the right-of-way leased from PECO.
5. Brian S. explained that the proposed trail alignments are broken out into points and segments as shown on the draft trail alignment plan. The point/segment breakdown of the trail system directly relates to the cost estimate summary provided in the draft plan report.
6. Equestrian, multi-use, and hiking only trails were discussed and standards for construction of these trail types were reviewed. Additionally, trail surfaces were discussed in regards to initial trail construction costs versus long-term maintenance costs.

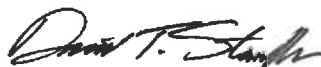
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7. Brian S. discussed the limited access trail alignments proposed on the draft Greenway Alignment Map. The focus of limited access trails is through the Zacharias Creek Corridor. However, the Worcester Township Community Greenway Study Committee recommended that the trail be eliminated from the creek corridor between Hollow Road and Valley Forge Road as a result of opposition encountered from property owners in this vicinity.
8. It was noted that SJC shall revise the draft greenway alignment plan to indicate that the township owns land along the Zacharias Creek in the vicinity of the conservation easement parcel on Greenhill Road.
9. Brian S. reviewed the cost estimate subtotals that include ± 11 miles of multi-use trails at an estimate of \$1.6 million and ± 8 miles of limited access trails at an estimate of \$225,000. It was noted that the \$1.8 million total does not reflect land acquisition costs or lease costs associated with the PECO right-of-ways.
10. Brian S. reviewed the many state and federal funding sources that may be available to the township for the development of the community greenway. It was noted that a detailed explanation of the funding sources is provided in the draft report.
11. An attendee questioned if the east side or the west side of Valley Forge Road was proposed for the limited access alignment along Valley Forge Road between Heebner Park and Zacharias Creek. Additionally, concerns were expressed in regards to pedestrian safety along this section of road that contains a high traffic volume. Brian S. indicated that the western side of Valley Forge would be desirable for the establishment of shoulder improvements to provide a safe area for pedestrians.
12. A question was raised regarding the policing of the trails, as the township does not have a police force. Brian S. discussed that gates are proposed at road crossings to prevent unauthorized vehicular access. Additionally, it was noted that crime and vandalism tend to diminish as more people use the trails.
13. A question was entertained regarding the possibility of providing an equestrian trail in addition to the hiking trail proposed between Heebner Park and Evansburg State Park. Brian S. indicated that SJC can review this alignment for the possibility of providing an equestrian trail. SJC shall review this idea and discuss findings with the study committee at the next meeting. Additionally, it was noted by an audience member that equestrian groups may be a source of volunteer labor to maintain the trails within the township.
14. An attendee stated that Landis Road may be an alternate to providing a hiking trail along Valley Forge Road between Heebner Park and Zacharias Creek. Concerns were raised regarding traffic volume, traffic speed, and the ability to provide a safe crossing of Valley Forge Road.
15. An attendee discussed an existing trail that connects the Meadowbrook Retirement Community and the Central Schwenkfelder Church on Valley Forge Road. This existing trail was suggested as a possible alternate alignment to connect from the Peter Wentz Farmstead to the Zacharias Creek at Hollow Road. This would require the use of the PECO right-of-way to connect the Central Schwenkfelder Church to the Peter Wentz Farmstead. SJC shall review this alignment as a potential trail alignment and discuss findings with the study committee.

Next Meeting: Committee Meeting #5 – Monday, November 24, 7 pm, @ Worcester Township Community Hall.

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE



David T. Stauffer

cc: Study Committee Members



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

12/1/03
revised 12/19/03

Worcester Township Community Greenway Plan
SJC# 02030.10

COMMITTEE MEETING #5 NOTES – DRAFT PLAN REVIEW

Date/Time: 11/24/03, 7 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
Susan Caughlan – Township Open Space Committee Director
Paul Felton – Steering Committee Member
John Harris – Township Supervisor
Chase Kneeland – Township Supervisor
Mark Rothenberger – Steering Committee Member
Chuck Sardo – Township Manager
Tony Sherr – Steering Committee Member
Peter Simone – Simone Jaffe Collins, Inc. (SJC)
Brian Styche – SJC
Others (See attached Attendance Sheet)

Notes:

1. Brian S. began the meeting by reviewing the notes handout distributed of the Third Public Meeting held in late October, highlighting the proposed ideas of 1) trail alignment alternatives around the Meadowwood community and 2) allowing equestrian use on the proposed Limited Access Trails.
2. An attendee questioned whether or not horses would be allowed to use the proposed trails citing that horse use was promised with the development of Heebner Park. Township representatives stated that there are no current rules prohibiting horse use of trails within Heebner Park, even though there are no signs promoting horse use of the trails.
3. Brian S. summarized the DRAFT plan comments received to date. Approximately 30 letters were received with the resounding majority of those comments being centered on the following topics: 1) making the connection between Heebner Park and Evansburg State Park through township owned property a priority; and 2) allowing equestrian use of the proposed trails.
4. Chase K. distributed pictures of the Pine Creek Trail in Pine Creek Valley near Wellsboro, PA to show an example of a multi-use trail that has been developed on an abandoned rail corridor. Brian S. confirmed that the multi-use trail type is similar, primarily in its width to what the plan is proposing to be developed within the PECO right-of-ways only.
5. An attendee questioned why there is a separate horse or bridle path and why the horses cannot share the same surface. Brian S. clarified that due to the adequate space found within the PECO right-of-way and recommendations of both AASHTO and the Rails to Trails Conservancy, it would be best to have a separate horse path where the Multi-Use

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trails are proposed on the plan. This is primarily due to the potential conflicts between cyclists and equestrians and also trail surfacing. Within the proposed Limited Access Trails, both pedestrians and equestrians may share the same trail surface. Cyclists should not be permitted to use the Limited Access trails.

6. Barbara A. expressed concern over the damage a horse could do to a trail in muddy conditions. A representative of the equestrian community assured her that not only do the equestrians know not to ride when it is muddy due to the damage that horses may cause, but that horse groups provide a valuable source of volunteer labor for trail maintenance citing the 'Horseways' group in Lower Gwynedd Township as an example. Peter S. noted that all trails will require maintenance.
7. The Farmers Union was a group identified to represent the local equestrian community - contact person, Michelle Roth. SJC will interview Ms. Roth as part of the required Key Person Interviews.
8. Brian S. read through a list of potential key Person Interviews to be conducted as part of the final report. A total of fifteen (15) interviews will be conducted by SJC. John H. suggested that Chuck S. be included as one of the interviews.
9. A copy of the draft Greenway Survey and Propose Alignments map (8.5 x 11) was distributed for review by the committee. The survey is to be included in the next Township Newsletter mailing at the end of December. Susan C. suggested that the survey also be placed on the Township website. Brian S. is to email the Survey and Map to the Township for their use in web publishing. (Sent 11/25/03)
10. Brian S. will provide the Township with a CD containing a copy of the DRAFT Greenway report in PDF format. These documents may also be published on the Township website. (Sent 11/26/03)
11. Barbara A. expressed her concern (and the concerns expressed by other township residents at other meetings) over including the term 'Greenway' within the areas on the Proposed Alignments map designated as 'No Access Greenways / Protected Riparian Lands'. The residents believe this terminology may:
 - Imply Township ownership and/or rights to those lands;
 - Impose future yet to be identified "township rights" on these lands as the definition of 'Greenway' evolves over time;
 - Allow the Township to solicit state funding without the knowledge or approval of township residents for implementation of the greenway, thus possibly placing these properties with no greenway access under some type of "obligation" in return for obtaining the funds; and,
 - Detract form the value of the properties in the Township with this greenway designation in general and based upon the above items.
12. Peter S. responded that there are many ways to look at it, but the fact is that 'Greenways' whether a trail is included or not, often contribute positively to property values rather than detract from them and are used as marketing tools for new developments. Secondly, the 'No Access' designation clearly defines this area as one that is not recommended by this plan or committee to include a trail or any other access, thus increasing the protection of the existing conditions.
13. Susan C. added that although Barbara and her neighbors may not want a greenway or trail located in the specific area adjacent to their homes, many other Township residents may want the added benefits of a greenway or trail associated with their properties, and therefore these areas should not be removed from the Proposed Alignments map.
14. Peter S. added that keeping the term 'Greenway' associated with this and other riparian corridors within the Township can improve the chances of acquiring additional funding for protection of these lands through programs such as PA's Growing Greener Program.
15. Chuck S. expressed concern that removing the term 'Greenway' may jeopardize DCNR's funding of this study, as this is intended to be a 'Greenway' plan.

16. Tony S. stated that the 'No Access' designation of the areas in question does more to ensure that a trail will not be placed within these corridors by stating this is the recommendation of the committee rather than what any future evolution of the term 'greenway' could do to the contrary.
17. Barbara A. questioned whether or not the Steering Committee would vote on the 'greenway' term issue. Peter S. stated that it is ultimately up to the Board of Supervisors and that the recommendations of the committee and consultant are simply advisory to the Board of Supervisors throughout this planning process.
18. John H. stated that although the recommendations of the consultant and other committee members are very rational, they must also be weighed against the emotional argument created by fear. The Board of Supervisors will review the DRAFT Greenway Plan, confer, and make a recommendation as to the terminology that should be included in the final report.
19. An attendee expressed concern over the location of the Limited Access Trail between Heebner and Evansburg State Parks citing the potential for teenager problem areas, daredevils challenging raging flood waters, and the lack of a Township Police force to monitor and prevent these activities. Peter S. responded that teenagers often go to places where they will not be seen to do these 'bad' or illegal activities and that a trail, especially if it is used heavily, will do more to eliminate these activities by providing more eyes into these areas.
20. Susan C. stated that it would be good to connect the Worcester Elementary School into the Greenway Trail system to provide access for students to the Zacharias Creek as well as a potential transportation resource to and from the school. SJC will examine
21. Paul F. stated there is a trail on the outside of the Meadowwood community that is used by its residents and may potentially be included as part of the Greenway Plan.
22. Mark R. suggested an alternative to make the connection between the Peter Wentz Farmstead, the Elementary School and the Zacharias Creek. This alternative was shown to the consultants and will be reviewed and incorporated as appropriate into the final plan.
23. Due to the continued review of the DRAFT plan, the outstanding Key Person Interviews, and forthcoming resolution regarding the Greenway' terminology by the Board of Supervisors, the final public Meeting scheduled for December 11th will be postponed. SJC to coordinate with Chuck S. to set a new date for this final meeting in the month of January, 2004.

Next Meeting: Public Meeting #4 – Wednesday, January 28th, 7PM @ Worcester Township Community Hall.

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Brian E. Styche, RLA
Associate

cc: Study Committee Members

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**Worcester Township Community Greenway Plan
Public Meeting #4
January 28, 2004, 7:00 PM @ Community Hall, 1031 Valley Forge Road, Worcester, PA**

NAME	ADDRESS	PHONE	EMAIL
Russ Bryant Jr	1809 VALLEY FORGE RD WORCESTER	610-584-4495	rbryantjr@juno.com
Melanie Fagan	3032 Fisher Kd Lansdale PA 19446	610-584-1051	mfagan5@cs.com
Russell Bryant	1948 Southmill Rd worcester 19490	610 584-5900	russellbryant@verizon.net
HENRY DEMITO	1803 VALLEY FORGE RD.	610 584-5521	
John Harris	1133 Kriebel Mill Rd.	615-584-8395	
Barbara Andon	3180 New Creek Rd	610-584-7576	
Susan Cooperlan	2086 Overhill Drive	610 584-5619	sgc@odra.net
PAUL FELTON	MEADOWOOD	610 584 3895	
D. D. McGRANE	3025 STUMP HALL RD, COLLEGEVILLE, PA ¹⁹⁴²⁶	610-584-6196	ddmcgrane@juno.com
Gyathia Ciccio	1111 Quarry Hall Rd, Pottsville, PA	610-584-4103	Edin.Soul@aol.com
Franne Steigerwalt	1028 Grange Ave. Collegedale PA 19426	610-489-7904	JLR723@aol.com
Rep. John Fichter	Rt 73 & Sustard Rd Worcester	610-584-0070	JFichter@PA Home Group.com
Ana Comby	1733 Whitehall Rd. Norristown	610-584-6045	FMDWLAN@Comcast.net
DAVID LADDY	257 Center Point Ln Lansdale PA 19444	610-222-9626	deardfow@yahoo.com
Beth Filling	Monty Co. Planning Comm.	610-278-3738	bjfilling@montyplanning.com
Kim D'Amico	1704 Beverly Road Norristown, Pa 19403	610-504-1805	Kim.D'Amico@DavidBrattus.com
ROBERTA DEMITO	1803 VALLEY FORGE RD. WORCESTER PA 19490	610-584-5521	demites@mybluelight.com
HENRY DEMITO	" " " "	" "	
Charley Muir	1901 Whitehall Rd. Norristown, PA 19403	610-584-8472	charley@earthlink.net



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

2/3/04

Worcester Township Community Greenway Plan
SJC# 02030.10

PUBLIC MEETING #4 MINUTES – FINAL PUBLIC PRESENTATION

Date/Time: 1/28/04, 7 PM

Location: Worcester Township Community Hall

In Attendance: Barbara Andon – Steering Committee Member
Paul Felton – Steering Committee Member
Mark Rothenberger - Steering Committee Member
Peter Simone – Simone Jaffe Collins (SJC)
Brian Styche – SJC
(See attached Attendance Sheet)

Notes:

1. Peter S. began the presentation by reviewing the project intent, short term and long term schedule, project goals, and some of the benefits of establishing a greenway system.
2. Brian S. provided an overview of the project's design process including the inventory and analysis, proposed trail types, implementation priorities, and potential funding sources.
3. An attendee questioned where along Valley Forge road a trail would be placed to accommodate horses, expressing concern that there is little room for a trail and that the highway is heavily traveled. Brian S. responded that the intent is that this 'trail' will be placed within the PennDOT right-of-way along the western side of the cartway. The physical placement of the trail including trail width, surfacing, etc. will be determined later in the design phase, but it is envisioned to be a narrow pathway similar to the average sidewalk.
4. An attendee questioned the quality of the existing Floodplain and Riparian Corridor zoning ordinances and whether or not they provide enough protections. Peter S. responded by saying that the ordinances do provide for adequate environmental protection for these corridors and that they are identified in this report to provide for additional protection as potential areas for native planting restoration projects.
5. The question of the potential conflicts between equestrians and motor vehicles, particularly along the proposed Valley Forge Road trail segment was raised. Peter S. stated that it mostly depends on the personality of the individual horse as to how they would react, but state law does permit horses to share the roadways with motor vehicles.
6. An attendee suggested that all of the proposed trail alignments be developed within the PECO rights-of-way citing the more than adequate width and the lack of private property impacts.
7. Motorcycle and ATV use was cited to be a potential problem with respect to trails located within the PECO rights-of-way and the question was raised as to how this could be

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prevented. Peter S. responded that it is very difficult to keep these types of vehicles / users off of a trail system through any physical design means and that it is often a matter of enforcement by either the police and/or local volunteer groups who will monitor the trails.

8. Barbara A. questioned when the current document will be revised to incorporate the comments and be available for review by the committee prior to final printing and adoption by the Board of Supervisors. Peter S. stated that there are a few outstanding issues yet to be resolved, including the completion of the Key Person Interviews and tabulation of the Greenway Survey results now being distributed with the Township newsletter. It is anticipated that the pre-final plan will be circulated to the Study Committee and Supervisors in early to mid-March.

Respectfully Submitted,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Brian E. Styche, RLA
Project Manager



SIMONE JAFFE COLLINS
LANDSCAPE ARCHITECTURE

**Worcester Township
Community Greenway
SJC#02030.10**

Key Organizations & Individuals Input Summary:

Susan G. Caughlan - Director, Township Open Space Committee – Expressed that it is very important for the Township to pursue trail linkages between local destinations important to residents such as schools, historic sites, municipal and state parks, shopping areas, and services such as the post office and township building. These trails should be equestrian-accessible wherever possible. The trail link between Heebner Park and Evansburg State Park through Township owned land and the Markel property easement should be a priority.

Tolson Dasa - Montgomery County Planning Commission – Mr. Dasa is working with the Township Open Space Committee to update the Township's Open Space Plan entitled 'Green Towns / Green Fields'. He believes that the Zacharias Creek corridor is the primary opportunity to connect destinations with trails within the Township.

Michelle Roth Romano – President, Farmer's Union Horse Company – Stated that it would be good for the Township to focus initial plan implementation efforts on the Heebner to Evansburg State Park. She has also offered the support of the Farmers Union group to assist the Township maintain the trails once established. (see following letters of support).

John Gribosh – Evansburg State Park Superintendent – Mr. Gribosh has reiterated that it has been the policy of the State Park not to provide trail connections to adjacent municipalities, and that there is no future intention to do so. This policy was communicated to the Montgomery County Planning Commission during the sale of the parcel through the Markel property adjacent to the park. The only trails planned within the park are the existing trails. Note: The Township and Montgomery County are working together to resolve this administrative issue.

PECO Real Estate & Facilities – The consultant met with PECO to discuss the possibility of trail development within the existing power line rights of way. Please refer to the report appendix for a summary of this meeting. PECO is willing to assist the Township by assembling existing license agreement information as a courtesy, however a lack of manpower and organizational restructuring has prevented this information gathering to date (see following memorandum).

Beth Pilling - Montgomery County Planning Commission – Ms. Pilling has attended the public meetings and reviewed the DRAFT Greenway Plan. She is in favor of creating trails that would provide connections to existing and/or proposed County trails as well as destination points throughout the Township. She would also like to see the continuation of the proposed limited access trail along Zacharias Creek between Hollow Road and Valley Forge Road so that it may be implemented for future generations. She understands reasons for the trail alignments contained in the study.

Chuck Sardo – Worcester Township Manager – Chuck has attended many of the study committee and public meetings for the project and is in support of the plan. He believes the Township should pursue the limited access trails before the PECO right of way trails.

Dorothy McGrane – Resident, Equestrian Community – Dorothy is one of the many horse enthusiasts within the Township that would like to see the establishment of formal equestrian trails. She would like to see the development of the Heebner Park to Evansburg State Park link as a priority (see following letter).

Frank A. D’Lauro – Chairman, Worcester Planning Commission – Mr. D’Lauro has reviewed the DRAFT plan and agrees with the recommendation of making the Heebner Park to Evansburg SP link a priority and establishing additional protection for the riparian corridors. The development of trails within the PECO rights of way he believes may require further study.

Holly Jackson – Resident – Ms. Jackson is not in favor of the plan to develop a trail along Hollow Road and the Zacharias Creek corridor, citing safety concerns. These safety concerns are related to 1) the dangerous conditions created during an often occurring high water flooding event and, 2) the remoteness of the trail location and its potential for lack of policing or monitoring.

Friends of Worcester – Representatives of the group have attended the public meetings and are in support of the Greenway Plan (see following letter of support).

Bill DeWire – Director, Meadowwood Retirement Community – Is in favor of having a trail system adjacent to the Meadowwood property that would connect to Zacharias Creek, Worcester Elementary, the Farmers Union, and Peter Wentz Farmstead, as many of the current residents are avid walkers. Mr. DeWire has concerns regarding the safety of providing crossings of Skippack Pike and trail liability.

Worcester Township Community Greenway
Public Comments

November 17, 2003

Thank you for pursuing horse trails in Worcester. Horses have been an important and historical part of this township. Instead of focusing on using PECO rights of way since they are blocked at certain properties it would be good to concentrate initial efforts on using land the township already owns or controls. Specifically, the first link that should be built is the section along Zacharias Creek and then across township owned land, connecting Heebner Park with Evansburg State Park. I understand this is a flood plane however as an equestrian I am well aware of the balance of nature and horses hooves and am confident there are ways to govern the trails with better footing in that area or closing the trail during the wet season.

As a lifelong tax paying resident of Worcester I have seen many changes and road walking a horse in this township is becoming increasingly dangerous. The flora and fauna in this township are beautiful and there is no better way to enjoy them for me then on the back of a horse. Horse trails can be as simple as packed dirt as in Evansburg State Park, where trails have run next to the creek for years and have endured their share of floods without having any major alterations. Horses and hikers have been able to share many trails without conflict and I am sure Worcester will be able to make the same compromise.

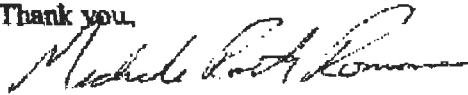
Thanks for the opportunity to be heard.
Sincerely, Michele Romano
1401 Hollow Rd
Collegeville Pa 19426

Worcester Township Community Greenways Plan

As the current president of the Farmers Union Horse Company, (established in 1838 in Fairview Village) I am writing to express an interest that the Horse Company has in working with the township in the creation and maintainance of equestrian trails. As a local horse oriented group we would be willing to help organize local horseback riders to help maintain the trails. Either myself or another township Horse Company member would gladly meet with the Greenways Committee to help create routs or locations of trails.

I can be reached at 610.222.0171 or e-mail at fairplay1@comcast.net

Thank you.



Michele Roth Romano
Farmer's Union Horse Company

NOV 21 2003

FAX



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LANDSCAPE ARCHITECTURE
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PHONE: 610.889.0348 FAX: 610.889.7521
E-MAIL: SJC@SIMONEJAFECOLLINS.COM
WWW.SIMONEJAFECOLLINS.COM

To: Chuck Sardo, Worcester Township Manager
Fax #: 610-584-8901
From: Brian Styche
CC: Nate Sanborn, PECO
Date: 3/5/04
Pages: 1
Re: Worcester Township Community Greenway
SJC#: 02030.10

Chuck,

I recently had a conversation with Nate Sanborn from PECO's Real Estate and Facilities Department regarding the Greenway project. When we met with PECO back in August of last year, they agreed to attempt to prepare a summary of the existing license agreements located within their Worcester Township rights-of-way. We planned to analyze this info to determine areas of opportunity within these rights-of-way for trail development.

Since then, PECO has been unable to devote manpower to this request primarily due to staffing and reorganization issues. However, Mr. Sanborn has assured me that PECO still intends to assemble this information and will do so as soon as they are able. As you know, we are completing our work on the Greenway report and may not have this information by the time we prepare the final report. This information will be very useful for the Township to identify and prioritize potential trail locations for implementation as recommended within the report.

If you should have any questions, please let us know.

Sincerely,
SIMONE JAFFE COLLINS, INC.
LANDSCAPE ARCHITECTURE

Brian E. Styche, RLA
Associate

**Worcester Township Community Greenway Plan - Draft
Public Opinion**

**Dorothy D. McGrane
3025 Stump Hall Road
Collegeville PA 19426**

Comments:

Since a large amount of land in Worcester is owned by horse enthusiasts, the need for equestrian trails should be recognized. As a resident of the township for more than 43 years, I have seen our trails diminish greatly due to development. Ever increasing traffic has forced us to stay off the roads, and now the trails are disappearing.

The trail that should receive highest priority is one that would link **Haebner Park to Evansburg Park via the Zacharias Creek**. It makes good sense to utilize land that the township already owns or controls. Because of the private leases of portions of the PECO rights of way, the proposed power line trail would be repeatedly interrupted.

Horses have been a significant part of the history of Worcester. The **Farmers' Union Horse Company** has drawn people to Fairview Village for many, many years. Let's not forget our heritage.

We have always willingly permitted riders to cross our farm and would welcome the opportunity to be part of the trail system.

Dorothy D. McGrane

FEB 10 2004



P.O. Box 545
Worcester, PA 19490

Phone: 610-584-1805
www.friendsofworcester.org

Donations to Friends of Worcester are tax deductible

February 6, 2004

Board of Supervisors
Worcester Township
1721 Valley Forge Road
P. O. Box 767
Worcester, PA 19490

Dear Supervisors:

Several members of Friends of Worcester have closely followed the Greenway draft plans, asked questions and voiced our concerns. As a result, we have consensus within Friends of Worcester that the greenway would be a valuable and beneficial component of our township.

We believe this will provide recreational benefits to our township residents, and also serve to link neighbors to destinations such as Heebner Park, Peter Wentz Farmstead and Evansburg State Park, as well as linking neighbor with neighbor, to create a stronger sense of community.

We recognize the importance of initially focusing on both pedestrian and equestrian trails, which would link to Evansburg State Park and eventually connect to Peter Wentz Farmstead, Merrymead and Worcester Elementary School

We hope the use of the PECO power line's right of ways would be extremely limited in use. However, we do realize they may be necessary to link trails together.

We are anxious to see this project move forward and offer our support.

Sincerely

Kim David
President

ONCE IT'S GONE—IT'S GONE FOREVER!

Worcester Township Community Greenway Survey with Results (in parentheses)

(Total of 73 Surveys returned)

Worcester Township is engaged in the planning for a township-wide, off road trail system. The trail system is intended to be used by all types of non-motorized users, including walkers, joggers, equestrians, cyclists, and cross-country skiers. The trail system will connect the existing recreational facilities such as Heebner Park, Evansburg State Park, and The Peter Wentz Farmstead with schools and residential neighborhoods. The trail system will both provide for recreational use and serve as an alternative to motor vehicles for short trips. Ultimately, the Worcester Township trail system will connect with the trail systems in neighboring townships and to regional County trails.

The trail is planned to take advantage of two types of existing "corridors" in the Township. The first corridor is the PECO electrical right-of-ways traversing the Township from southeast to northwest. In some cases these lands are hundreds of feet wide and have the potential to be used as multi-purpose trails (paved) to accommodate a variety of shared users. The PECO rights-of-way could also be used for a separate soft-surfaced equestrian trails.

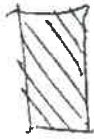
The second type of corridors is along existing creeks, including the Zacharias and other small tributaries. These 'Limited Access' trails will be narrow pathways designed to allow foot and equestrian traffic only. Some of the existing lands along creeks have been designated as "No Access Greenways / Protected Riparian Lands". Already protected under existing township ordinances, this greenway designation is meant to reinforce that protection through increased public awareness of these riparian corridors.

The County has already designated a number of roads that traverse the township as on-road bicycle routes. These on-road routes will connect to the Township's planned off-road trails.

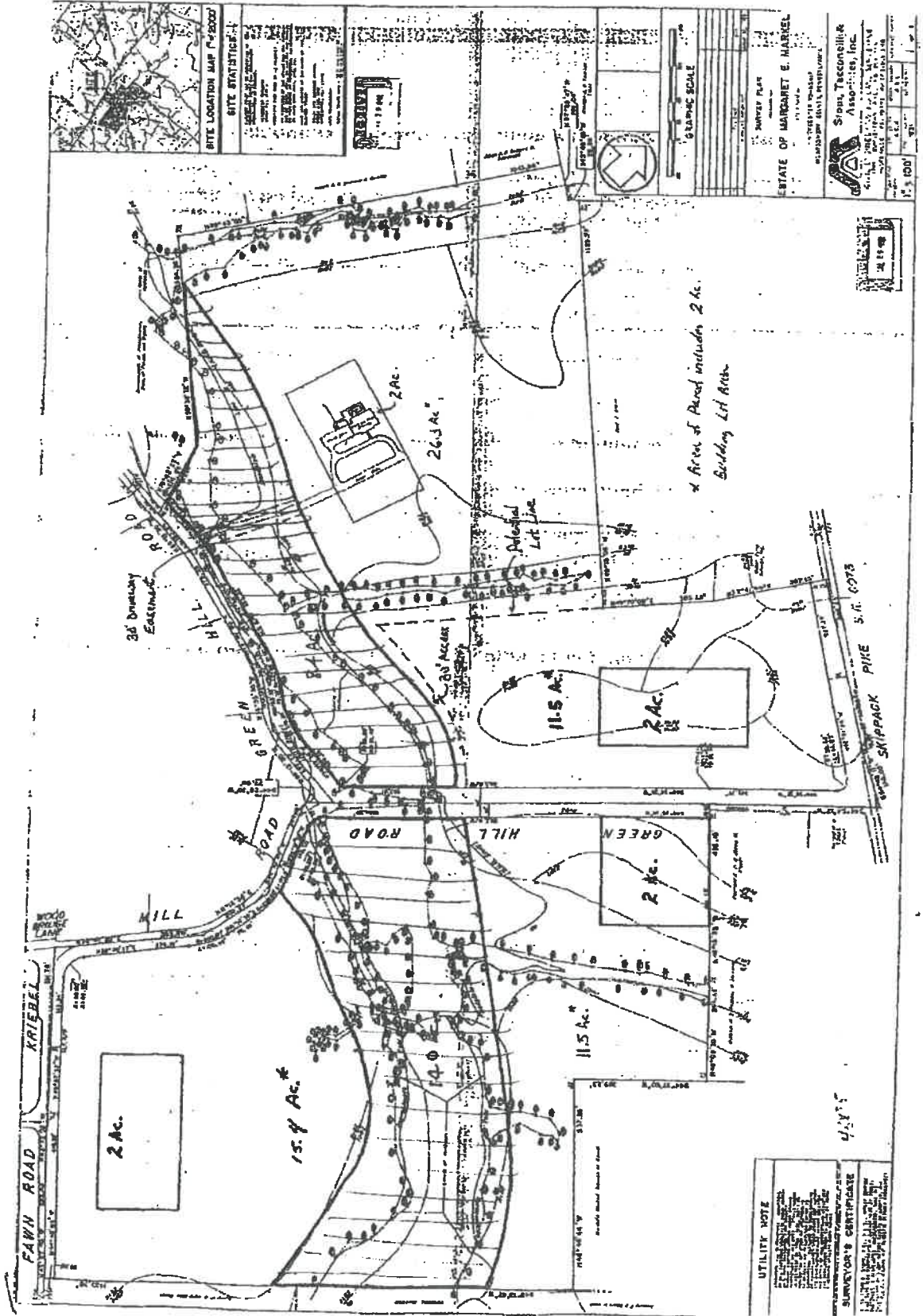
A copy of the 'Proposed Greenway Alignment Map' is enclosed in this mailing. Please take a few moments to answer the following questions and then fold and mail this survey back to the Township. Thank you.

<u>Survey</u>	<u>Please circle your answer</u>			
1. When constructed, how often do you anticipate using the off-road trail system?				
	Often (35)	Occasionally (22)	Seldom (4)	Never (11)
2. Which types of use do you anticipate when you use the trail (circle all that apply)				
	Walking (55)	Jogging (21)	Cycling (42)	Cross-country Skiing (7)
				Equestrian (7)
3. Would you be interested in assisting the township in maintaining the trail? (trash pick-up, minor repairs, reporting needed repairs, etc.)				
	Yes (37)	No (30)		
4. Do you anticipate that you would ever use the trail for transportation? (i.e. short trips in and around the Township, or connecting to adjoining trails as a route to work)				
	Yes (23)	No (47)		
5. Do you have any other comments about the planned trail system?				

Re MAREL TRAIL



top-owned land - see trail
condition from county
Commissioners' resolution



01-C. 39 (continued)

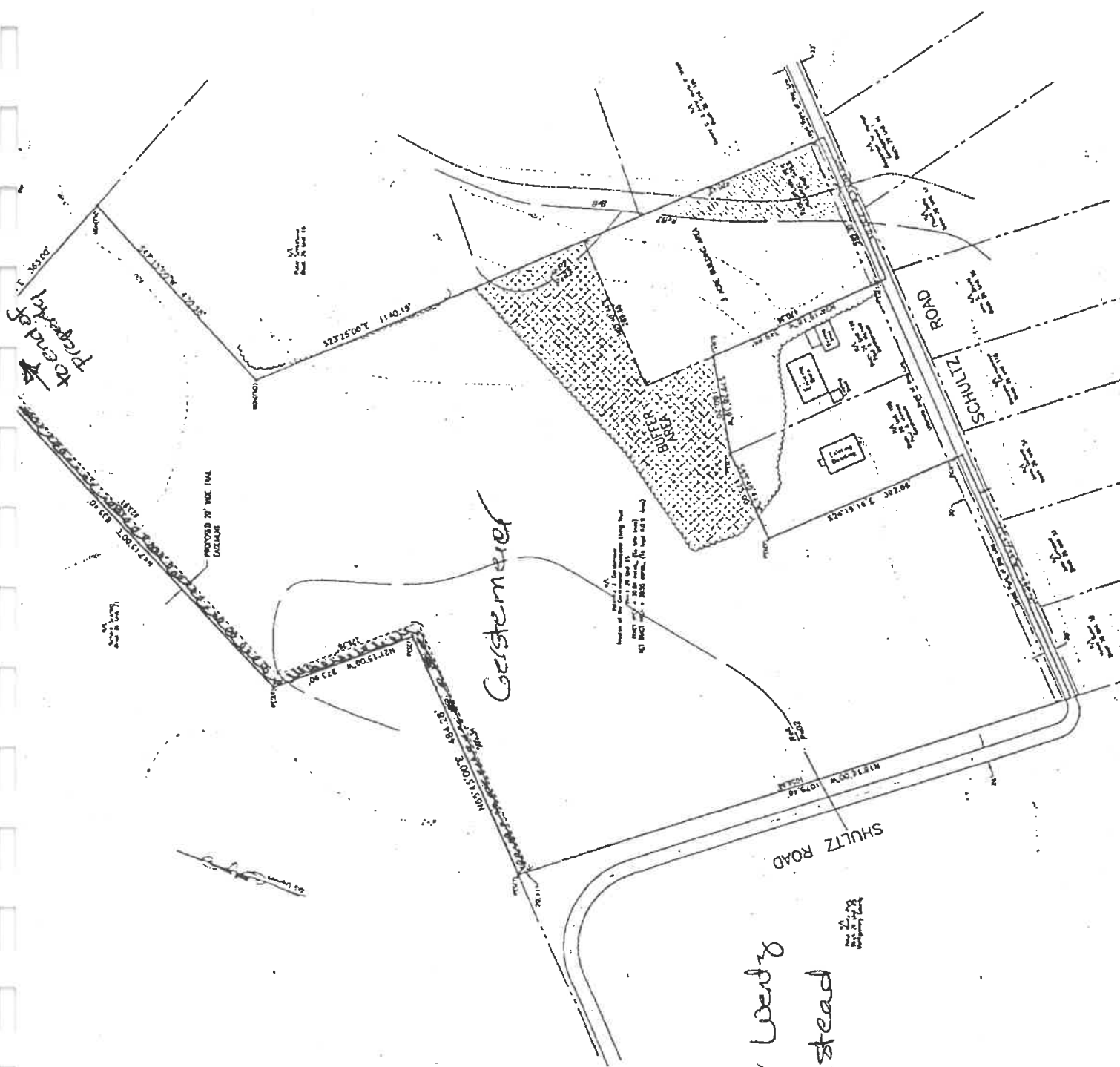
- 1) Worcester Township is responsible for fully disclosing to the County any details of the agreement under which the property is being purchased including any side agreements entered into by the township and property owner; and
- 2) Worcester Township must continue to keep the County informed about the progress made in protecting the Markel Property. Any new agreements, study results, title reports or other information that the township receives relative to this property purchase shall be fully disclosed to the County; and
- 3) Worcester Township and the Montgomery County Lands Trust shall place a restriction on the deed to the property limiting future use of the property to open space with some form of public access that may be controlled only by the need to protect the natural features and shall execute a declaration of covenants, conditions, and restrictions further defining the future use of the property; and
- 4) A sign shall be placed on the property after it is purchased indicating the source of grant funds for the land acquisition and the public use status of the land; and
- 5) The County Solicitor must review and approve all appropriate agreements developed in accordance with this resolution; and
- 6) The township will have to comply fully with all of the requirements in the Montgomery County Open Space Ordinance; and
- 7) The 22.4-acre riparian property shall be subdivided from the 90-acre property currently owned by Markel and the 4 proposed building lots shall be subdivided with building envelopes that meet the approval of the county; and
- 8) Public trail access to and through the property shall be established within one year; and

01-C. 39 (continued)

- 9) The township shall coordinate with Montgomery County and Evansburg Park on the establishment of a trail along the Zacharias Creek from the park to the Peter Wentz historic site; and
- 10) The conservation easement and conservation plan shall be reviewed and approved by the county; and
- 11) The township shall cooperate with the county on the preservation of additional properties in the Peter Wentz preservation area; and
- 12) An environmental assessment or survey of sufficient detail shall be performed to ensure that the property purchased in fee simple does not contain environment impairments that would limit its use as a public open space and natural resource property.

BE IT FURTHER RESOLVED, that the conditions listed above must be met or agreed upon before the grant is to be awarded which will occur at a joint settlement conveying the property.

CC: File
Controller
Purchasing
Finance
Department



to end of property

Garstemaer

Peter Wenz's
farmstead

SCHULTZ ROAD

SCHULTZ ROAD

AREA

PROPOSED 20' WIDE TANK

to end of property

to end of property

SCHULTZ ROAD

to end of property

to end of property

to end of property

to end of property

to end of property

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Pennsylvania Recreational Use Statute

PENNSYLVANIA STATUTES TITLE 68. REAL AND PERSONAL PROPERTY CHAPTER 11. USES OF PROPERTY RECREATION USE OF LAND AND WATER

477-1. Purpose; liability

The purpose of this act is to encourage owners of land to make land and water areas available to the public for recreational purposes by limiting their liability toward persons entering thereon for such purposes.

477-2. Definitions

As used in this act:

- (1) "LAND" means land, roads, water, watercourses, private ways and buildings, structures and machinery or equipment when attached to the realty.
- (2) "OWNER" means the possessor of a fee interest, a tenant, lessee, occupant or person in control of the premises.
- (3) "Recreational purpose" includes, but is not limited to, any of the following, or any combination thereof: hunting, fishing, swimming, boating, camping, picnicking, hiking, pleasure driving, nature study, water skiing, water sports, cave exploration and viewing or enjoying historical, archaeological, scenic, or scientific sites.
- (4) "CHARGE" means the admission price or fee asked in return for invitation or permission to enter or go upon the land.

477-3. Duty to keep premises safe; warning

Except as specifically recognized or provided in section 6 of this act, an owner of land owes no duty of care to keep the premises safe for entry or use by others for recreational purposes, or to give any warning of a dangerous condition, use, structure, or activity on such premises to persons entering for such purposes.

477-4. Assurance of safe premises; duty of care; responsibility, liability

Except as specifically recognized by or provided in section 6 of this act, an owner of land who either directly or indirectly invites or permits without charge any person to use such property for recreational purposes does not thereby:

- (1) Extend any assurance that the premises are safe for any purpose.
- (2) Confer upon such person the legal status of an invitee or licensee to whom a duty of care is owed.
- (3) Assume responsibility for or incur liability for any injury to persons or property caused by an act of omission of such persons.

477-5. Land leased to State or subdivision

Unless otherwise agreed in writing, the provisions of sections 3 and 4 of this act shall be deemed applicable to the duties and liability of an owner of land leased to the State or any subdivision thereof for recreational purposes.

477-6. Liability not limited

Nothing in this act limits in any way any liability which otherwise exists:

- (1) For wilful or malicious failure to guard or warn against a dangerous condition, use, structure, or activity.
- (2) For injury suffered in any case where the owner of land charges the person or persons who enter or go on the land for the recreational use thereof, except that in the case of land leased to the State or a subdivision thereof, any consideration received by the owner for such lease shall not be deemed a charge within the meaning of this section.

477-7. Construction of act

Nothing in this act shall be construed to:

- (1) Create a duty of care or ground of liability for injury to persons or property.
- (2) Relieve any person using the land of another for recreational purposes from any obligation which he may have in the absence of this act to exercise care in his use of such land and in his activities thereon, or from the legal consequences of failure to employ such care.

Montgomery County Open Space Program Summary Recommendations

Open Space Program Activity	Description	Funding Allocation
Municipal Open Space Grants		
Planning	Grants are provided to each municipality to update their open space plan	\$1.55 M
Plan Implementation	Municipalities have a variety of grant funding options available to them for the preservation of open space, heritage resources, farmland, greenways, floodplains or the development of green infrastructure and trails.	\$65.45 M
Natural Resource and Heritage Private Organization Grants	Challenge grants are offered to private non-profit conservation organizations to protect natural areas and heritage resource sites.	\$8 M
County Open Space Expenditures		
Trails and Greenways	The county will develop trails and protect land along important greenways.	\$22 M
Focus Area Acquisitions	Significant open space areas identified in the county open space plan will be acquired.	\$14 M
Schuylkill Greenway	Land and heritage resources along the Schuylkill River will be protected and various improvements to the greenway will be made in order to enhance public use and enjoyment of it and to protect water quality.	\$10 M
Farmland Protection	Farmland will be preserved through the purchase of agriculture conservation easements.	\$19 M
Park and Historic Site Improvements	Capital improvements will be made to existing county park and historic sites in order to enhance public use and enjoyment of these sites.	\$10 M
	TOTAL	\$150 M



Pennsylvania Natural Diversity Inventory

Scientific information and expertise for the conservation of Pennsylvania's native biological diversity
October 27, 2003

Fax 717-772-0271
717-772-0258

Bureau of Forestry

Brian Styche
Simone Jaffe Collins
511 Old Lancaster Rd.
Berwyn, PA 19312

Re: Pennsylvania Natural Diversity Inventory Review for the Proposed Worcester Township
Community Greenway Plan, Montgomery County **PER NO: 15085**

Dear Mr. Syche:

In response to your request October 3, 2003 to review the above mentioned project, we have reviewed the area using the Pennsylvania Natural Diversity Inventory (PNDI) information system. PNDI records indicate that no occurrences of species of special concern are known to exist within the project area, therefore we do not anticipate any impact on endangered, threatened, or rare species at this location. PNDI attempts to be a complete information resource on species of special concern within the Commonwealth. However, it may not contain all location information for species within the jurisdiction of other agencies. Please contact the Fish and Boat Commission and US Fish and Wildlife Service for information on species within their purview.

PNDI is the environmental review function of the Pennsylvania Natural Heritage Program, and uses a site-specific information system that describes significant natural resources within the Commonwealth. This system includes data descriptive of plant and animal species of special concern, exemplary natural communities and unique geological features. PNDI is a cooperative project of the Department of Conservation and Natural Resources, The Nature Conservancy and the Western Pennsylvania Conservancy. This response represents the most up-to-date summary of the PNDI data files and is **good for one year**. An absence of recorded information does not necessarily imply actual conditions on-site. A field survey of any site may reveal previously unreported populations.

Feel free to phone our office if you have questions concerning this response or the PNDI system, and please refer to the P.E.R. Reference Number at the top of the letter in future correspondence concerning this project.

Sincerely,

Justin P. Newell
Environmental Review Specialist



